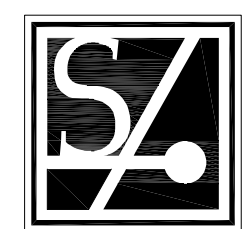


RENOVATIONS
TO
JOHN GREENE SCHOOL
FOR
WARWICK PUBLIC SCHOOLS



ARCHITECTS

SACCOCCIO & ASSOCIATES, INC.
1085 PARK AVENUE CRANSTON, RI 02910

BUILDING ENGINEERING RESOURCES, INC.
MECHANICAL, PLUMBING AND FIRE PROTECTION ENGINEERS

BUILDING ENGINEERING RESOURCES, INC.
ELECTRICAL ENGINEERS

ABBREVIATIONS

At	Machine	MACH.	Machine
A/C	Masonry	MAS.	Masonry
ACT	Maximum	MAX.	Maximum
AD	Mechanical	MECH.	Mechanical
AFF.	Membrane	MEMB.	Membrane
ALT.	Manufacturer	MFR.	Manufacturer
ALUM.	Man Hole	M.H.	Man Hole
AP	Minimum	MIN.	Minimum
APPROX.	Miscellaneous	MISC.	Miscellaneous
ARCH.	Masonry Opening	M/O	Masonry Opening
	Motorized Projection Screen	M.P.S.	Motorized Projection Screen
BD.	Moisture Resistant	M.R.	Moisture Resistant
BBB.	Metal	MTL.	Metal
BIT.	Millwork	MWK.	Millwork
BLDG.			
BLK.	N.	North	North
BLKBD.	N.C.	Non-Corrosive	Non-Corrosive
BLKNG.	NE	Northeast	Northeast
BM.	NO	Not in Contract	Not in Contract
B.M.	NO(*)	Negative	Negative
BOT.	NOM.	Nominal	Nominal
BRKT.	NTS	Not to Scale	Not to Scale
BSMT.	NW	Northwest	Northwest
BETWEEN.			
	O.A.	Overall	Overall
CL	O.C.	On Center	On Center
CAB.	O.D.	Outside Diameter	Outside Diameter
C.B.U.	O.H.	Opposite Hand	Opposite Hand
C.B.	OPNG.	Opening	Opening
CBM.	OPP.	Opposite	Opposite
CEM.	OZ.	Ounce	Ounce
CFB.			
CFM.	d	Penny	Penny
C.I.	P.C.S.	Pieces/Piece	Pieces/Piece
C.J.	P.L.B. (*)	Pound	Pound
CLG.	PL	Plate	Plate
CLOS.	PTN.	Partition	Partition
CMU	PERIM.	Perimeter	Perimeter
C.O.	P.L.L.A.M.	Plastic Laminated	Plastic Laminated
COL.	PLAS.	Plastic/Plaster	Plastic/Plaster
COMP.	PLYWD.	Plywood	Plywood
CONC.	P.M.J.F.	Preformed Joint Filler	Preformed Joint Filler
CONST.	POL.	Polished	Polished
CONT.	FR.	Fair	Fair
CONTR.	PROJ.SCR.	Projection Screen	Projection Screen
CORR.	PSI	Pound(s) per Square Inch	Pound(s) per Square Inch
CPT.	PT.	Paint	Paint
CSK.	PTD.	Painted	Painted
C.T.	PVC.	Poly Vinyl Chloride	Poly Vinyl Chloride
CU	QTY.	Quantity	Quantity
C.W.			
	R	Riser	Riser
DF.	R.A.	Return Air	Return Air
D.F.	RAD.	Radius	Radius
DIA.	R.B.	Rubber Base	Rubber Base
DIM.	R.D.	Roof Drain	Roof Drain
DN	REFG.	Refrigerator	Refrigerator
D.P.	REINF.	Reinforced	Reinforced
DR.	REQD.	Required	Required
DTL.	RESIL.	Resilient	Resilient
DWG.	RG	Reinforced Gypsum	Reinforced Gypsum
	RH.	Room	Room
IE	RND	Round	Round
EA.	RO	Rough Opening	Rough Opening
EAC.	ROU	Right of Way	Right of Way
EJ.			
EL.	Ⓢ	Sealant	Sealant
ELEC.	S.	South	South
ELEV.	S.C.	Solid Core	Solid Core
EML.	SCHED.	Schedule	Schedule
ENCL.	SE	Southeast	Southeast
EP.	SECT.	Section	Section
EQ.	SF	Square Feet	Square Feet
EQP.	SHT.	Sheet	Sheet
EWB.	SIM.	Similar	Similar
EWU.	SLNT.	Sealant	Sealant
EXC.	S.P.	Standpipe	Standpipe
EXIST.	SPECS.	SPECS	SPECS
EXP.	SS	Square	Square
EXT.	SS	Stainless Steel	Stainless Steel
	ST.	Street	Street
F.A.	STD.	Standard	Standard
FB	STL.	Steel	Steel
FB	STOR.	Storage	Storage
FC	STRUCT.	Structural	Structural
F.C.U.	SUSP.	Suspended	Suspended
F.D.	SW	Southwest	Southwest
F.D.	SYM.	Symmetrical	Symmetrical
FDN.			
FEC	T.	Tread	Tread
FIN.	T&G	Tongue & Groove	Tongue & Groove
FL.	T.B.	Tackboard	Tackboard
FLUOR.	TEMP.	Temperature/Tempered	Temperature/Tempered
FOC	THK.	Thickness/Thick	Thickness/Thick
FOF	THR	Threshold	Threshold
FOM	THRU	Through	Through
FOS	TLT.	Toilet	Toilet
FR	TOC	Top of Concrete	Top of Concrete
FRCP	TOS.	Top of Steel	Top of Steel
FT (')	TYP.	Typical	Typical
FTG.			
GA.	U.L.	Underwriters Laboratory	Underwriters Laboratory
GALV.			
G.B.	V.	Veneer	Veneer
G.C.	VAR.	Varies	Varies
G.C.	V.B.	Vinyl Base	Vinyl Base
GL.	VCT	Vinyl Composition Tile	Vinyl Composition Tile
GRN.	VERT.	Vertical or Vertically	Vertical or Vertically
GWB.	VEST.	Vestibule	Vestibule
GYP.BD.	V.I.F.	Verify in Field	Verify in Field
	VOL.	Volume	Volume
HC	V.T.	Vinyl Tile	Vinyl Tile
HM.	VTR	Vent through Roof	Vent through Roof
HP.	VUC	Vinyl Wall Covering	Vinyl Wall Covering
HR.	W.	West	West
H.S.	W	With	With
HT.	WB	White Board	White Board
HTR	WCL	Water Cooler	Water Cooler
HVAC	WCL-A	Water Cooler - Accessible	Water Cooler - Accessible
	WC	Water Closet	Water Closet
H.W.	WD.	Wood	Wood
	WDW	Window	Window
I.D.	WH.	Wall Hung	Wall Hung
IN (")	WI.	Wrought Iron	Wrought Iron
INCL.	W/O	Without	Without
INSUL.	WP.	Waterproofing	Waterproofing
INT.	WPM	Waterproofing Membrane	Waterproofing Membrane
INV.	WT.	Weight	Weight
JAN.	W.W.G.	Woven Wire Grille	Woven Wire Grille
JT.	W.W.M.	Welded Wire Mesh	Welded Wire Mesh
LAM.			
LAV.			
LB. (*)			
L.M.F.			
L.P.			
L.T.WT.			
L.V.R.			

MATERIALS IN SECTION

	EARTH
	CONCRETE
	BRICK
	CONCRETE MASONRY UNITS (CMU)
	RIGID INSULATION
	BLANKET INSULATION
	PLYWOOD
	ROUGH WOOD
	DRYWALL
	METAL (LARGE SCALE)

SYMBOLS

	ROOM NUMBER
	DETAIL REFERENCE
	WALL SECTION REFERENCE
	INTERIOR PARTITION TYPE. SEE WALL TYPE SHEET FOR MORE INFORMATION
	EXTERIOR ELEVATION REFERENCE
	INTERIOR ELEVATION REFERENCE
	DOOR NUMBER
	WINDOW NUMBER
	TRANSLUCENT PANEL NUMBER
	VISION PANEL SYMBOL NUMBER

CODE INFORMATION

- CODE LIST:**
- International Building Code (2018 Edition) along with the Rhode Island State Building Code SBC 1 - 2021 with Amendments
 - ICC / ANSI A117.1 - 2009 Edition
 - 2018 ADA STANDARDS
 - Rhode Island Fire Safety Code NFPA 1 - (2018 edition) with 2021 amendments
 - 2018 International Energy Conservation Code - 2021 with RI Amendments SBC-2: Climate Zone 5
 - The Rhode Island Life Safety Code NFPA 101 - (2018 edition) with 2021 amendments

PROJECT DESCRIPTION

- ADA Upgrades to an existing one story mixed use elementary school/ secondary school which include several ADA compliant student toilet rooms & auto door operators to be installed at several classrooms
- Fire rating existing recessed display cases.
- Replacement of several paired entry doors with overlapping astragals to meet fire code.
- Replacement of main entry doors to vestibule & exterior to meet code egress dimensions.
- Fire alarm upgrades.
- Modification of current classroom windows to accommodate single rescue window.

DRAWING LIST

GENERAL
 AG1.0 LEGEND, CODE INFO, DRAWING LIST & LOCUS MAP
 AG1.1 GENERAL NOTES, WALL NOTES & STANDARDS & ADA MOUNTING REQUIREMENTS

ARCHITECTURAL

- AD.1 1st FLOOR EXISTING/ DEMO PLAN
- A1.1 1st FLOOR PROPOSED PLAN
- A2.0 ENTRY & VESTIBULE ENLARGED PLANS
- A2.1 ENTRY & VESTIBULE SECTION, ELEVATION, & DETAILS
- A2.2 ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS
- A2.3 GIRLS TOILET ROOM (136) ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS
- A2.4 BOYS TOILET ROOM (144) ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS
- A2.5 GIRLS TOILET ROOM (130) ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS
- A2.6 BOYS TOILET ROOM (1124) ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS
- A2.7 STAFF TOILET ROOM 115 & JANITORS CLOSET ENLARGED PLANS & INTERIOR ELEVATIONS
- A3.0 DOOR TYPES & SCHEDULE
- A3.1 FRAME DETAILS & FINISH SCHEDULE
- A3.2 WINDOW TYPES & DETAILS

PLUMBING

- PO.1 PLUMBING LEGEND AND DETAILS
- PO.2 PLUMBING OVERALL PLAN
- PD1.0 PLUMBING & HVAC DEMOLITION PLANS
- PI.0 PLUMBING & HVAC RENOVATION PLANS
- P2.0 PLUMBING & HVAC DETAILS

FIRE PROTECTION

- FA.1 FIRE ALARM AND POWER PLAN

ELECTRICAL

- E1.1 ELECTRICAL POWER PLAN



LOCUS MAP
 NTS



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NOTES:

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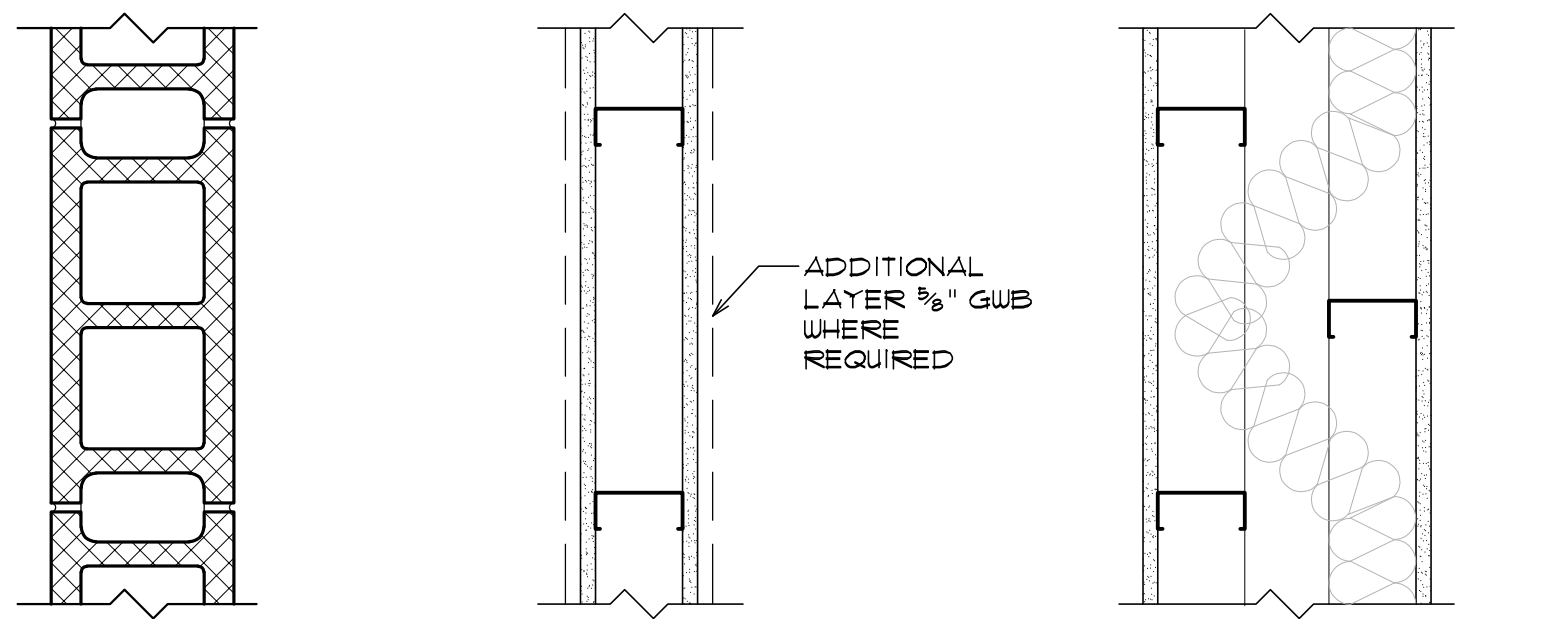
SHEET TITLE
 LEGEND, CODE INFO,
 DRAWING LIST & LOCUS MAP

REVISIONS

DRAWN: DATE: 04/22/2024
 CHK BY: JXX JOB NO: 23071

AG1.0

SHEET OF



M4 4" NOMINAL CMU. SEE STRUCTURAL DWGS FOR REINFORCEMENT REQUIREMENTS.

M6 6" NOMINAL CMU. SEE STRUCTURAL DWGS FOR REINFORCEMENT REQUIREMENTS.

S3 3/8" STEEL STUDS @ 16" OC. 1 LAYER 3/8" TYPE 'X' GUB EACH SIDE. TOTAL WALL THICKNESS=4 1/2".

S4 4" STEEL STUDS @ 16" OC. 1 LAYER 3/8" TYPE 'X' GUB EACH SIDE. TOTAL WALL THICKNESS=5 1/2".

F1 1/8" METAL FURRING CHANNEL @ 16" OC. 1 LAYER 3/8" TYPE 'X' GUB #1 LAYER 1/8" GUB ON ONE SIDE. TOTAL WALL THICKNESS=2".

S5 DOUBLE WALL, EACH WITH 3/8" STEEL STUDS @ 16" OC AND SPACED 1/2" APART. STAGGER STUDS AS SHOWN. 1 LAYER 3/8" TYPE 'X' FIRE CODE GUB ON ONE SIDE OF EACH WALL AS SHOWN. 3/2" SOUND ATTENUATION BATTING TO WEAVE THROUGH STUDS AS SHOWN. TOTAL WALL THICKNESS = 11".



GENERAL WALL NOTES

- SEE "MATERIAL MODIFIERS" FOR REQUIRED MODIFICATIONS TO THE DESIGNATED WALL TYPES.
- ALL FIRE RATED WALL ASSEMBLIES SHALL BE CONTINUOUS FROM THE FLOOR TO THE UNDERSIDE OF THE ROOF OR FLOOR DECK. INSTALL FIRE BAFING, CAULK, ETC. AS REQUIRED AT INTERSECTIONS OF FIRE-RATED WALLS AND ALL STRUCTURAL OR NON-STRUCTURAL ELEMENTS.
- WALLS THAT ARE NOT SPECIFIED TO GO FULL HEIGHT SHALL TERMINATE A MINIMUM OF 6" ABOVE THE FINISH CEILING HEIGHT WITHIN ROOM.
- PROVIDE CEMENTITIOUS BACKER BOARD AS BACK UP BEHIND ALL AREAS WHERE CERAMIC TILE OR STONE WALL BASE IS SCHEDULED.
- ALL EXPOSED CORNERS OF CMU WALLS SHALL HAVE A 1" RADIUS.
- ALL WALLS THAT CONTINUE TO THE UNDERSIDE OF DECK TO HAVE DEFLECTION TRACKS AS REQUIRED.
- ALL WOOD BLOCKING IS TO BE FIRE-RESISTANT.
- ALL WOOD COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ANY WALL NOT HAVING A WALL-TYPE TAG SHALL BE CONSIDERED TO BE AT A MINIMUM 3/8" STEEL STUDS @ 16" OC WITH 3/8" TYPE 'X' GUB ON EACH SIDE. NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTING ANY UNDESIGNATED WALL.

MATERIAL MODIFIERS

- "A" FILL STUD CAVITY FULL HEIGHT WITH SOUND ATTENUATION BATTING. WALL ASSEMBLIES HAVING THIS MODIFIER SHALL BE CONTINUOUS FROM THE FLOOR TO THE UNDERSIDE OF THE ROOF OR FLOOR DECK ABOVE. PROVIDE CAULKING/SEALANT AS REQUIRED FOR CONTINUOUS MEMBRANE.
- "B" INSTALL FIBERGLASS THERMAL INSULATION.
- "C" SUBSTITUTE 3/8" ABUSE RESISTANT GUB (ALSO TO BE FIRE RATED WHERE DESIGNATED AS SUCH) IN LIEU OF STANDARD 3/8" GUB ON BOTH SIDES UNLESS NOTED OTHERWISE.
- "D" ADD 1/8" METAL FURRING VERTICALLY @ 16" OC AND 3/8" GUB TO DESIGNATED SIDE OF WALL. SEE PLANS FOR DESIGNATION.
- "E" OMIT GUB ON ONE SIDE.
- "F" SUBSTITUTE 3/8" MOISTURE RESISTANT GUB IN LIEU OF STANDARD GUB TO MOISTURE PRONE SIDE OF WALL/S IN LOCKER ROOMS, TOILET ROOMS, ETC. ALSO, SEE GENERAL NOTE #4.
- "G" PARTITION TO BE A SMOKE ENCLOSURE AND SHALL BE COMPLETELY SEALED WITH AN APPROVED SEALANT AT ENTIRE PERIMETER INCLUDING THE INTERSECTIONS OF ALL WALLS, FLOOR/ROOF DECKS, ETC.
- "H" PROVIDE CEMENTITIOUS BACKER BOARD AS BACK UP BEHIND ALL AREAS WHERE CERAMIC TILE AND/OR STONE WALL BASE IS SCHEDULED.

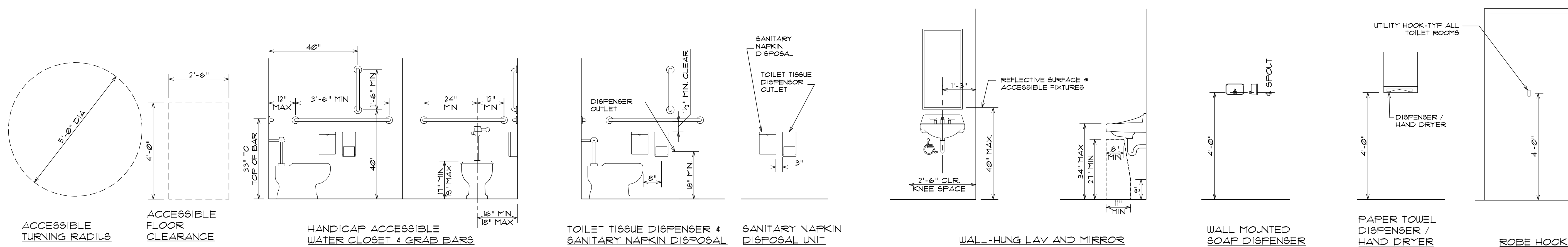
GENERAL NOTES

THE CONTRACTOR/S SHALL:

- UNDERSTAND THAT THE TERM "PROVIDE" AS FOUND THROUGHOUT THESE CONSTRUCTION DOCUMENTS SHALL BE DEFINED AS "FURNISH AND INSTALL".
- VISIT THE JOB SITE AND FAMILIARIZE HIMSELF COMPLETELY WITH ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK CALLED FOR ON THE DRAWINGS AND SPECS. NO COMPENSATION FOR EXTRA WORK ON BEHALF OF THE CONTRACTOR WILL BE CONSIDERED THAT WOULD HAVE BEEN DETERMINED BY VISUAL OBSERVATION PRIOR TO BIDDING.
- UNDERSTAND THAT THE TERM "MATCH EXISTING" AS LISTED ON THESE DRAWINGS SHALL MEAN THAT ALL WORK TO BE PERFORMED MUST BE OF SIMILAR MATERIALS, CONSTRUCTION AND FINISHED TO THE LINES OF ADJACENT WORK IN ALL RESPECTS.
- BE RESPONSIBLE FOR ALL CUTTING, FILLING, PATCHING AND/OR REPAIRING OF EXISTING WALLS, FLOORS AND CEILINGS AS REQUIRED FOR THE INSTALLATION OF ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING WORK IN THE EXISTING BUILDING. (VERIFY ALL CONDITIONS AT THE SITE).
- PATCH AND REPAIR ALL WALLS, FLOORS, AND CEILINGS IN ALL AREAS AFFECTED BY DEMOLITION WORK. ALL WORK TO BE PERFORMED MUST BE OF SIMILAR MATERIALS, CONSTRUCTION AND FINISHED TO THE LINES OF ADJACENT WORK IN ALL RESPECTS.
- SHALL COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE NEW WORK IN ALL AREAS.
- PROVIDE DUST PARTITIONS AS REQUIRED TO KEEP AREAS OUTSIDE OF SCOPE FREE OF DIRT AND DUST. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ANY AREAS LEFT UNPROTECTED.
- BE RESPONSIBLE FOR CLEANING THE WORK AREA AT THE END OF EACH WORK DAY. ALL TRASH AND DEBRIS TO BE REMOVED FROM THE BUILDING.
- BE RESPONSIBLE TO SUBMIT M.E.P. COORDINATION DRAWINGS TO THE ARCHITECT FOR REVIEW OF LOCATIONS OF ALL SYSTEMS TO AVOID CONFLICTS AND COORDINATE LOCATIONS OF ALL DEVICES AND LIGHTING.
- REPLACE OR REPAIR ANY DISTURBED AREAS IN AND OUTSIDE THE WORK LIMITS AREA.

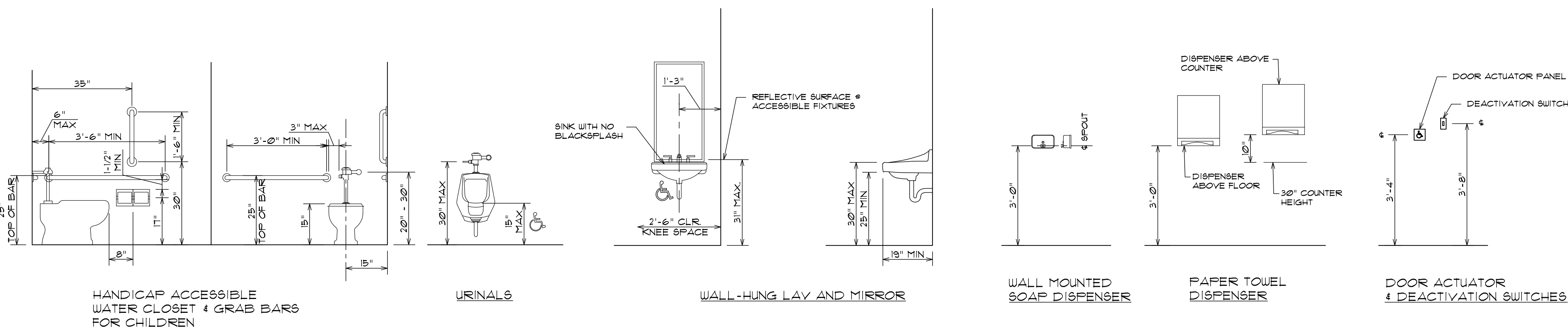
1 GENERAL WALL NOTES & STANDARDS

AG11 SCALE: 1 1/2" = 1'-0"



2 GENERAL ADA MOUNTING REQUIREMENTS FOR ADULTS

AG11 SCALE: 1/2" = 1'-0"



3 GENERAL ADA MOUNTING REQUIREMENTS FOR STUDENTS

AG11 SCALE: 1/2" = 1'-0"



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NOTES:
GENERAL MOUNTING HEIGHTS
& GENERAL NOTES

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SHEET TITLE
GENERAL NOTES, WALL NOTES
& STANDARDS & ADA
MOUNTING REQUIREMENTS

REVISIONS

DRAWN: DATE: 04222024
CHK BY: XX JOB NO: 23071

AG1.1

SHEET OF



GENERAL DEMOLITION NOTES

1. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS RELATIVE TO NEW WORK AND BE COMPLETELY FAMILIAR WITH ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK CALLED FOR ON THE DRAWINGS AND SPECS. NO COMPENSATION FOR EXTRA WORK ON BEHALF OF THE CONTRACTOR WILL BE CONSIDERED THAT WOULD HAVE BEEN DETERMINED BY VISUAL OBSERVATION PRIOR TO BIDDING.
2. AVOID DAMAGE TO ALL SURROUNDING ARCHITECTURAL ELEMENTS AND SURFACES DURING THE DEMOLITION PHASE BY THE USE OF NECESSARY PROTECTIVE COVERINGS, PADDING, ETC. REPLACEMENT/REPAIR TO ANY ELEMENTS DAMAGED DURING DEMOLITION SHALL BE AT THE CONTRACTOR'S EXPENSE, AND ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
3. CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR THE SAFE AND LEGAL REMOVAL AND DISPOSAL OF ALL MATERIALS.
4. ALL BROKEN/DASHED LINES SHOWN IN THE DRAWINGS INDICATE ITEMS TO BE REMOVED & DEMOLISH (RD) AND/OR REMOVE & PRESERVE (R&P), UNLESS NOTED OTHERWISE. DEMOLITION KEYNOTE SYMBOLS INDICATE SPECIFIC DEMOLITION WORK TO BE DONE. SOME DEMOLITION SYMBOLS MAY NOT BE SHOWN ON THE DRAWINGS FOR CLARITY. THE GC SHALL VISIT THE JOB SITE PRIOR TO BIDDING TO DETERMINE QUANTITIES OF DEMOLITION WORK THAT MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS.
5. THE CONTRACTOR SHALL UNDERSTAND THAT THE TERM "REMOVE" AND "REMOVE AND DISPOSE" AS NOTED ON THESE DRAWINGS SHALL BE DEFINED AS THE REMOVAL AND DISPOSAL OF THE NOTED ELEMENT AS WELL AS ALL ITS RELATIVE COMPONENTS, FASTENERS, ETC., UNLESS NOTED OTHERWISE. THE TERM "REMOVE AND PRESERVE" REFERS TO ITEMS REMOVED TO PERFORM NEW WORK AND TO BE REINSTALLED, CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR THE SAFE AND LEGAL REMOVAL AND DISPOSAL OF ALL MATERIALS.
6. THE CONTRACTOR SHALL REMOVE, ADJUST, MODIFY, CUT, ETC. ALL EXISTING COMPONENTS AS REQUIRED TO INSTALL ALL NEW WORK AND/OR ALL RELOCATED EXISTING WORK INCLUDING FIRE ALARM, FIRE PROTECTION, POWER/SIGNAL, LIGHTING, HVAC, PLUMBING, STRUCTURAL, ARCHITECTURAL, ETC. SHOWN ON ALL CONSTRUCTION DOCUMENTS INCLUDED IN THIS CONTRACT.
7. THE GC IS RESPONSIBLE TO PATCH AND RE-FINISH ANY SURFACE WHERE EXISTING ITEMS OR DEVICES ARE REMOVED AS PART OF THE DEMOLITION WORK.
8. COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH DEMOLITION WORK AND THE NEW WORK IN ALL AREAS.
9. PROVIDE DUST PARTITIONS AS REQUIRED TO KEEP AREAS OUTSIDE OF WORK AREA FREE OF DIRT AND DUST. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ANY AREAS LEFT UNPROTECTED.
10. BE RESPONSIBLE TO CLEAN THE WORK AREA AT THE END OF EACH WORK DAY. ALL TRASH AND DEBRIS TO BE REMOVED FROM THE BUILDING AND LEGALLY DISPOSED OF.
11. ALL EXISTING MATERIALS REMOVED SHALL BE RECYCLED TO THE GREATEST EXTENT POSSIBLE. SEE SPECS FOR REQUIREMENTS.
12. GENERAL DEMOLITION NOTES APPLY TO ALL PARTS OF THE PROJECT DEMOLITION.
13. IF GC SUSPECTS ANY ASBESTOS ON ITEMS / EQUIPMENT TO BE REMOVED / MODIFIED, CONTACT OWNER & ARCHITECT AS SOON AS POSSIBLE.

RDC-X RECESSED DISPLAY CASES (RDC) REMOVE LIGHT FIXTURE & ASSOCIATED WIRING, GLASS & ALL ALUMINUM TRIM SITTING PROUD OF TILE IN ALL RDC (7) IN HALLWAY (102) & (1) IN HALLWAY (103). TOTAL, SEE 2/A42

1st FLOOR EXISTING/ DEMO PLAN
SCALE: 1/16" = 1'-0"



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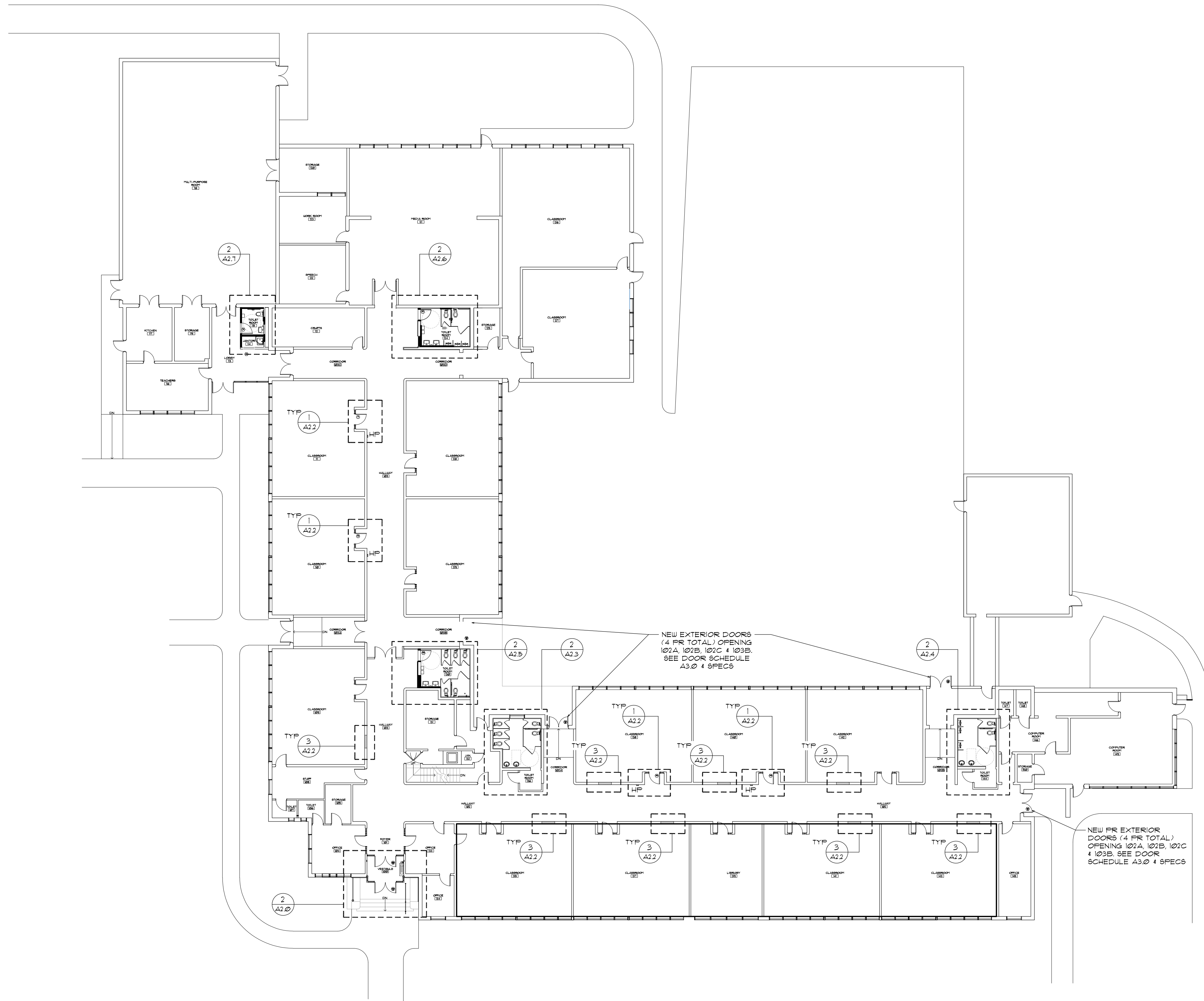
SHEET TITLE
1st FLOOR EXISTING/ DEMO PLAN

REVISIONS

DRAWN: JMA DATE: 04.22.2024
CHK BY: XX JOB NO: 23071

AD1.1

SHEET OF



1st FLOOR PROPOSED PLAN
 SCALE: 1/16" = 1'-0"



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 1st FLOOR PROPOSED PLAN

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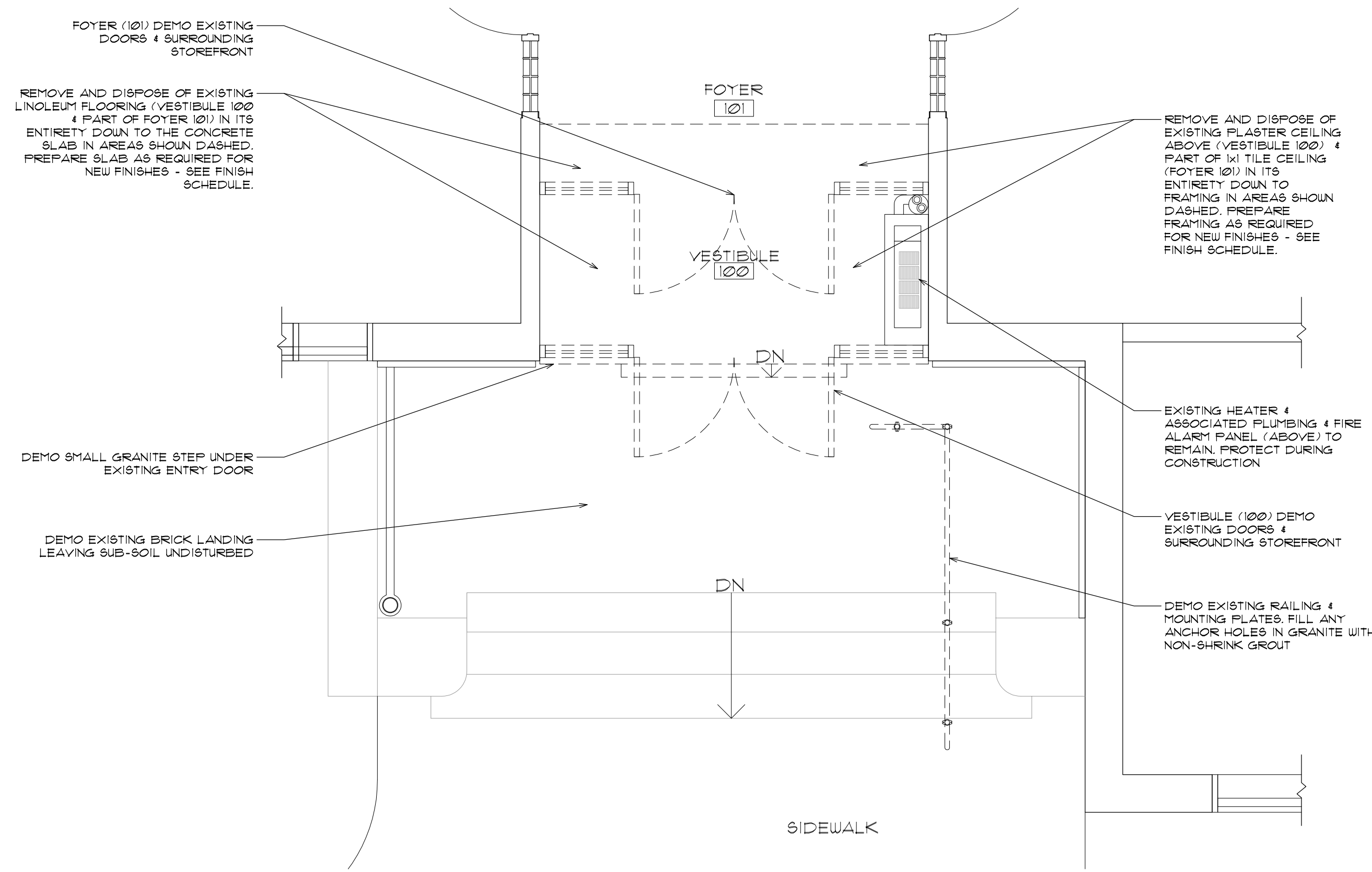
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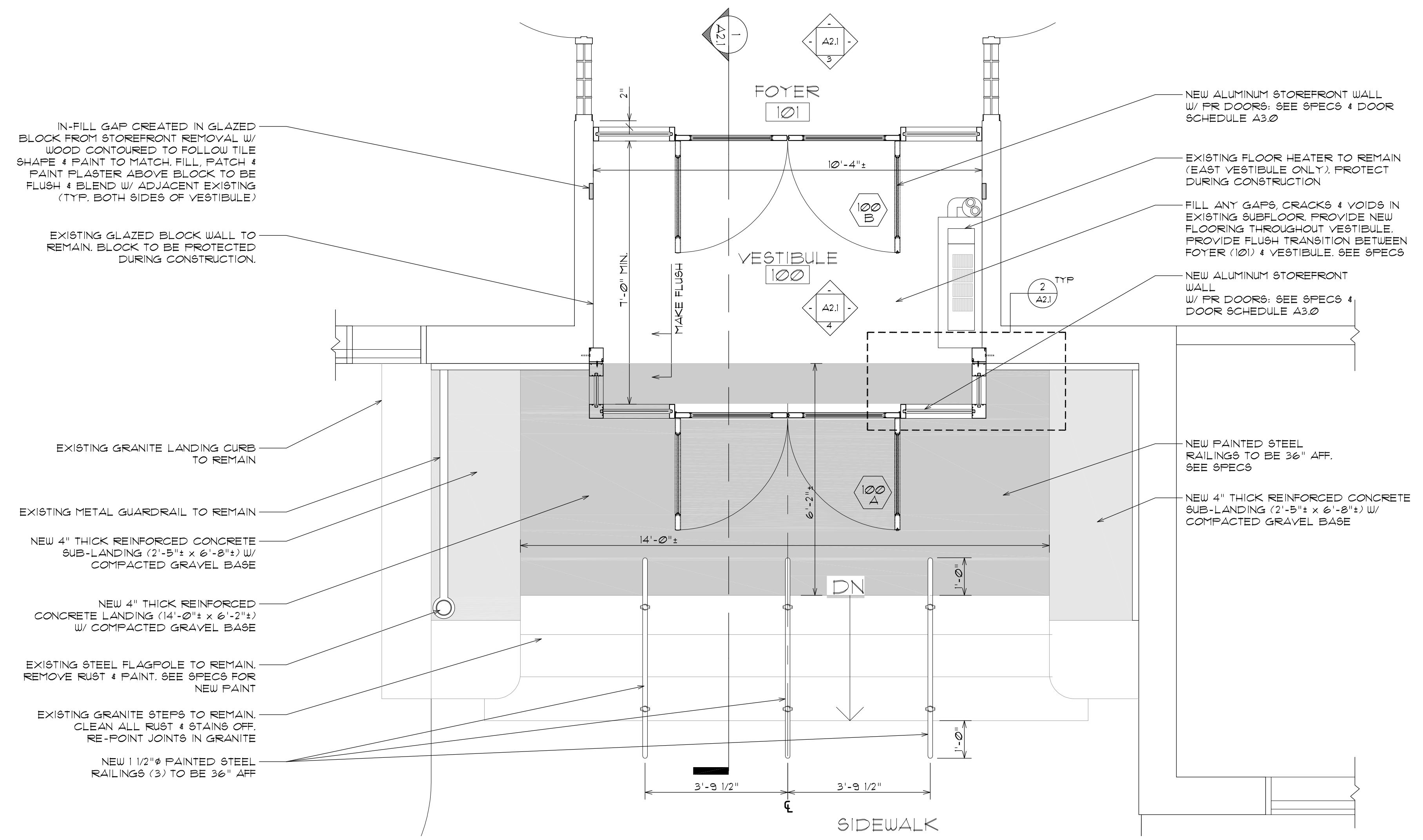
SHEET OF

GENERAL DEMOLITION NOTES

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- CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR THE SAFE AND LEGAL REMOVAL AND DISPOSAL OF ALL MATERIALS.
- ALL BROKEN/DASHED LINES SHOWN IN THE DRAWINGS INDICATE ITEMS TO BE REMOVED & DEMOLISH (RD) AND/OR REMOVE PRESERVE (RP), UNLESS NOTED OTHERWISE. DEMOLITION KEYNOTE SYMBOLS INDICATE SPECIFIC DEMOLITION WORK TO BE DONE. SOME DEMOLITION SYMBOLS MAY NOT BE SHOWN ON THE DRAWINGS FOR CLARITY. THE GC SHALL VISIT THE JOB SITE PRIOR TO BIDDING TO DETERMINE QUANTITIES OF DEMOLITION WORK THAT MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS.
- THE CONTRACTOR SHALL UNDERSTAND THAT THE TERM "REMOVE" AND "REMOVE AND DISPOSE" AS NOTED ON THESE DRAWINGS SHALL BE DEFINED AS THE REMOVAL AND DISPOSAL OF THE NOTED ELEMENT AS WELL AS ALL ITS RELATIVE COMPONENTS, FASTENERS, ETC. UNLESS NOTED OTHERWISE. THE TERM "REMOVE AND PRESERVE" REFERS TO ITEMS REMOVED TO PERFORM NEW WORK AND TO BE REINSTALLED. CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR THE SAFE AND LEGAL REMOVAL AND DISPOSAL OF ALL MATERIALS.
- THE CONTRACTOR SHALL REMOVE, ADJUST, MODIFY, CUT, ETC. ALL EXISTING COMPONENTS AS REQUIRED TO INSTALL ALL NEW WORK AND/OR ALL RELOCATED EXISTING WORK INCLUDING: FIRE ALARM, FIRE PROTECTION, POWER/SIGNAL, LIGHTING, HVAC, PLUMBING, STRUCTURAL, ARCHITECTURAL, ETC. SHOWN ON ALL CONSTRUCTION DOCUMENTS INCLUDED IN THIS CONTRACT.
- THE GC IS RESPONSIBLE TO PATCH AND RE-FINISH ANY SURFACE WHERE EXISTING ITEMS OR DEVICES ARE REMOVED AS PART OF THE DEMOLITION WORK.
- COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH DEMOLITION WORK AND THE NEW WORK IN ALL AREAS.
- PROVIDE DUST PARTITIONS AS REQUIRED TO KEEP AREAS OUTSIDE OF WORK AREA FREE OF DIRT AND DUST. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING ANY AREAS LEFT UNPROTECTED.
- BE RESPONSIBLE TO CLEAN THE WORK AREA AT THE END OF EACH WORK DAY. ALL TRASH AND DEBRIS TO BE REMOVED FROM THE BUILDING AND LEGALLY DISPOSED OF.
- ALL EXISTING MATERIALS REMOVED SHALL BE RECYCLED TO THE GREATEST EXTENT POSSIBLE. SEE SPECS FOR REQUIREMENTS.
- GENERAL DEMOLITION NOTES APPLY TO ALL PARTS OF THE PROJECT DEMOLITION.
- IF G.C. SUSPECTS ANY ASBESTOS ON ITEMS / EQUIPMENT TO BE REMOVED / MODIFIED, CONTACT OWNER & ARCHITECT AS SOON AS POSSIBLE.



1 ENTRY & VESTIBULE DMOLITION PLAN
SCALE: 3/8" = 1'-0"



2 ENTRY & VESTIBULE NEW PLAN
SCALE: 1/2" = 1'-0"



SACCOCCIO & ASSOCIATES, INC.

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Cranston, RI 02910 fax 401.942.7975

CONSULTANT

BUILDING RENOVATIONS

JOHN GREENE SCHOOL
51 Draper Avenue,
Warwick RI 02889

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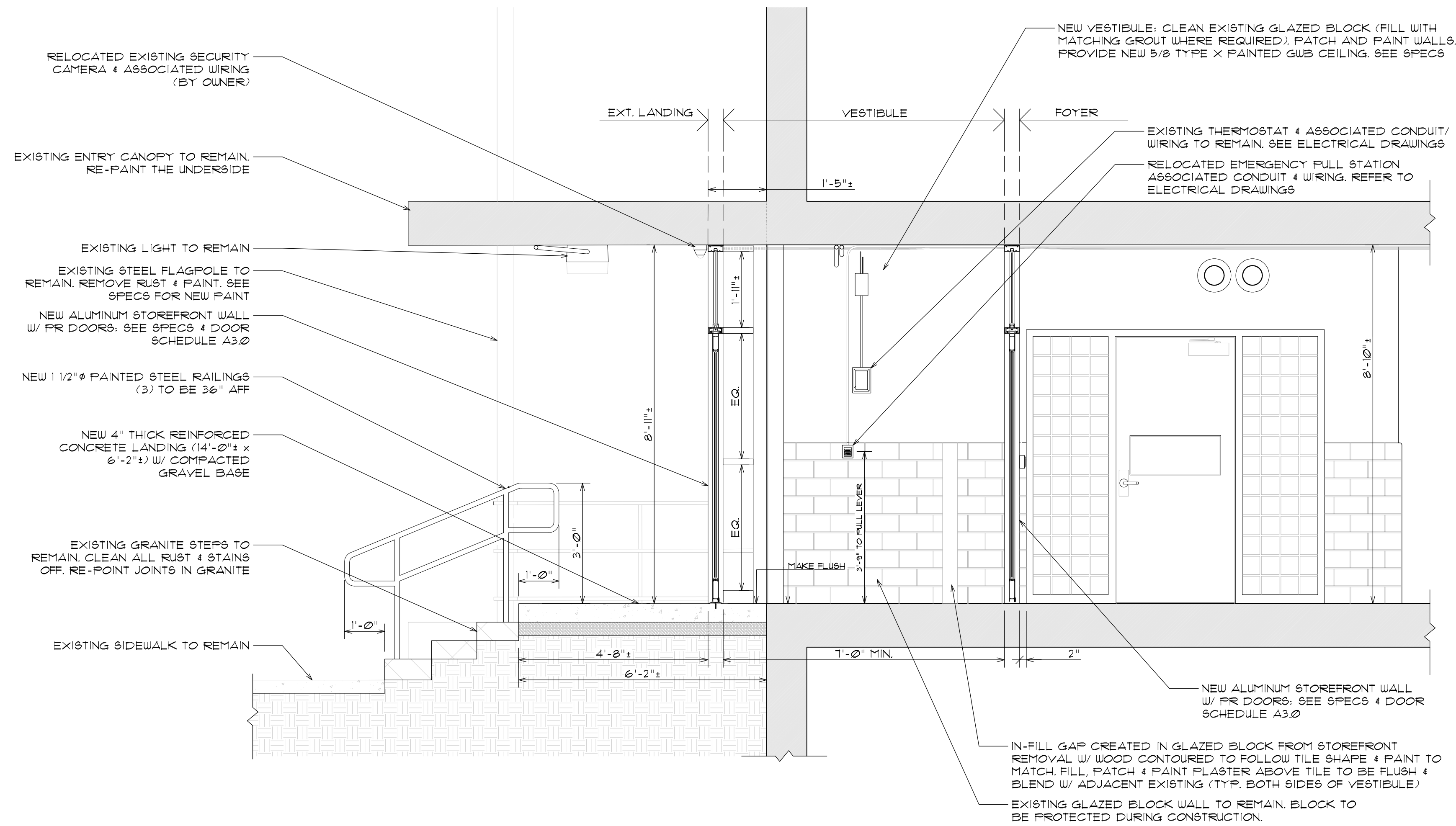
SHEET TITLE
ENTRY & VESTIBULE
ENLARGED PLANS

REVISIONS

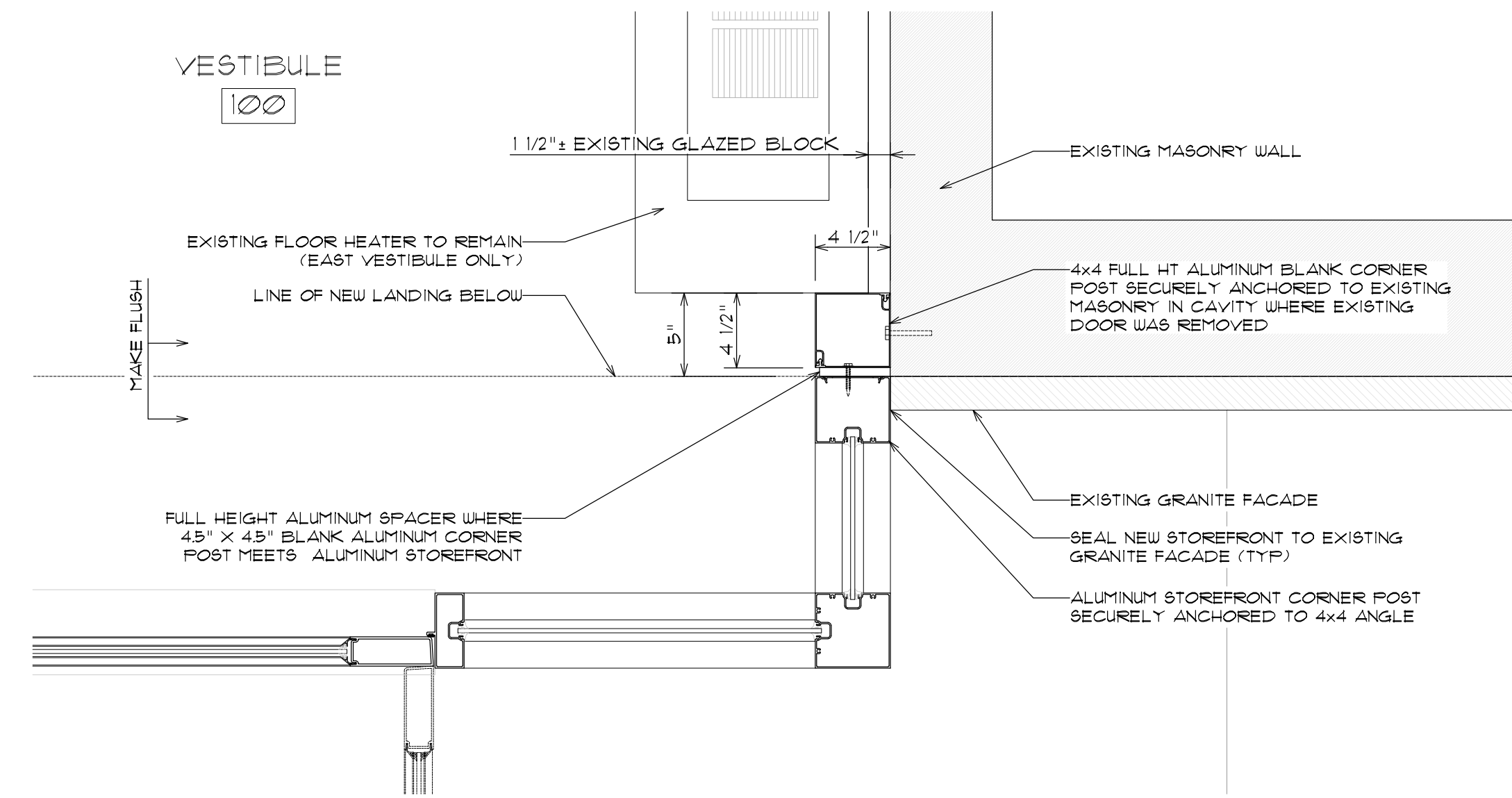
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CHK BY: XX JOB NO: 23071

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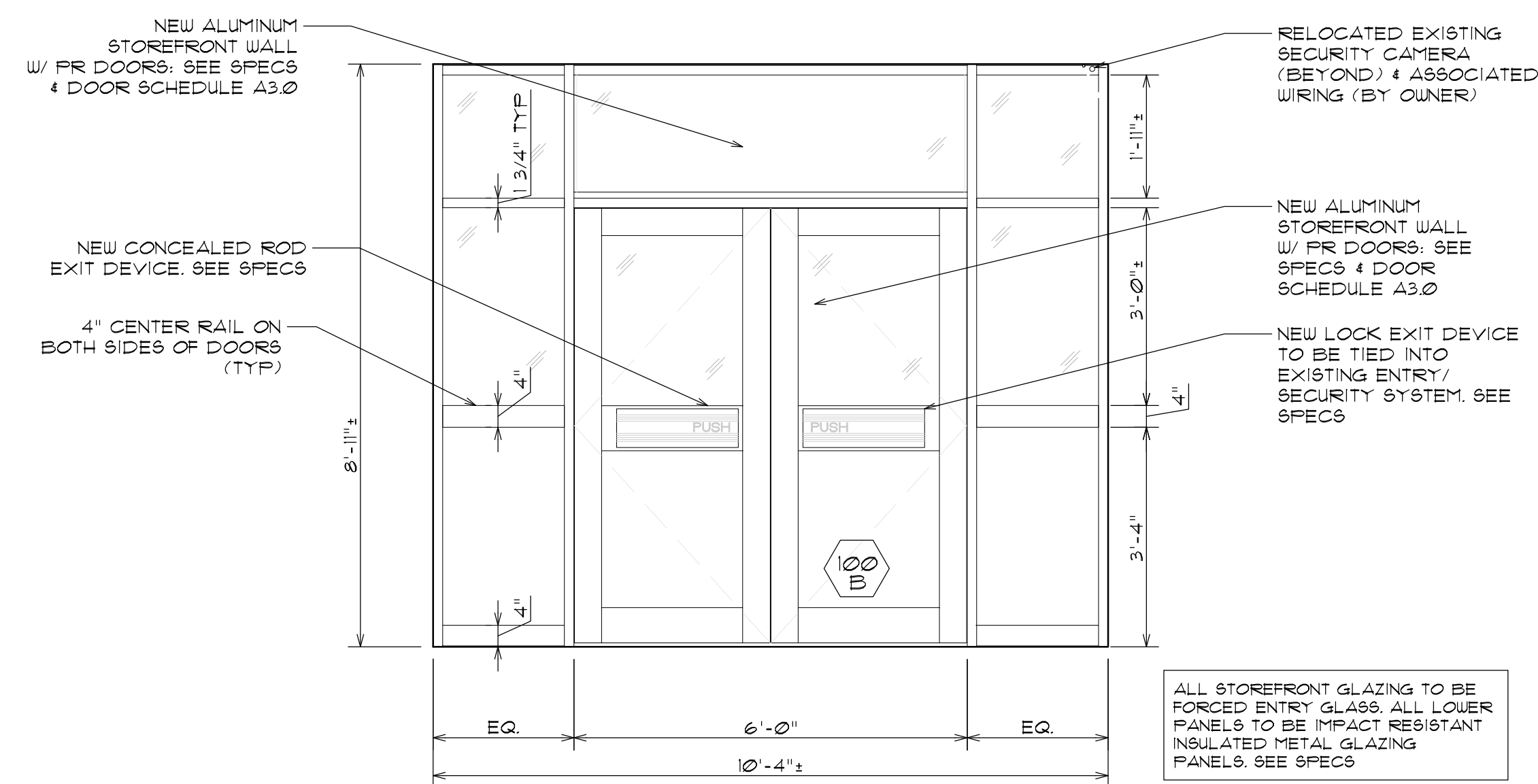
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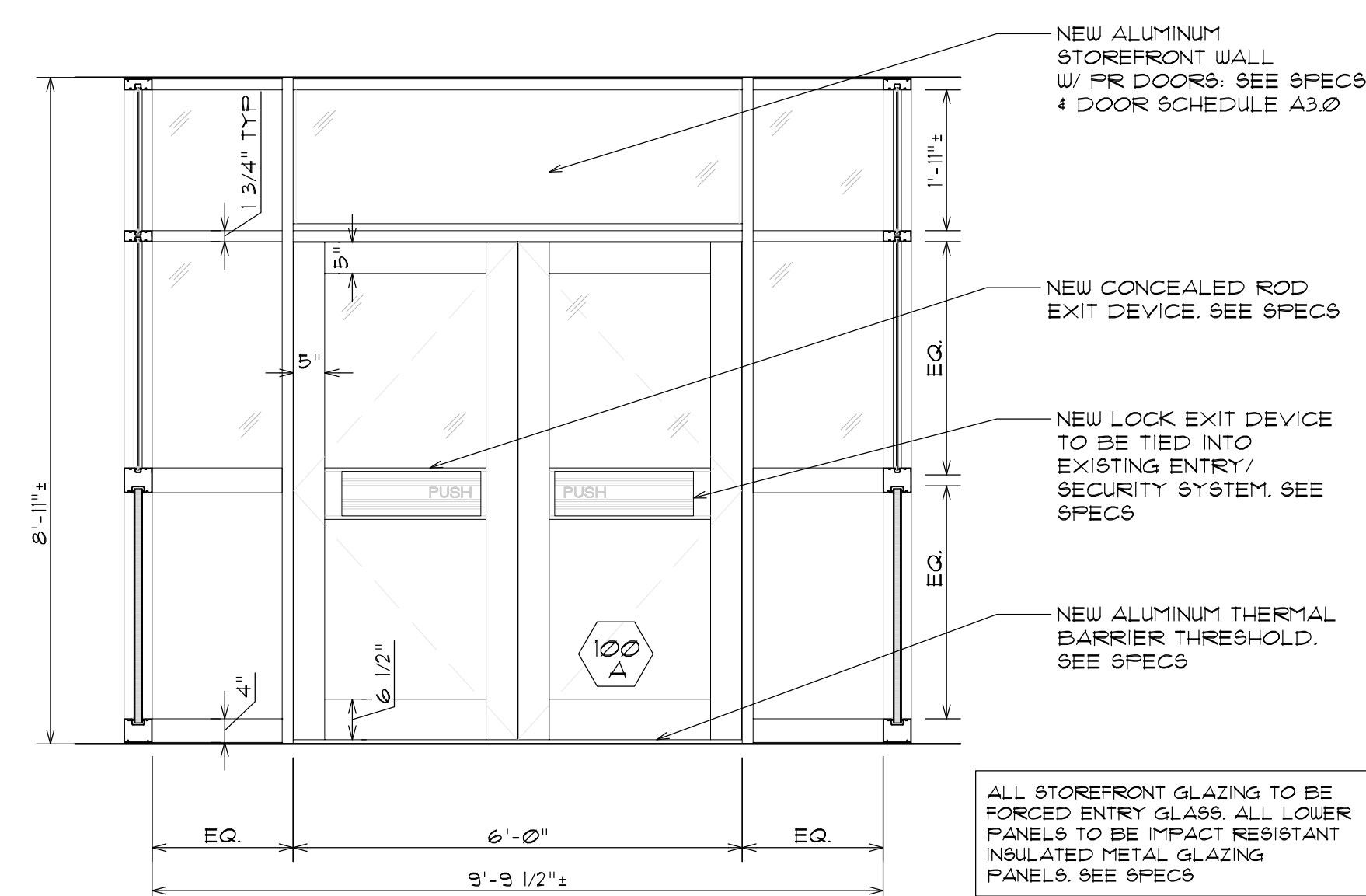
1 ENTRY & VESTIBULE SECTION
 A2.1 SCALE: 1/2" = 1'-0"



2 VESTIBULE STOREFRONT INSIDE CORNER DETAIL
 A2.1 SCALE: 1 1/2" = 1'-0"



3 FOYER STOREFRONT DETAIL
 A2.1 SCALE: 1/2" = 1'-0"



4 VESTIBULE STOREFRONT DETAIL
 A2.1 SCALE: 1/2" = 1'-0"



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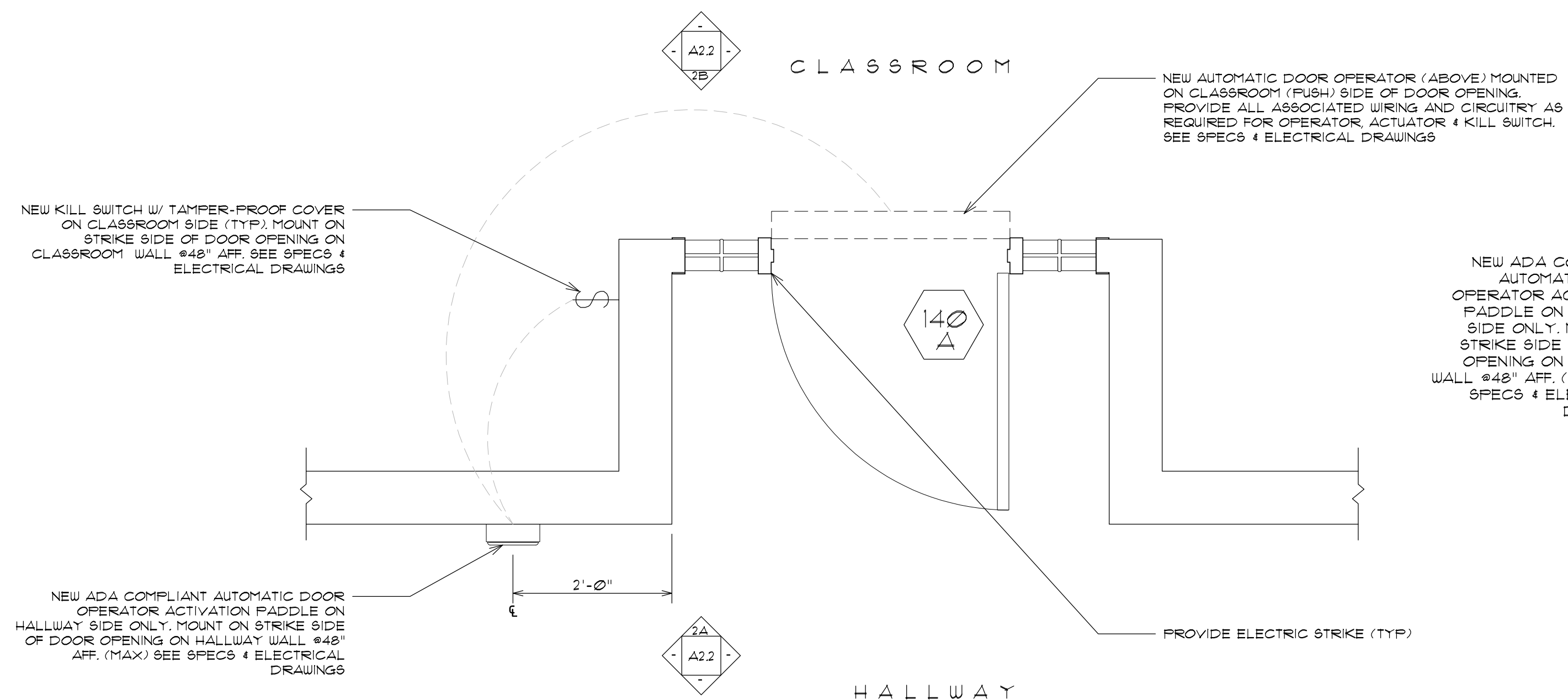
SHEET TITLE
 ENTRY & VESTIBULE SECTION,
 ELEVATION, & DETAILS

REVISIONS

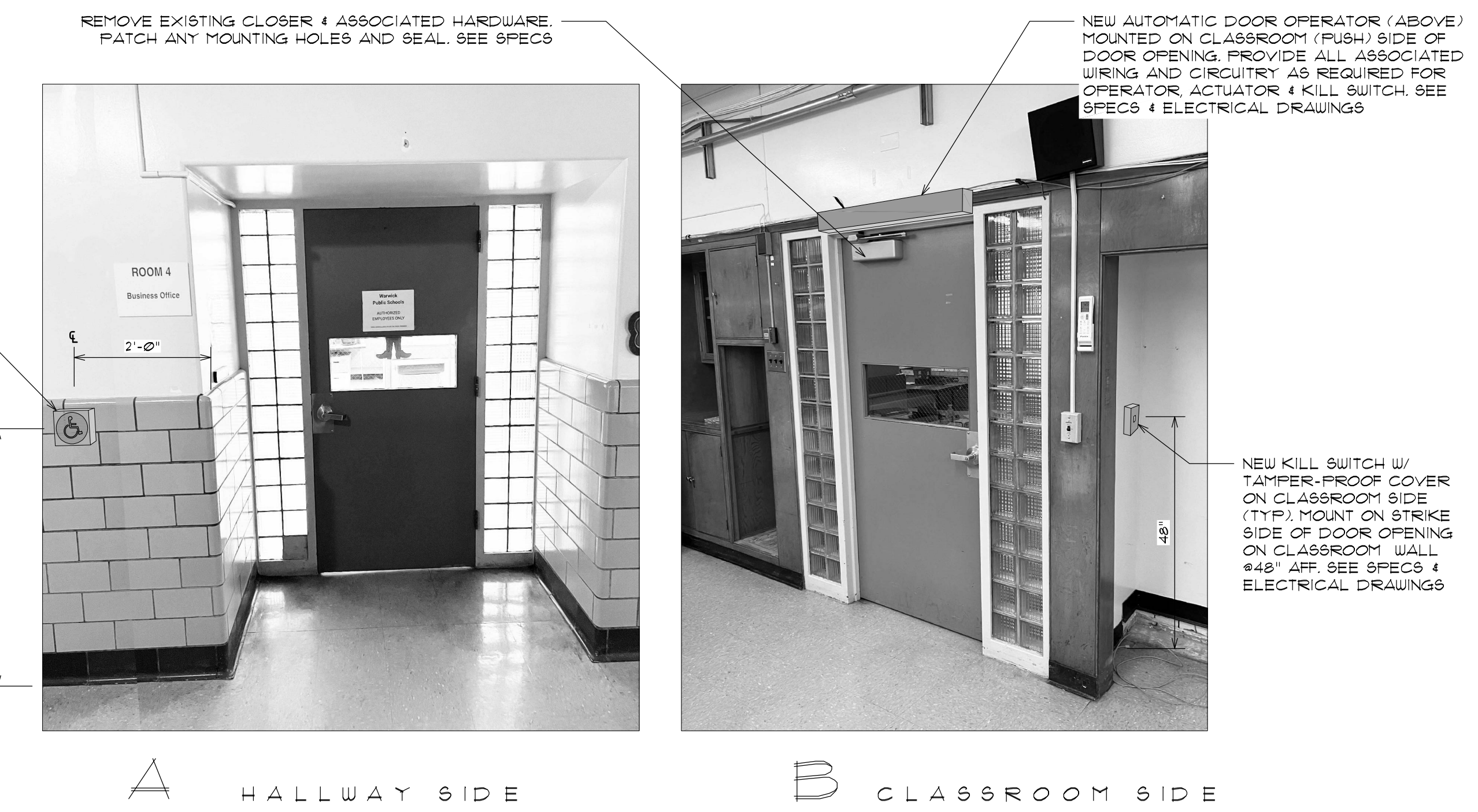
DRAWN: JMA DATE: 04/22/2014
 CHK BY: JXX JOB NO: 23071

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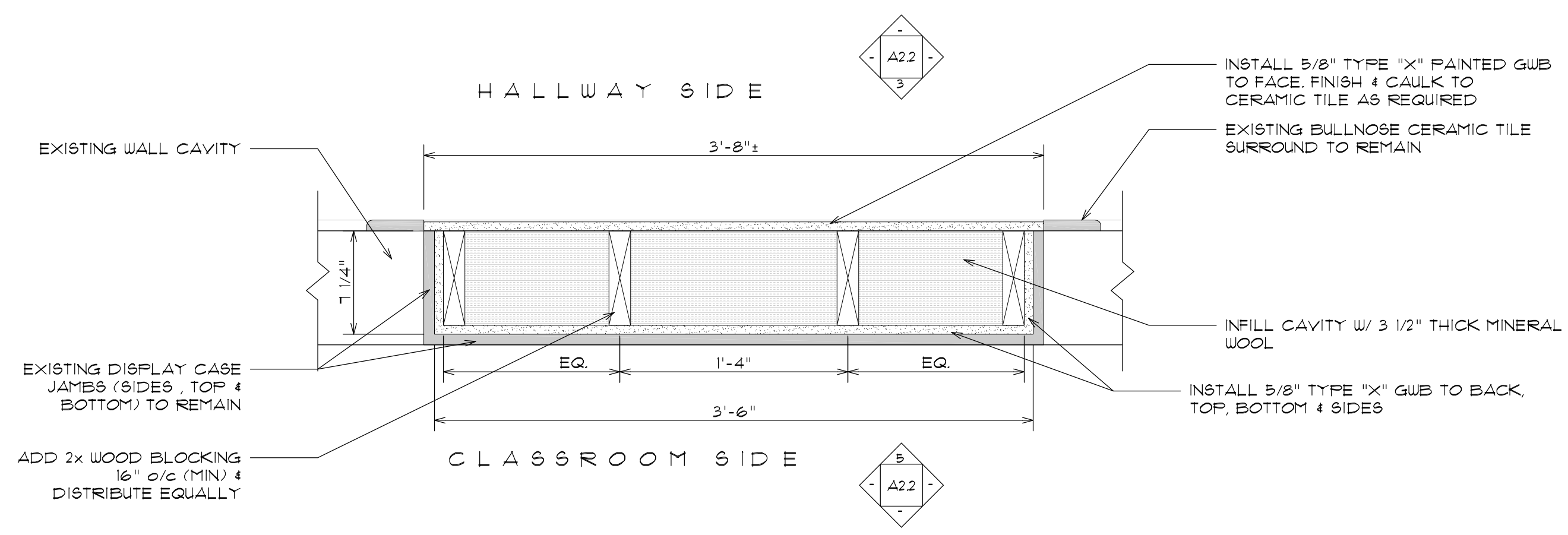
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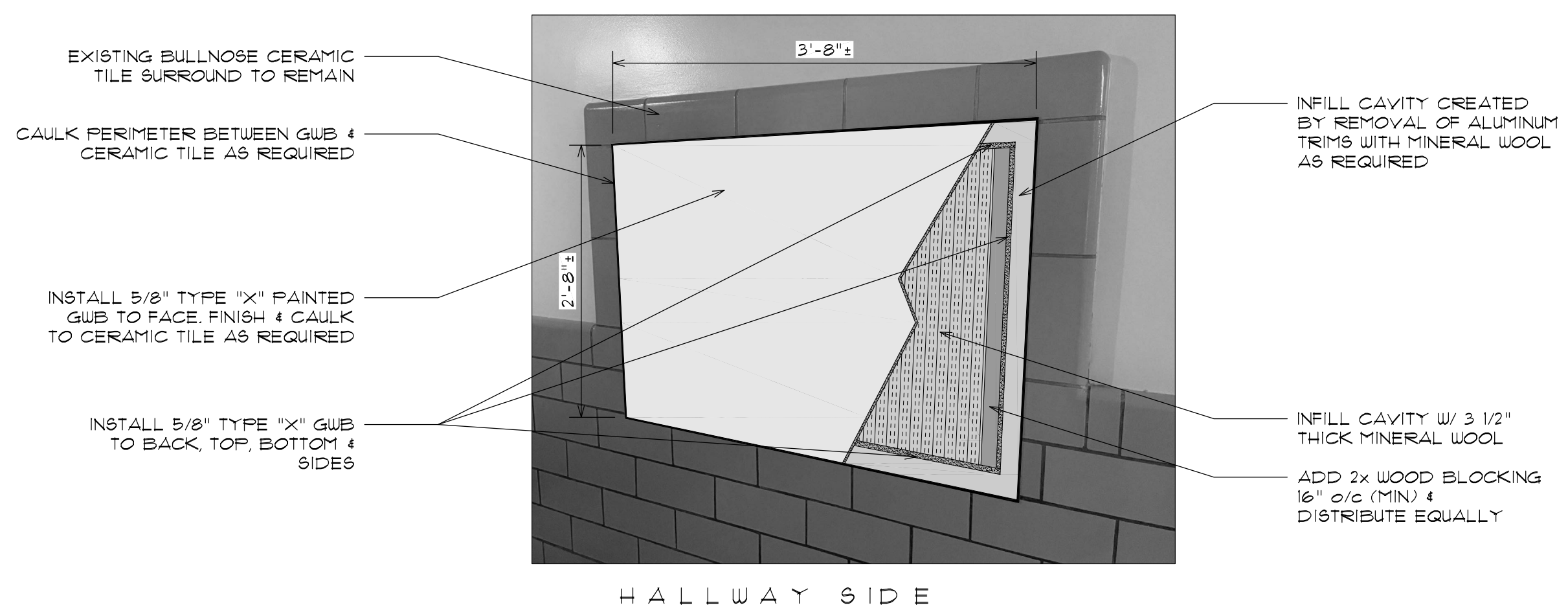
1 TYPICAL ROOM ENTRY PLAN W/ NEW AUTO DOOR OPERATOR
 A2.2 SCALE: 3/4"=1'-0" TYPICAL AT ROOMS 110, 111, 138, & 140



2 TYPICAL ROOM ENTRY ELEVATION W/ NEW AUTO DOOR OPERATOR
 A2.2 SCALE: 1 1/2"=1'-0" TYPICAL AT ROOMS 109, 135, 137, 138, 140, 141, 142 & 143



3 TYPICAL RECESSED DISPLAY CASE INFILL PLAN
 A2.2 SCALE: 1 1/2"=1'-0" TYPICAL AT ROOMS 109, 135, 137, 138, 140, 141, 142 & 143



4 TYPICAL RECESSED DISPLAY CASE INFILL ELEVATION
 A2.2 SCALE: NTS TYPICAL AT ROOMS 109, 135, 137, 138, 140, 141, 142 & 143



5 TYPICAL RECESSED DISPLAY CASE INFILL ELEVATION
 A2.2 SCALE: NTS TYPICAL AT ROOMS 109, 135, 137, 138, 140, 141, 142 & 143



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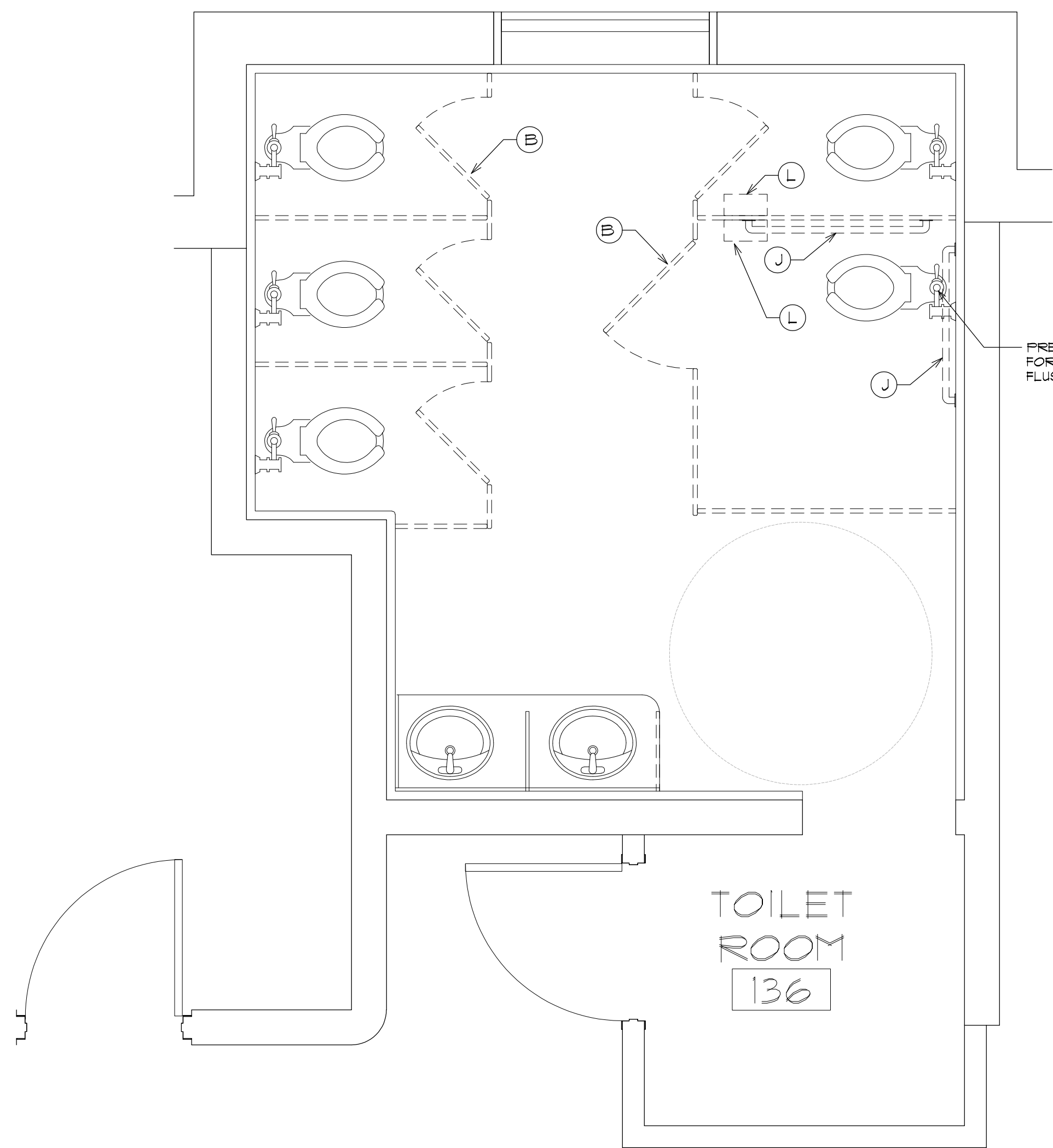
SHEET TITLE
 ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS

REVISIONS

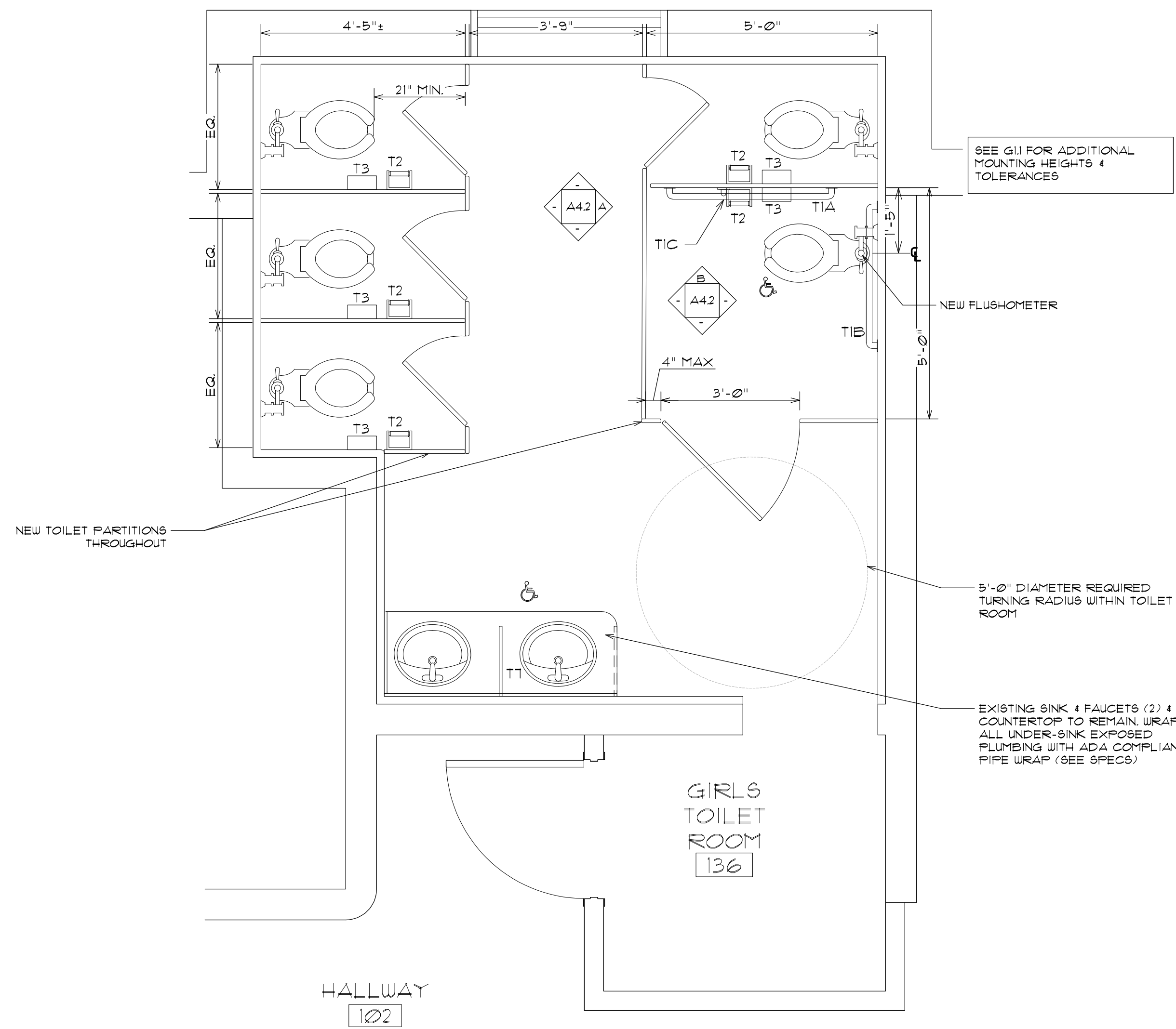
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A2.2

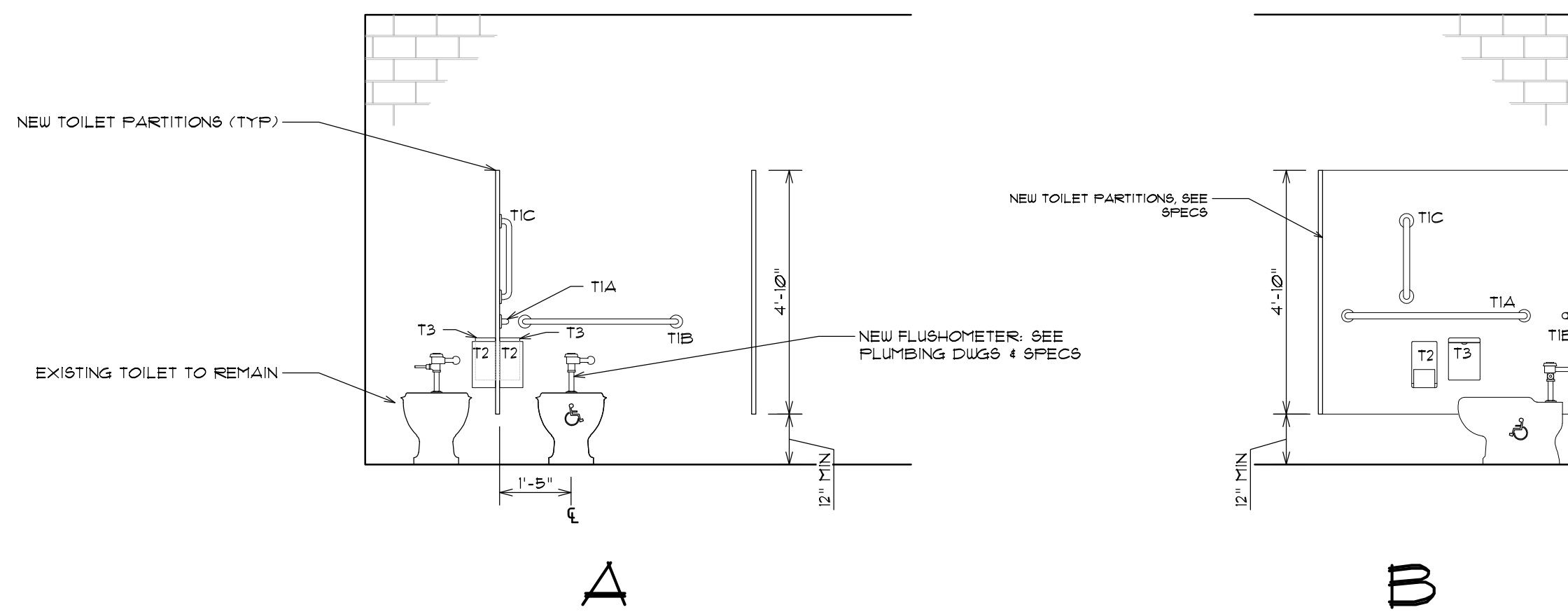
SHEET OF



1 GIRLS TOILET ROOM 136 DEMOLITION PLAN
 A2.3 SCALE: 1/2" = 1'-0"



2 GIRLS TOILET ROOM 136 NEW PLAN
 A2.3 SCALE: 1/2" = 1'-0"



3 GIRLS TOILET ROOM 136 INTERIOR ELEVATIONS
 A2.3 SCALE: 3/8" = 1'-0"

DEMOLITION KEYNOTES:

THE FOLLOWING KEYNOTES EXPAND UPON THE GENERAL DEMOLITION NOTES AND ARE TYPICAL THROUGHOUT THE PROJECT. CONTRACTORS ARE TO VERIFY ALL QUANTITIES IN THE FIELD.

- (A) REMOVE AND DISPOSE OF EXISTING LAVATORY. CUT CARRIER FLUSH WITH WALL IF APPLICABLE. COORDINATE WITH PLUMBING DRAWINGS.
- (B) REMOVE AND DISPOSE OF ALL EXISTING TOILET PARTITIONS SHOWN DASHED.
- (C) SAUCUT AND REMOVE PORTION OF WALL AS REQUIRED FOR NEW DOOR w/ H.M. FRAME AS SCHEDULED.
- (D) REMOVE AND DISPOSE OF EXISTING DOOR FRAME SALVAGE EXISTING HARDWARE FOR REUSE.
- (E) REMOVE AND DISPOSE OF EXISTING DOOR FRAME 4 HARDWARE (AND THRESHOLD WHERE REQUIRED). REMOVE ROU OF CMU ABOVE DOOR AS REQUIRED FOR NEW LINTELS AT ENLARGED DOOR OPENINGS.
- (F) REMOVE AND DISPOSE OF EXISTING FLOORING 4 MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. CARE TO BE TAKEN TO PRESERVE EXISTING CT COVE BASE. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE. TOILET ROOMS CONTAIN EXISTING CT FLOORING 4 CT BASE.
- (G) REMOVE EXISTING MIRROR.
- (H) REMOVE AND DISPOSE OF BRADLEY SINK. SAUCUT CONC. FLOOR 4 OPEN WALL AS REQUIRED TO MODIFY PLUMBING. SEE PLUMBING DUGS, 4 SPECS. PATCH WALL 4 FLOOR AS REQUIRED FOR NEW FINISHES.
- (I) REMOVE AND DISPOSE OF EXISTING DOOR FRAME 4 HARDWARE (AND THRESHOLD WHERE REQUIRED). PREPARE OPENING AS REQUIRED FOR NEW DOOR.
- (J) REMOVE AND DISPOSE OF EXISTING GRAB BAR.
- (K) REMOVE AND SALVAGE EXISTING PLUMBING FIXTURE FOR RELOCATION. COORDINATE WITH PLUMBING DRAWINGS.
- (L) REMOVE AND SALVAGE EXISTING SOAP, PAPER TOWEL 4 TOILET TISSUE DISPENSERS FOR RELOCATION (OR TURN OVER TO OWNER IF EXTRA).
- (M) REMOVE AND DISPOSE OF EXISTING TOILET / URINAL, WHERE FIXTURE IS NOT BEING REPLACED. PROVIDE CLEAN OUT IN FLOOR (IF FLOOR MOUNTED) OR CUT CARRIER FLUSH WITH WALL (IF WALL MOUNTED). COORDINATE WITH PLUMBING DRAWINGS.
- (N) SEE PLUMBING DRAWINGS FOR TOILET MODIFICATIONS.
- (O) REMOVE AND DISPOSE OF EXISTING FLOORING, BASE 4 MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE.

TOILET ROOM NOTES

1. REFER TO PROJECT FLOOR PLANS, AG10 GENERAL NOTES AND GENERAL TOILET ROOM FIXTURE 4 ACCESSORY MOUNTING REQUIREMENTS FOR DIMENSIONAL LOCATION OF ALL BATHROOM FIXTURES AND ACCESSORIES, UNLESS NOTED OTHERWISE.
2. INSTALL BLOCKING AS REQUIRED FOR SECURE FASTENING OF ALL ACCESSORIES, CASEWORK, ETC. SEE SPECS.
3. SEE SPECS FOR INFORMATION ON ALL TOILET ROOM ACCESSORIES.

TOILET ROOM ACCESSORY SCHEDULE

T1A	-42" GRAB BAR
T1B	-36" GRAB BAR
T1C	-18" GRAB BAR
T2	-TOILET PAPER HOLDER ** (PROVIDED BY OWNER)
T3	-SANITARY NAPKIN DISPOSAL **
T4	-SOAP DISPENSER ** (PROVIDED BY OWNER)
T5	-PAPER TOWEL DISPENSER ** (PROVIDED BY OWNER)
T6	-MIRROR 18" x 36" TEMPERED GLASS
T7	-ADA PIPE COVER
T8	-COAT HOOK

** INSTALL SALVAGED ACCESSORIES FIRST. OWNER TO PROVIDE NEW ACCESSORIES AS REQUIRED.

GENERAL CONSTRUCTION NOTES

1. ALL EXISTING CEILING TO BE FILLED, PATCHED 4 REPAINTED. SEE SPECS.
2. EXISTING EXPOSED CMU WALLS OR WALL PATCHES SHALL BE CLEANED FILLED 4 PATCHED (WHERE REQUIRED) 4 REPAINTED. SEE SPECS.
3. EXISTING WALL GLAZED BLOCK TO BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
4. ALL EXISTING FLOOR TILE SHALL BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
5. EXISTING FIXTURES THAT REMAIN SHALL BE CLEANED.



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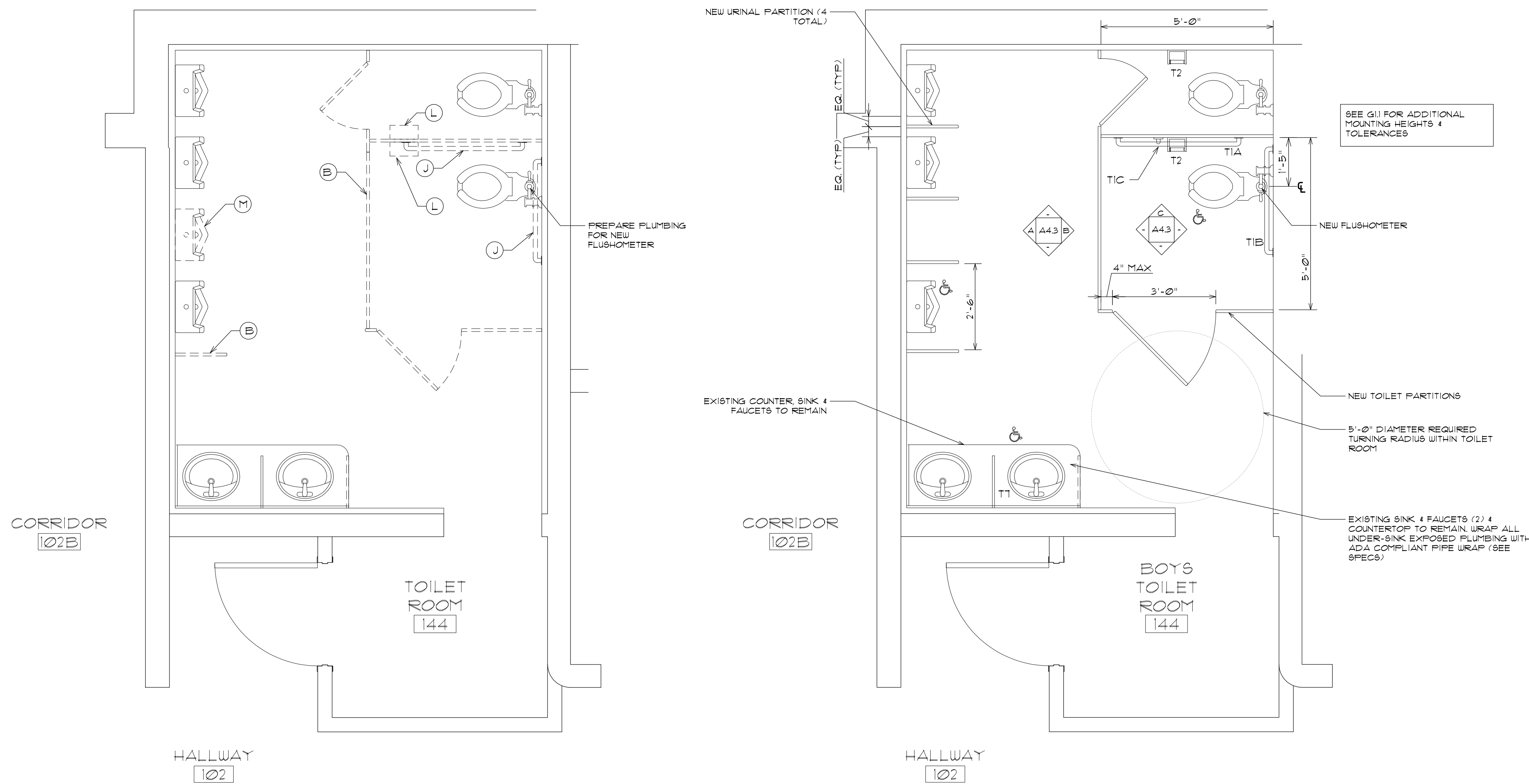
SHEET TITLE
 GIRLS TOILET ROOM (136)
 ENLARGED FLOOR PLANS 4
 INTERIOR ELEVATIONS

REVISIONS

DRAWN: JMA DATE: 04/22/2024
 CHK BY: XX JOB NO: 23071

A2.3

SHEET OF



DEMOLITION KEYNOTES:

THE FOLLOWING KEYNOTES EXPAND UPON THE GENERAL DEMOLITION NOTES AND ARE TYPICAL THROUGHOUT THE PROJECT. CONTRACTORS ARE TO VERIFY ALL QUANTITIES IN THE FIELD.

- (A) REMOVE AND DISPOSE OF EXISTING LAVATORY. CUT CARRIER FLUSH WITH WALL IF APPLICABLE. COORDINATE WITH PLUMBING DRAWINGS.
- (B) REMOVE AND DISPOSE OF ALL EXISTING TOILET PARTITIONS SHOWN DASHED.
- (C) SAUCUT AND REMOVE PORTION OF WALL AS REQUIRED FOR NEW DOOR w/ H.M. FRAME AS SCHEDULED.
- (D) REMOVE AND DISPOSE OF EXISTING DOOR FRAME SALVAGE EXISTING HARDWARE FOR REUSE.
- (E) REMOVE AND DISPOSE OF EXISTING DOOR FRAME & HARDWARE (AND THRESHOLD WHERE REQUIRED). REMOVE ROU OF CMU ABOVE DOOR AS REQUIRED FOR NEW LINTELS AT ENLARGED DOOR OPENINGS.
- (F) REMOVE AND DISPOSE OF EXISTING FLOORING & MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. CARE TO BE TAKEN TO PRESERVE EXISTING CT COVE BASE. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE. TOILET ROOMS CONTAIN EXISTING CT FLOORING & CT BASE.
- (G) REMOVE AND DISPOSE OF EXISTING MIRROR.
- (H) REMOVE AND DISPOSE OF BRADLEY SINK. SAUCUT CONC. FLOOR & OPEN WALL AS REQUIRED TO MODIFY PLUMBING. SEE PLUMBING DWGS. & SPECS. PATCH WALL & FLOOR AS REQUIRED FOR NEW FINISHES.
- (I) REMOVE AND DISPOSE OF EXISTING DOOR FRAME & HARDWARE (AND THRESHOLD WHERE REQUIRED). PREPARE OPENING AS REQUIRED FOR NEW DOOR.
- (J) REMOVE AND DISPOSE OF EXISTING GRAB BAR.
- (K) REMOVE AND SALVAGE EXISTING PLUMBING FIXTURE FOR RELOCATION. COORDINATE WITH PLUMBING DRAWINGS.
- (L) REMOVE AND SALVAGE EXISTING SOAP, PAPER TOWEL & TOILET TISSUE DISPENSERS FOR RELOCATION (OR TURN OVER TO OWNER IF EXTRA).
- (M) REMOVE AND DISPOSE OF EXISTING TOILET / URINAL. WHERE FIXTURE IS NOT BEING REPLACED, PROVIDE CLEAN OUT IN FLOOR (IF FLOOR MOUNTED) OR CUT CARRIER FLUSH WITH WALL (IF WALL MOUNTED). COORDINATE WITH PLUMBING DRAWINGS.
- (N) SEE PLUMBING DRAWINGS FOR TOILET MODIFICATIONS.
- (O) REMOVE AND DISPOSE OF EXISTING FLOORING, BASE & MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE.

TOILET ROOM NOTES

1. REFER TO PROJECT FLOOR PLANS, AG10 GENERAL NOTES AND GENERAL TOILET ROOM FIXTURE & ACCESSORY MOUNTING REQUIREMENTS FOR DIMENSIONAL LOCATION OF ALL BATHROOM FIXTURES AND ACCESSORIES, UNLESS NOTED OTHERWISE.
2. INSTALL BLOCKING AS REQUIRED FOR SECURE FASTENING OF ALL ACCESSORIES, CASEWORK, ETC. SEE SPECS.
3. SEE SPECS FOR INFORMATION ON ALL TOILET ROOM ACCESSORIES.

TOILET ROOM ACCESSORY SCHEDULE

T1A	-42" GRAB BAR
T1B	-36" GRAB BAR
T1C	-18" GRAB BAR
T2	-TOILET PAPER HOLDER ** (PROVIDED BY OWNER)
T3	-SANITARY NAPKIN DISPOSAL **
T4	-SOAP DISPENSER ** (PROVIDED BY OWNER)
T5	-PAPER TOWEL DISPENSER ** (PROVIDED BY OWNER)
T6	-MIRROR 18" x 36" TEMPERED GLASS
T7	-ADA PIPE COVER
T8	-COAT HOOK

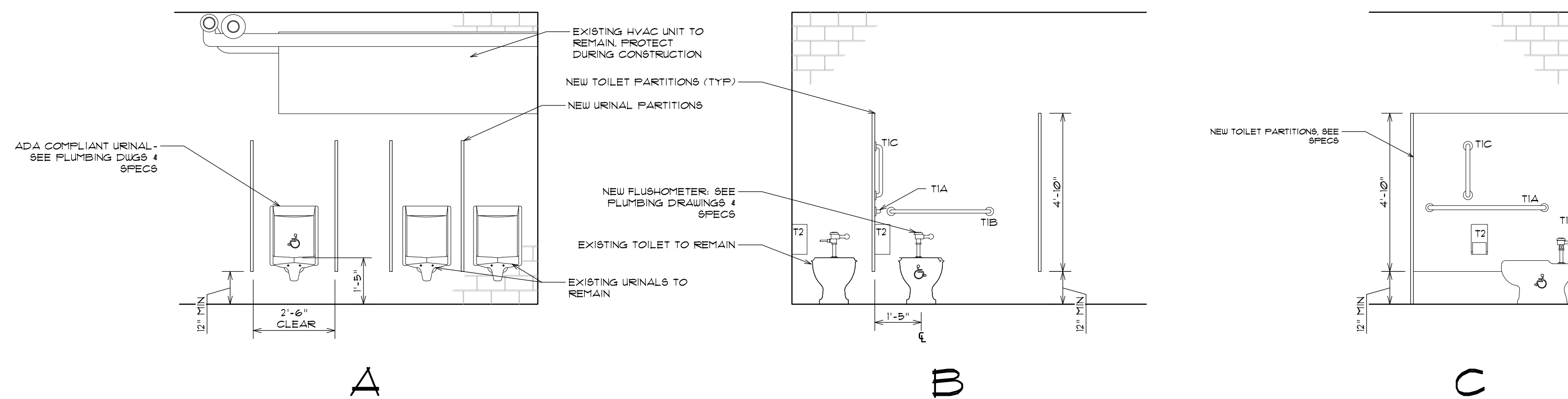
** INSTALL SALVAGED ACCESSORIES FIRST. OWNER TO PROVIDE NEW ACCESSORIES AS REQUIRED.

GENERAL CONSTRUCTION NOTES

1. ALL EXISTING CEILING TO BE FILLED, PATCHED & REPAINTED. SEE SPECS.
2. EXISTING EXPOSED CMU WALLS OR WALL PATCHES SHALL BE CLEANED, FILLED & PATCHED (WHERE REQUIRED) & REPAINTED. SEE SPECS.
3. EXISTING WALL GLAZED BLOCK TO BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
4. ALL EXISTING FLOOR TILE SHALL BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
5. EXISTING FIXTURES THAT REMAIN SHALL BE CLEANED.

1 BOYS TOILET ROOM 144 DEMOLITION PLAN
SCALE: 1/2" = 1'-0"

2 BOYS TOILET ROOM 144 NEW PLAN
SCALE: 1/2" = 1'-0"



3 BOYS TOILET ROOM 144 INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



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SHEET TITLE
BOYS TOILET ROOM (144)
ENLARGED FLOOR PLANS &
INTERIOR ELEVATIONS

REVISIONS

DRAWN: JMA DATE: 04/22/2024
CHK BY: XX JOB NO: 23071

A2.4

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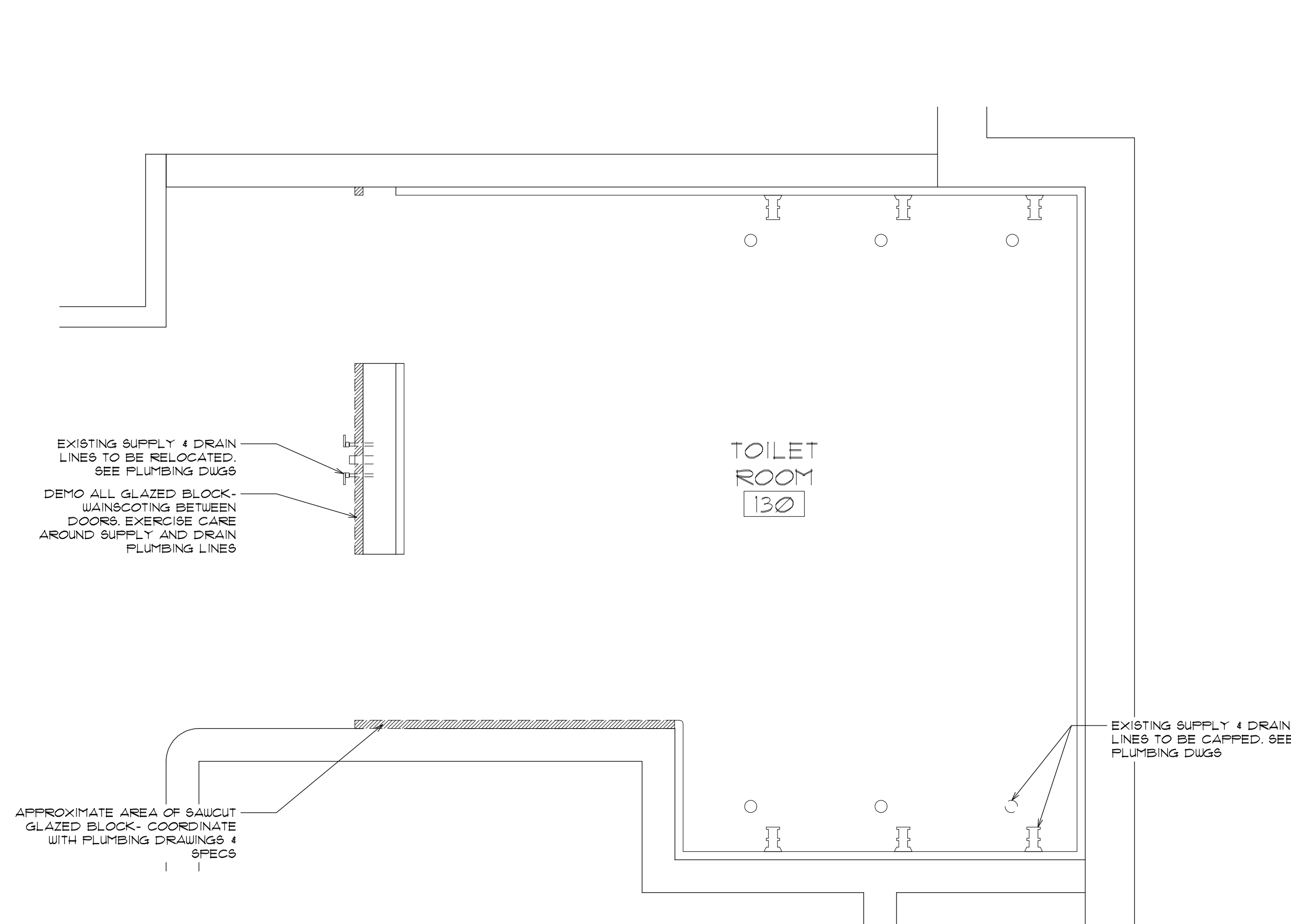
SHEET TITLE
GIRLS TOILET ROOM (130)
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS

REVISIONS

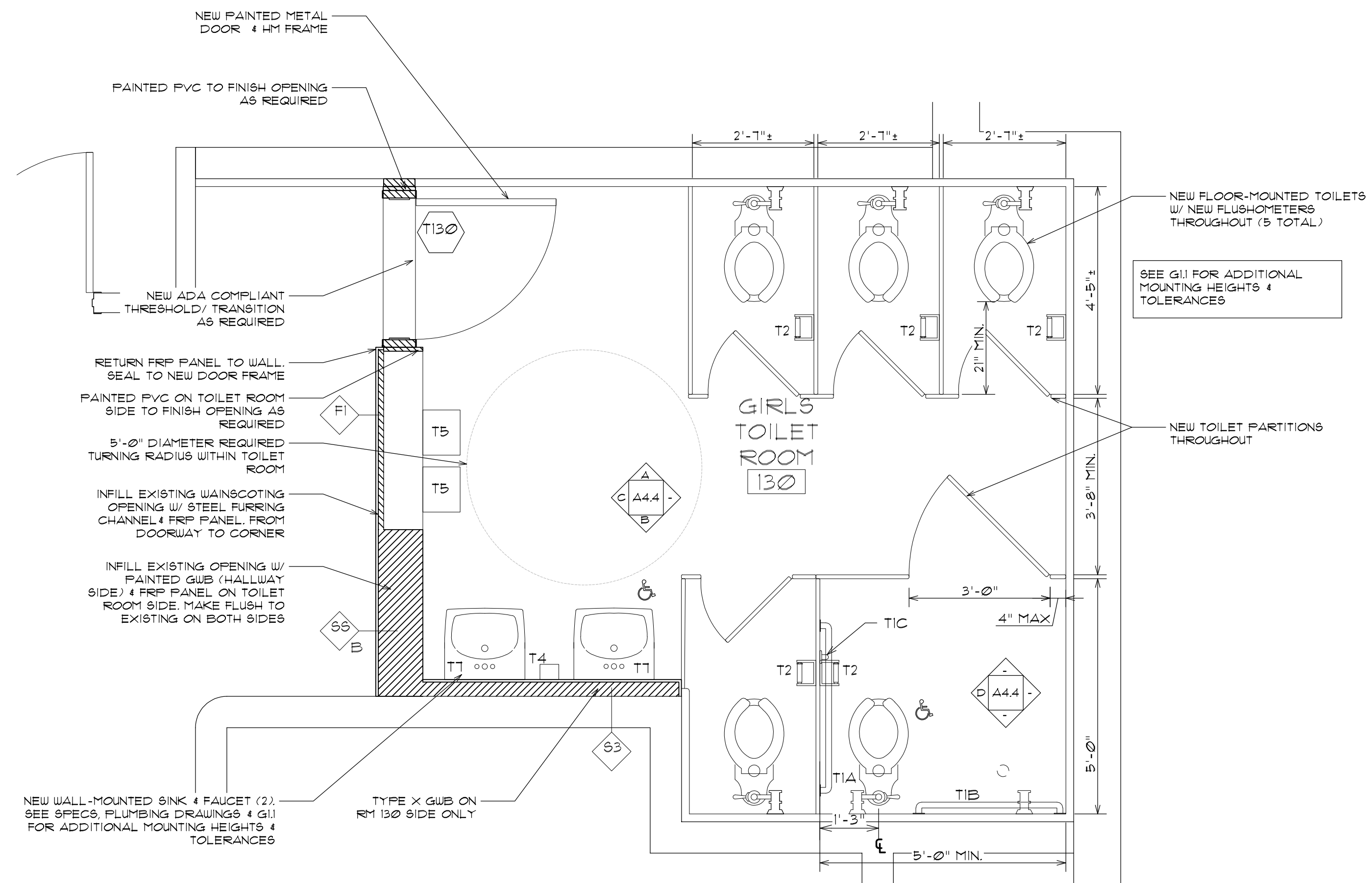
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CHK BY: XX JOB NO: 23071

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SHEET OF



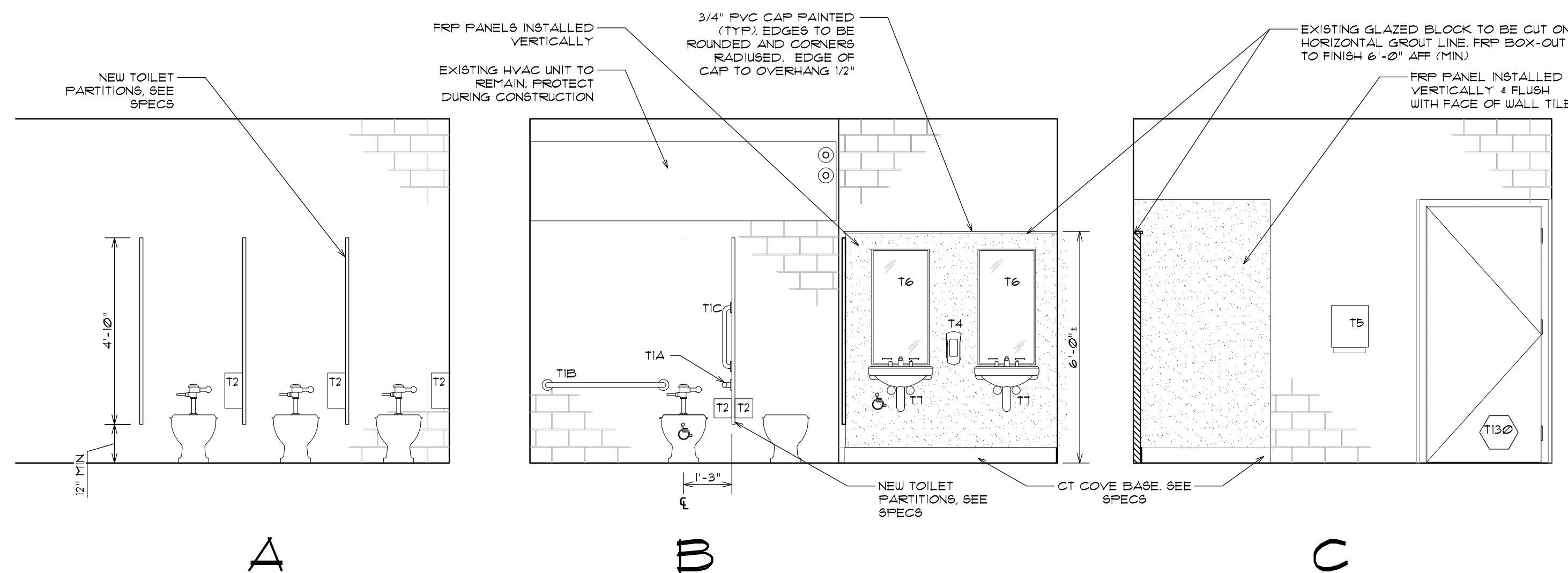
2 GIRLS TOILET ROOM 130 DEMOLITION PLAN
A2.5 SCALE: 1/2" = 1'-0"



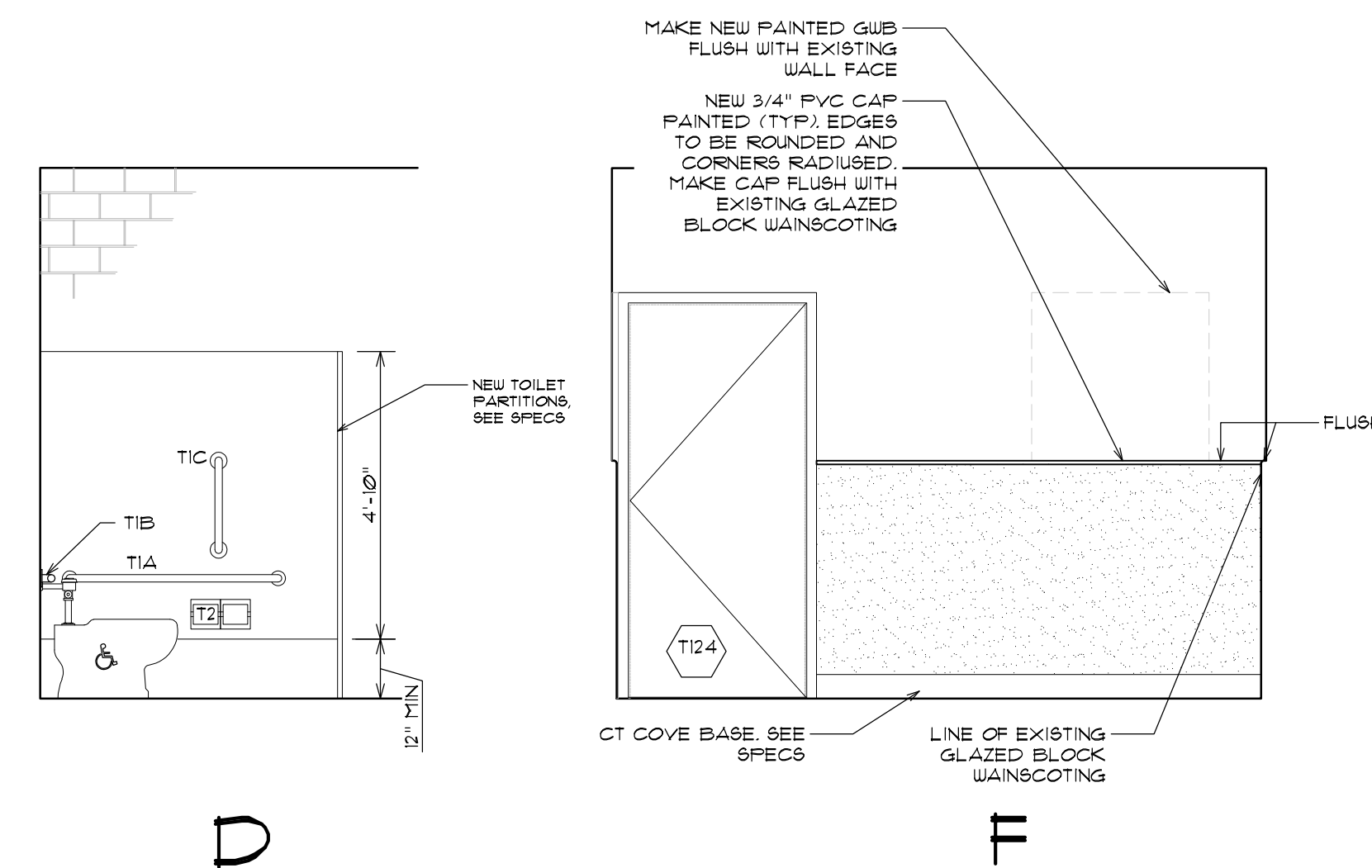
2 GIRLS TOILET ROOM 130 NEW PLAN
A2.5 SCALE: 1/2" = 1'-0"

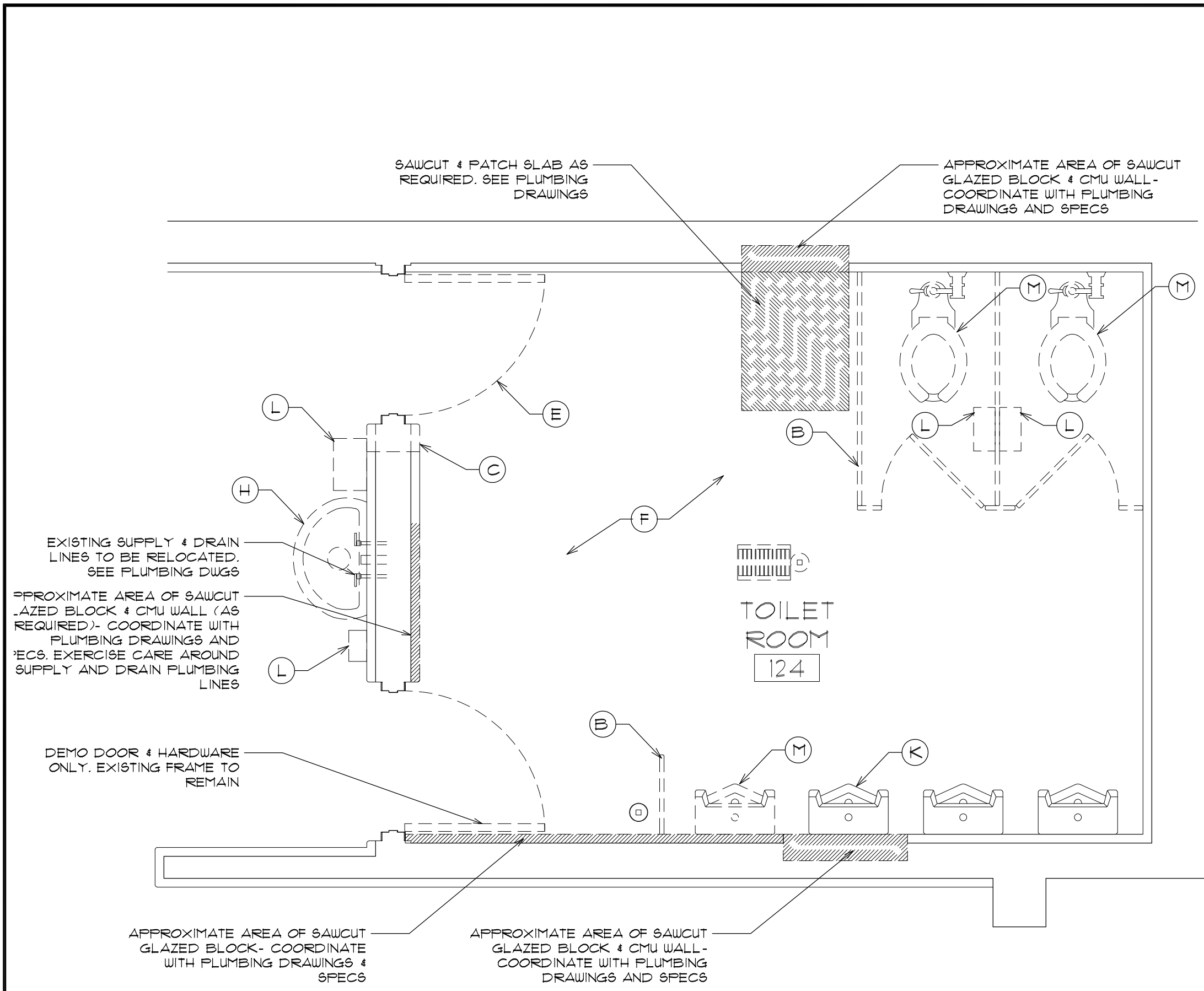
TOILET ROOM NOTES	
1.	REFER TO PROJECT FLOOR PLANS, AG10 GENERAL NOTES AND GENERAL TOILET ROOM FIXTURE & ACCESSORY MOUNTING REQUIREMENTS FOR DIMENSIONAL LOCATION OF ALL BATHROOM FIXTURES AND ACCESSORIES, UNLESS NOTED OTHERWISE.
2.	INSTALL BLOCKING AS REQUIRED FOR SECURE FASTENING OF ALL ACCESSORIES, CASEWORK, ETC. SEE SPECS.
3.	SEE SPECS FOR INFORMATION ON ALL TOILET ROOM ACCESSORIES.
TOILET ROOM ACCESSORY SCHEDULE	
T1A	-42" GRAB BAR
T1B	-36" GRAB BAR
T1C	-18" GRAB BAR
T2	-TOILET PAPER HOLDER ** (PROVIDED BY OWNER)
T3	-SANITARY NAPKIN DISPOSAL **
T4	-SOAP DISPENSER ** (PROVIDED BY OWNER)
T5	-PAPER TOWEL DISPENSER ** (PROVIDED BY OWNER)
T6	-MIRROR 18" x 36" TEMPERED GLASS
T7	-ADA PIPE COVER
T8	-COAT HOOK
**	INSTALL SALVAGED ACCESSORIES FIRST. OWNER TO PROVIDE NEW ACCESSORIES AS REQUIRED.

GENERAL CONSTRUCTION NOTES	
1.	ALL EXISTING CEILING TO BE FILLED, PATCHED & REPAINTED. SEE SPECS.
2.	EXISTING EXPOSED CMU WALLS OR WALL PATCHES SHALL BE CLEANED, FILLED & PATCHED (WHERE REQUIRED) & REPAINTED. SEE SPECS.
3.	EXISTING WALL GLAZED BLOCK TO BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
4.	ALL EXISTING FLOOR TILE SHALL BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
5.	EXISTING FIXTURES THAT REMAIN SHALL BE CLEANED.

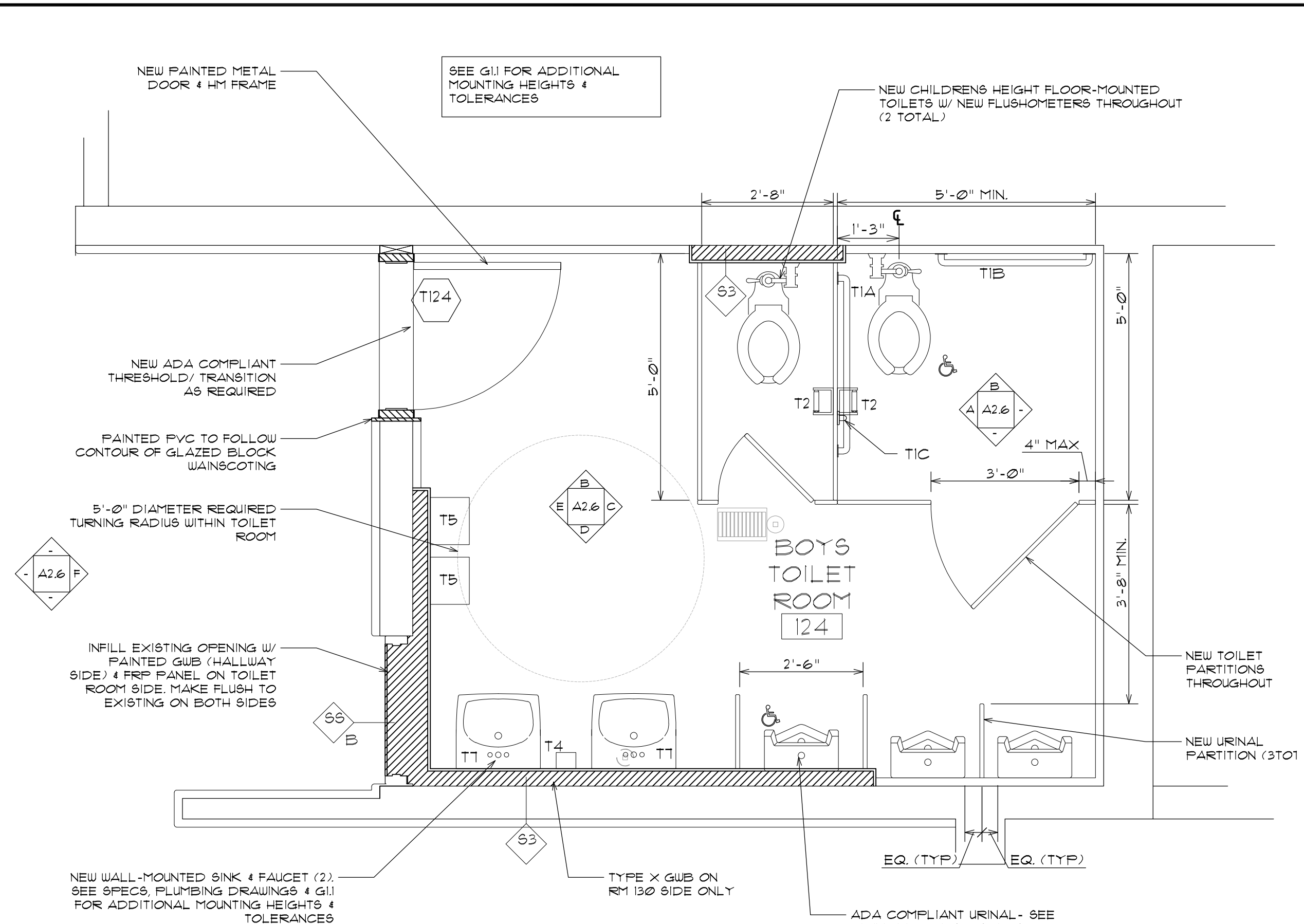


3 GIRLS TOILET ROOM 130 INTERIOR ELEVATIONS
A2.5 SCALE: 3/8" = 1'-0"





2 BOYS TOILET ROOM 124 DEMOLITION PLAN
 A2.6 SCALE: 1/2" = 1'-0"



2 BOYS TOILET ROOM 124 NEW PLAN
 A2.6 SCALE: 1/2" = 1'-0"

DEMOLITION KEYNOTES:

THE FOLLOWING KEYNOTES EXPAND UPON THE GENERAL DEMOLITION NOTES AND ARE TYPICAL THROUGHOUT THE PROJECT. CONTRACTORS ARE TO VERIFY ALL QUANTITIES IN THE FIELD.

- (A) REMOVE AND DISPOSE OF EXISTING LAVATORY. CUT CARRIER FLUSH WITH WALL IF APPLICABLE. COORDINATE WITH PLUMBING DRAWINGS.
- (B) REMOVE AND DISPOSE OF ALL EXISTING TOILET PARTITIONS SHOWN DASHED.
- (C) SAUCUT AND REMOVE PORTION OF WALL AS REQUIRED FOR NEW DOOR W/ H.M. FRAME AS SCHEDULED.
- (D) REMOVE AND DISPOSE OF EXISTING DOOR FRAME SALVAGE EXISTING HARDWARE FOR REUSE.
- (E) REMOVE AND DISPOSE OF EXISTING DOOR FRAME & HARDWARE (AND THRESHOLD WHERE REQUIRED). REMOVE ROU OF CMU ABOVE DOOR AS REQUIRED FOR NEW LINTELS AT ENLARGED DOOR OPENINGS.
- (F) REMOVE AND DISPOSE OF EXISTING FLOORING & MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. CARE TO BE TAKEN TO PRESERVE EXISTING CT COVE BASE. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE. TOILET ROOMS CONTAIN EXISTING CT FLOORING & CT BASE.
- (G) REMOVE AND DISPOSE OF EXISTING MIRROR.
- (H) REMOVE AND DISPOSE OF BRADLEY SINK. SAUCUT CONC. FLOOR & OPEN WALL AS REQUIRED TO MOBY PLUMBING. SEE PLUMBING DUGS, & SPECS. PATCH WALL & FLOOR AS REQUIRED FOR NEW FINISHES.
- (I) REMOVE AND DISPOSE OF EXISTING DOOR FRAME & HARDWARE (AND THRESHOLD WHERE REQUIRED). PREPARE OPENING AS REQUIRED FOR NEW DOOR.
- (J) REMOVE AND DISPOSE OF EXISTING GRAB BAR.
- (K) REMOVE AND SALVAGE EXISTING PLUMBING FIXTURE FOR RELOCATION. COORDINATE WITH PLUMBING DRAWINGS.
- (L) REMOVE AND SALVAGE EXISTING SOAP, PAPER TOWEL & TOILET TISSUE DISPENSERS FOR RELOCATION (OR TURN OVER TO OWNER IF EXTRA).
- (M) REMOVE AND DISPOSE OF EXISTING TOILET / URINAL, WHERE FIXTURE IS NOT BEING REPLACED. PROVIDE CLEAN OUT IN FLOOR (IF FLOOR MOUNTED) OR CUT CARRIER FLUSH WITH WALL (IF WALL MOUNTED). COORDINATE WITH PLUMBING DRAWINGS.
- (N) SEE PLUMBING DRAWINGS FOR TOILET MODIFICATIONS.
- (O) REMOVE AND DISPOSE OF EXISTING FLOORING, BASE & MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE.

TOILET ROOM NOTES

1. REFER TO PROJECT FLOOR PLANS, AG10 GENERAL NOTES AND GENERAL TOILET ROOM FIXTURE & ACCESSORY MOUNTING REQUIREMENTS FOR DIMENSIONAL LOCATION OF ALL BATHROOM FIXTURES AND ACCESSORIES, UNLESS NOTED OTHERWISE.
2. INSTALL BLOCKING AS REQUIRED FOR SECURE FASTENING OF ALL ACCESSORIES, CASEWORK, ETC. SEE SPECS.
3. SEE SPECS FOR INFORMATION ON ALL TOILET ROOM ACCESSORIES.

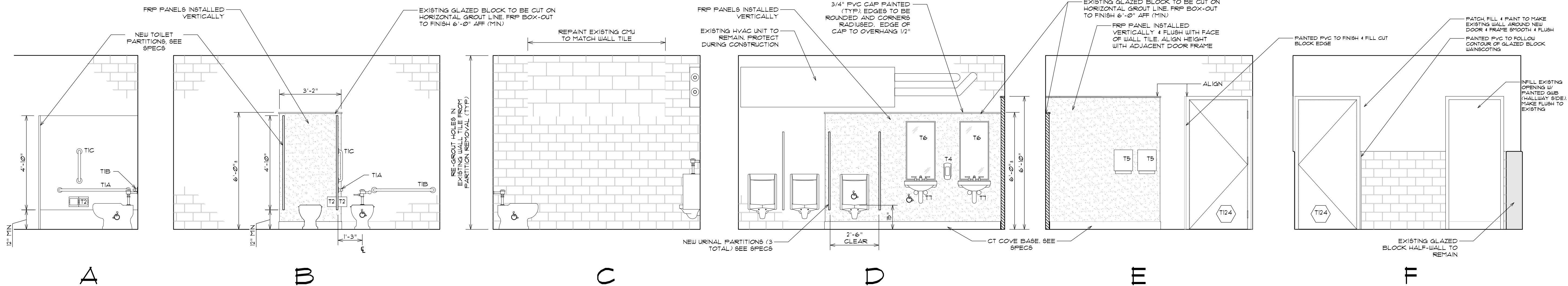
TOILET ROOM ACCESSORY SCHEDULE

T1A	- 42" GRAB BAR
T1B	- 36" GRAB BAR
T1C	- 18" GRAB BAR
T2	- TOILET PAPER HOLDER ** (PROVIDED BY OWNER)
T3	- SANITARY NAPKIN DISPOSAL **
T4	- SOAP DISPENSER ** (PROVIDED BY OWNER)
T5	- PAPER TOWEL DISPENSER ** (PROVIDED BY OWNER)
T6	- MIRROR 18" x 36" TEMPERED GLASS
T7	- ADA PIPE COVER
T8	- COAT HOOK

** INSTALL SALVAGED ACCESSORIES FIRST. OWNER TO PROVIDE NEW ACCESSORIES AS REQUIRED.

GENERAL CONSTRUCTION NOTES

1. ALL EXISTING CEILINGS TO BE FILLED, PATCHED & REPAINTED. SEE SPECS.
2. EXISTING EXPOSED CMU WALLS OR WALL PATCHES SHALL BE CLEANED, FILLED & PATCHED (WHERE REQUIRED) & REPAINTED. SEE SPECS.
3. EXISTING WALL GLAZED BLOCK TO BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
4. ALL EXISTING FLOOR TILE SHALL BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
5. EXISTING FIXTURES THAT REMAIN SHALL BE CLEANED.



3 BOYS TOILET ROOM 124 INTERIOR ELEVATIONS
 A2.6 SCALE: 3/8" = 1'-0"



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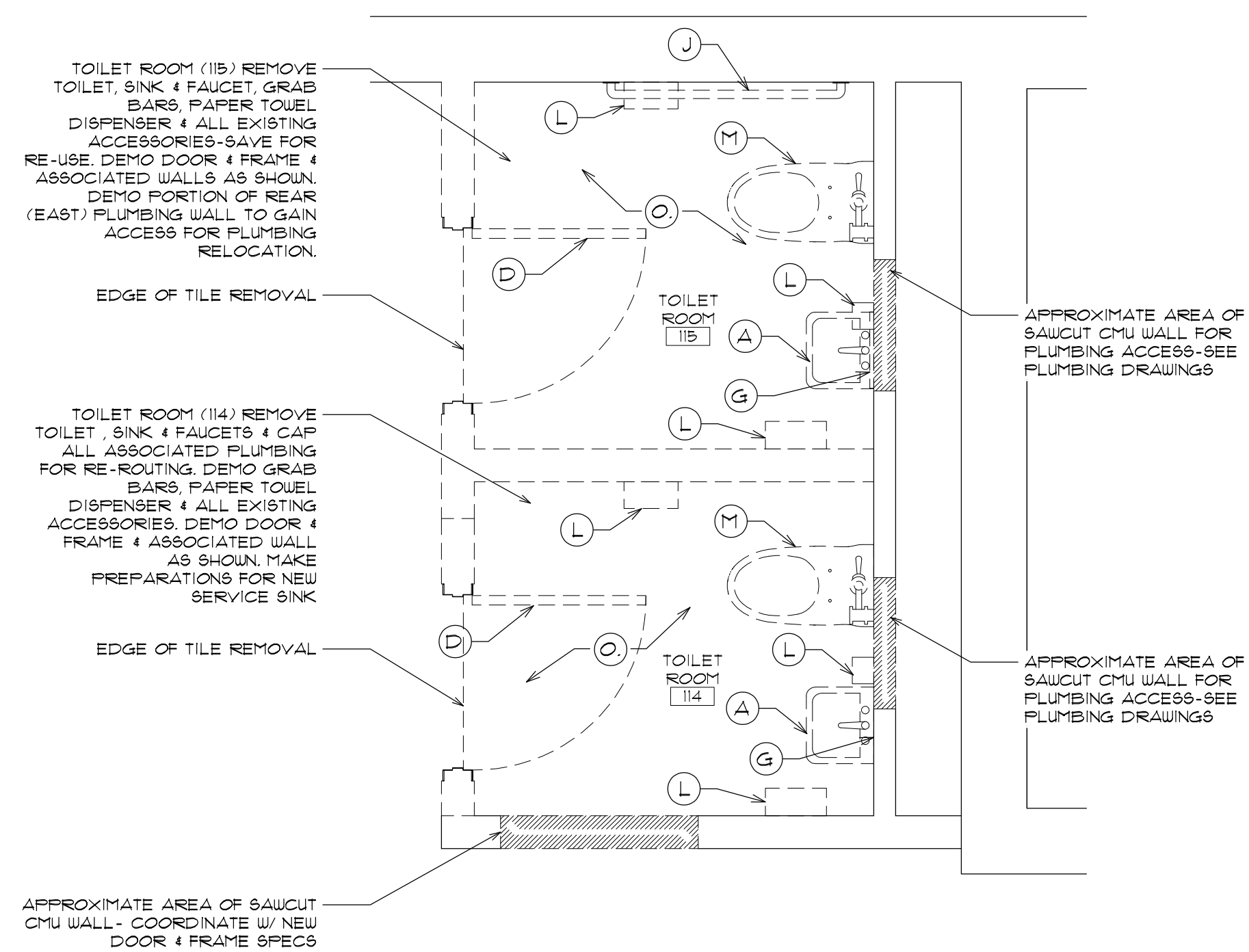
SHEET TITLE
 BOYS TOILET ROOM (124)
 ENLARGED FLOOR PLANS &
 INTERIOR ELEVATIONS

REVISIONS

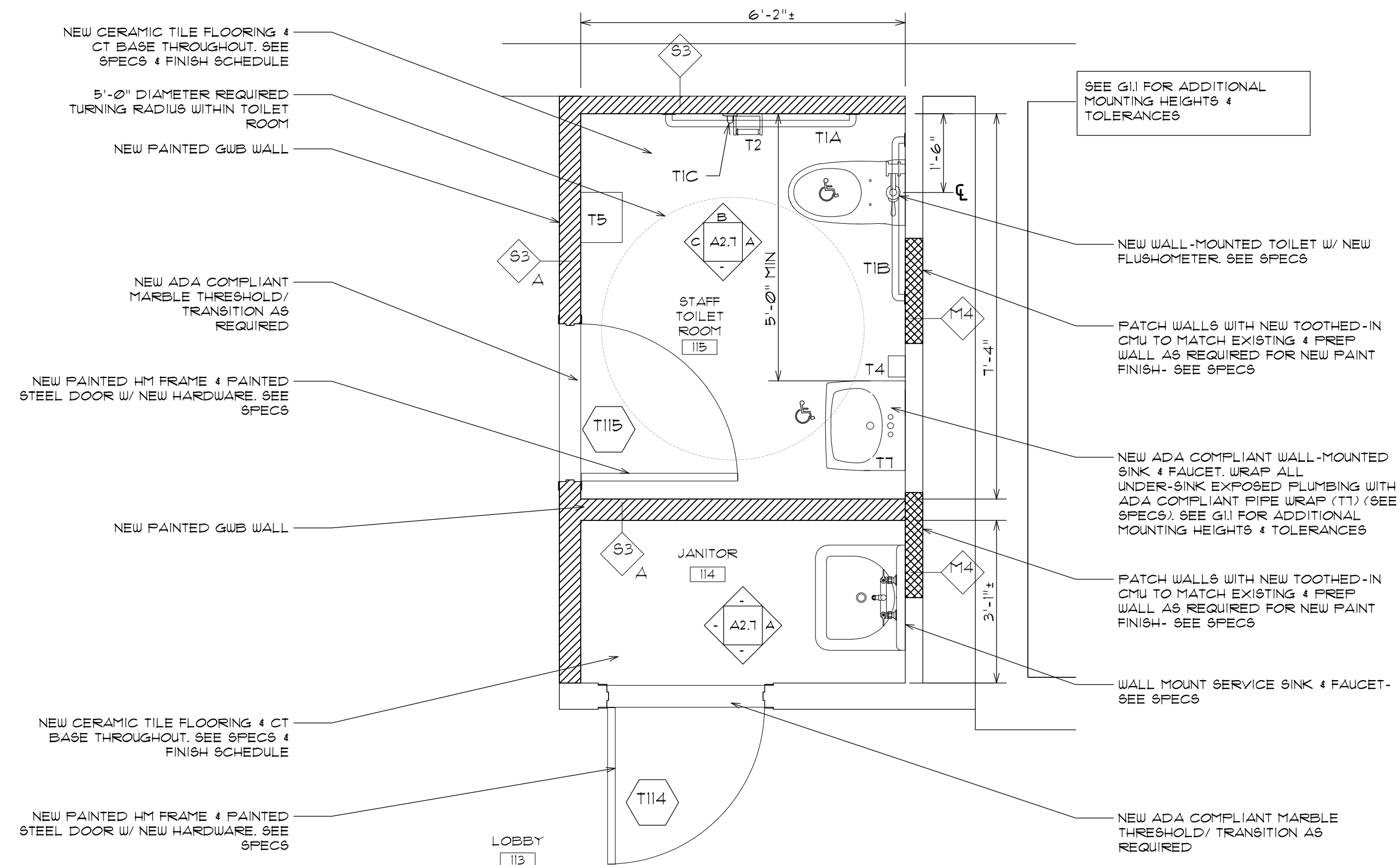
DRAWN: JMA DATE: 04/22/24
 CHK BY: XX JOB NO: 23071

A2.6

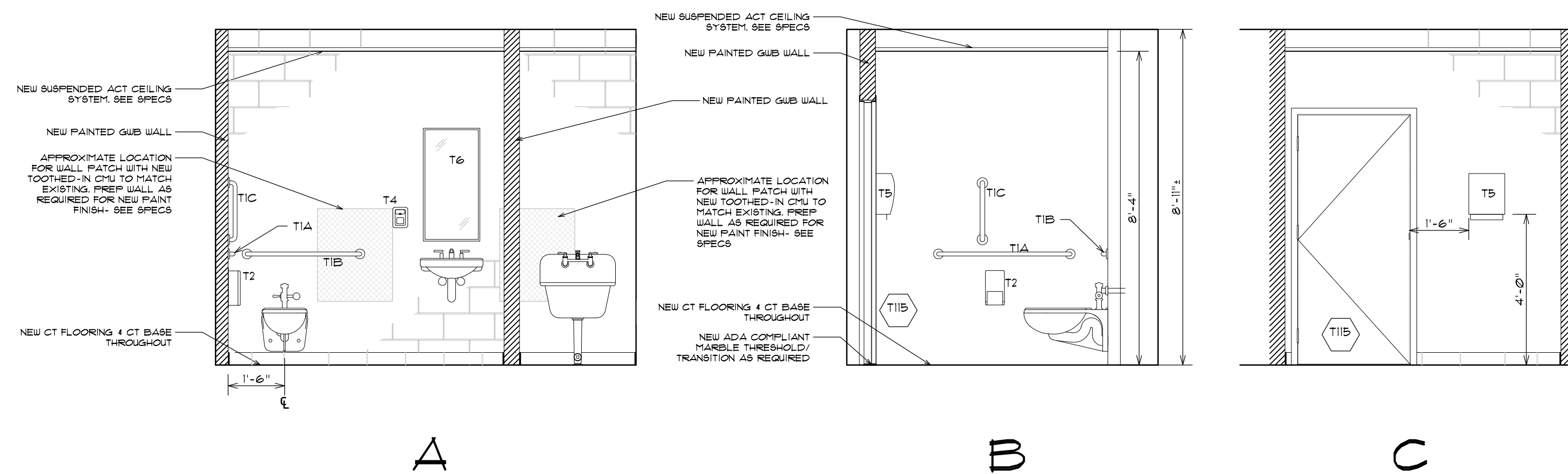
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1 TOILET ROOM 115 & 114 DEMOLITION PLAN
A2.7 SCALE: 1/2" = 1'-0"



2 STAFF TOILET ROOM 115 & JANITORS CLOSET 114 NEW PLAN
A2.7 SCALE: 1/2" = 1'-0"



3 STAFF TOILET ROOM 115 & JANITORS CLOSET 114 INTERIOR ELEVATIONS
A2.7 SCALE: 3/8" = 1'-0"

DEMOLITION KEYNOTES:

THE FOLLOWING KEYNOTES EXPAND UPON THE GENERAL DEMOLITION NOTES AND ARE TYPICAL THROUGHOUT THE PROJECT. CONTRACTORS ARE TO VERIFY ALL QUANTITIES IN THE FIELD.

- (A) REMOVE AND DISPOSE OF EXISTING LAVATORY. CUT CARRIER FLUSH WITH WALL IF APPLICABLE. COORDINATE WITH PLUMBING DRAWINGS.
- (B) REMOVE AND DISPOSE OF ALL EXISTING TOILET PARTITIONS SHOWN DASHED.
- (C) SAUCUT AND REMOVE PORTION OF WALL AS REQUIRED FOR NEW DOOR w/ H.M. FRAME AS SCHEDULED.
- (D) REMOVE AND DISPOSE OF EXISTING DOOR FRAME SALVAGE EXISTING HARDWARE FOR REUSE.
- (E) REMOVE AND DISPOSE OF EXISTING DOOR FRAME & HARDWARE (AND THRESHOLD WHERE REQUIRED). REMOVE ROU OF CMU ABOVE DOOR AS REQUIRED FOR NEW LINTELS AT ENLARGED DOOR OPENINGS.
- (F) REMOVE AND DISPOSE OF EXISTING FLOORING & MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. CARE TO BE TAKEN TO PRESERVE EXISTING CT COVE BASE. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE. TOILET ROOMS CONTAIN EXISTING CT FLOORING & CT BASE.
- (G) REMOVE AND DISPOSE OF EXISTING MIRROR.
- (H) REMOVE AND DISPOSE OF BRADLEY SINK. SAUCUT CONC. FLOOR & OPEN WALL AS REQUIRED TO MODIFY PLUMBING. SEE PLUMBING DUGS & SPECS. PATCH WALL & FLOOR AS REQUIRED FOR NEW FINISHES.
- (I) REMOVE AND DISPOSE OF EXISTING DOOR FRAME & HARDWARE (AND THRESHOLD WHERE REQUIRED). PREPARE OPENING AS REQUIRED FOR NEW DOOR.
- (J) REMOVE AND DISPOSE OF EXISTING GRAB BAR.
- (K) REMOVE AND SALVAGE EXISTING PLUMBING FIXTURE FOR RELOCATION. COORDINATE WITH PLUMBING DRAWINGS.
- (L) REMOVE AND SALVAGE EXISTING SOAP, PAPER TOWEL & TOILET TISSUE DISPENSERS FOR RELOCATION (OR TURN OVER TO OWNER IF EXTRA).
- (M) REMOVE AND DISPOSE OF EXISTING TOILET / URINAL. WHERE FIXTURE IS NOT BEING REPLACED, PROVIDE CLEAN OUT IN FLOOR (IF FLOOR MOUNTED) OR CUT CARRIER FLUSH WITH WALL (IF WALL MOUNTED). COORDINATE WITH PLUMBING DRAWINGS.
- (N) SEE PLUMBING DRAWINGS FOR TOILET MODIFICATIONS.
- (O) REMOVE AND DISPOSE OF EXISTING FLOORING, BASE & MUD SET (WHERE APPLICABLE) IN ITS ENTIRETY DOWN TO THE CONCRETE SLAB IN AREAS SHOWN DASHED. PREPARE SLAB AS REQUIRED FOR NEW FINISHES - SEE FINISH SCHEDULE.

TOILET ROOM NOTES

1. REFER TO PROJECT FLOOR PLANS, AG10 GENERAL NOTES AND GENERAL TOILET ROOM FIXTURE & ACCESSORY MOUNTING REQUIREMENTS FOR DIMENSIONAL LOCATION OF ALL BATHROOM FIXTURES AND ACCESSORIES, UNLESS NOTED OTHERWISE.
2. INSTALL BLOCKING AS REQUIRED FOR SECURE FASTENING OF ALL ACCESSORIES, CASEWORK, ETC. SEE SPECS.
3. SEE SPECS FOR INFORMATION ON ALL TOILET ROOM ACCESSORIES.

TOILET ROOM ACCESSORY SCHEDULE

T1A	-42" GRAB BAR
T1B	-36" GRAB BAR
T1C	-18" GRAB BAR
T2	-TOILET PAPER HOLDER ** (PROVIDED BY OWNER)
T3	-SANITARY NAPKIN DISPOSAL **
T4	-SOAP DISPENSER ** (PROVIDED BY OWNER)
T5	-PAPER TOWEL DISPENSER ** (PROVIDED BY OWNER)
T6	-MIRROR 18" x 36" TEMPERED GLASS
T7	-ADA PIPE COVER
T8	-COAT HOOK
** INSTALL SALVAGED ACCESSORIES FIRST. OWNER TO PROVIDE NEW ACCESSORIES AS REQUIRED.	

GENERAL CONSTRUCTION NOTES

1. ALL EXISTING CEILINGS TO BE FILLED, PATCHED & REPAINTED. SEE SPECS.
2. EXISTING EXPOSED CMU WALLS OR WALL PATCHES SHALL BE CLEANED, FILLED & PATCHED (WHERE REQUIRED) & REPAINTED. SEE SPECS.
3. EXISTING WALL GLAZED BLOCK TO BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
4. ALL EXISTING FLOOR TILE SHALL BE CLEANED. ALL HOLES TO BE FILLED WITH MATCHING GROUT. SEE SPECS.
5. EXISTING FIXTURES THAT REMAIN SHALL BE CLEANED.



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SHEET TITLE
STAFF TOILET ROOM (115) &
JANITORS CLOSET (114)
ENLARGED PLANS & INTERIOR
ELEVATIONS

REVISIONS

DRAWN: JMA DATE: 04/22/2024
CHK BY: XX JOB NO: 23071

A2.7

SHEET OF

DOOR SCHEDULE

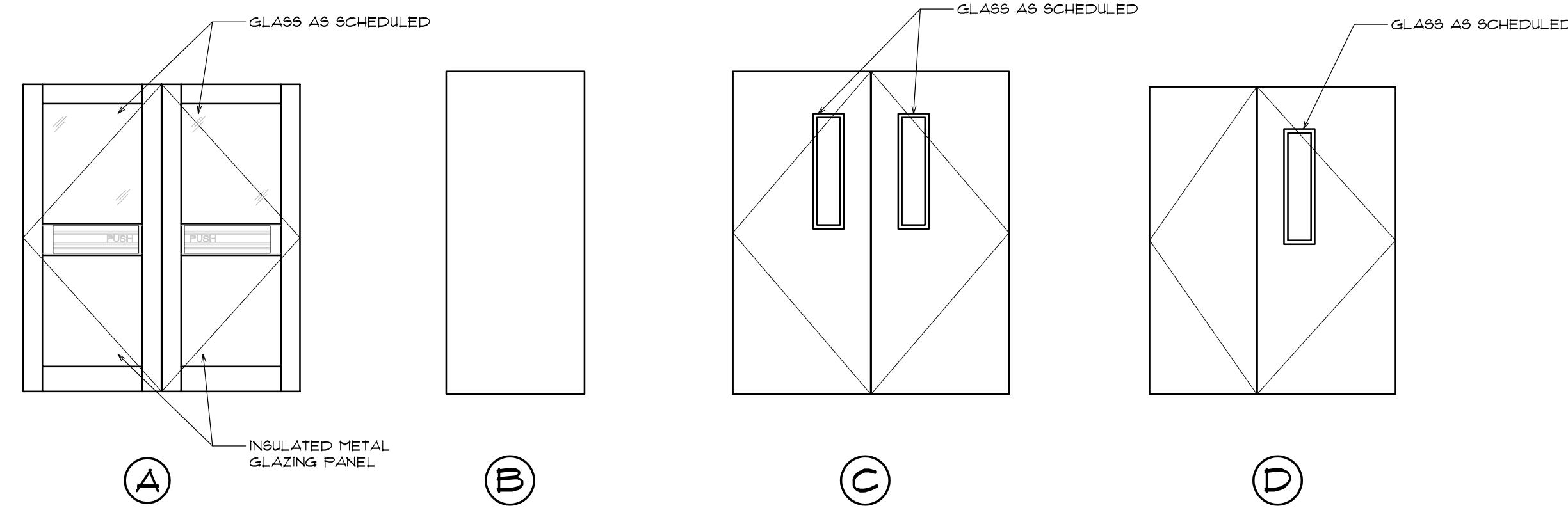
DOOR No.	LOCATION	DOOR SIZE			DOOR TYPE			FRAME TYPE			DETAILS			LABEL	HRD. SET	REMARKS
		ROOM NAME	W	H	T	ELEV.	MAT.	GLAZ.	ELEV.	MAT.	FINISH	HEAD	JAMB			
100-A	MAIN ENTRY	3'-0"	6'-0"	1 3/4"	A	ALUM	FERG	2	ALUM	-	-	-	-	-	1	BASED ON EFCO D518 WIDE STILE WITH EXIT DEVICE
100-A	MAIN ENTRY	3'-0"	6'-0"	1 3/4"	A	ALUM	FERG	2	ALUM	-	-	-	-	-	-	BASED ON EFCO D518 WIDE STILE WITH EXIT DEVICE
100-B	FOYER	3'-0"	6'-0"	1 3/4"	A	ALUM	TEMP	2	ALUM	-	-	-	-	-	-	BASED ON EFCO D518 WIDE STILE WITH EXIT DEVICE
100-B	FOYER	3'-0"	6'-0"	1 3/4"	A	ALUM	TEMP	2	ALUM	-	-	-	-	-	-	BASED ON EFCO D518 WIDE STILE WITH EXIT DEVICE
102-A	HALLWAY 102	3'-0"	6'-0"	1 3/4"	D	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
102-A	HALLWAY 102	2'-4"	6'-0"	1 3/4"	D	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
102-B	HALLWAY 102	3'-0"	7'-0"	1 3/4"	C	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
102-B	HALLWAY 102	3'-0"	7'-0"	1 3/4"	C	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
102-C	HALLWAY 102	3'-0"	6'-0"	1 3/4"	D	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
102-C	HALLWAY 102	2'-4"	6'-0"	1 3/4"	D	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
103-B	CORRIDOR 103B	3'-0"	6'-0"	1 3/4"	D	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
103-B	CORRIDOR 103B	2'-4"	6'-0"	1 3/4"	D	GHM	FERG	EXIST	-	-	-	-	-	-	2	EXISTING FRAME TO REMAIN
110	CLASSROOM 110	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING DOOR & FRAME TO REMAIN. NEW ELECTRIC STRIKE REQUIRED
111	CLASSROOM 111	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING DOOR & FRAME TO REMAIN. NEW ELECTRIC STRIKE REQUIRED
114	JANITOR	3'-0"	7'-0"	1 3/4"	B	HM	-	3	HM	PAINT	E	C	F	(45 MIN)	5	
115	STAFF TOILET ROOM	3'-0"	7'-0"	1 3/4"	B	HM	-	3	HM	PAINT	B	A	F	(45 MIN)	4	
124	BOYS TOILET ROOM	3'-0"	6'-0"	1 3/4"	B	HM	-	1	HM	PAINT	D	C	F	-	3	
130	GIRLS TOILET ROOM	3'-0"	6'-0"	1 3/4"	B	HM	-	1	HM	PAINT	D	C	F	-	3	
138	CLASSROOM 138	-	-	-	-	-	-	-	-	-	-	-	-	-	6	EXISTING DOOR & FRAME TO REMAIN. NEW ELECTRIC STRIKE REQUIRED
140	CLASSROOM 140	-	-	-	-	-	-	-	-	-	-	-	-	-	6	EXISTING DOOR & FRAME TO REMAIN. NEW ELECTRIC STRIKE REQUIRED

LEGEND

- = NO WORK
 ALUM = ALUMINUM
 CONC = CONCRETE
 CLR = CLEAR FINISH
 ETR = EXISTING TO REMAIN
 EXTG = EXISTING
 FERG = FORCED ENTRY RESISTANT GLASS
 FR/SFTY = FIRE RATED SAFETY GLAZING
 GHM = GALVANIZED HOLLOW METAL
 GWB = GYPSUM WALL BOARD
 HM = HOLLOW METAL
 INSUL = INSULATED
 MAS = MASONRY
 MAT = MATERIAL
 MT = MARBLE THRESHOLD
 PT = PAINT
 RM = ROOM
 RS = REDUCER STRIP
 S&F = STAIN AND FINISH
 TS = TRANSITION STRIP
 TEMP = TEMPERED
 WD = WOOD

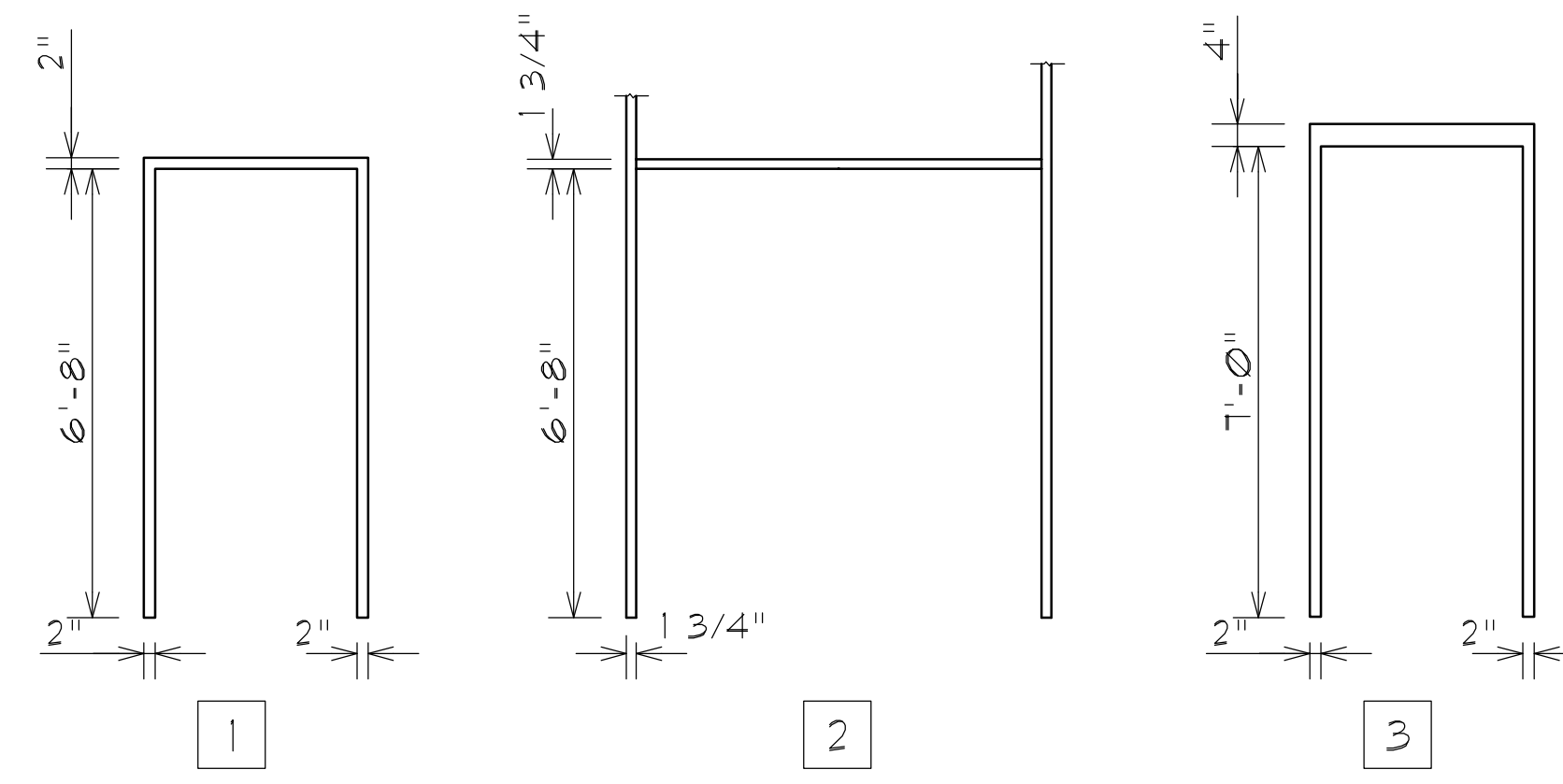
DOOR SCHEDULE GENERAL NOTES:

- ALL NEW DOORS AND FRAMES SCHEDULED TO BE INSTALLED SHALL BE FIELD VERIFIED FOR ALL DIMENSIONS AND CONDITIONS PRIOR TO FABRICATION.
- ALL NEW HM DOORS AND ALL HM FRAMES ARE TO BE PAINTED, UNLESS NOTED OTHER WISE - COLOR TO MATCH EXISTING.
- EXIT DEVICES AND DOOR GLAZING & FRAMES TO BE PROVIDED PER APPLICABLE CODE.
- FILL HOLLOW METAL FRAMES WITH SOUND ATTENUATION BATT INSULATION AT ALL WALLS WITH SOUND ATTENUATION BATT INSULATION.
- HOLLOW METAL FRAMES PROVIDE THREE WALL AND ONE FLOOR ANCHOR BOTH SIDES OF DOOR. ANCHOR TYPE APPROPRIATE FOR WALL TYPE, UNLESS NOTED OTHER WISE. SEE SPECS.
- SEE DOOR FRAME DETAILS A3.0.
- SEE SHEET AG10 FOR OTHER NOTES AND LEGENDS PERTAINING TO THE PROJECT.
- PROVIDE NEW MARBLE THRESHOLD PER DETAIL F/A3.1 AT TOILET ROOM DOORS WHERE WE ARE REPLACING THE FRAME.
- PAINT EXISTING FRAMES AS NOTED COLOR SELECTED BY ARCHITECT.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS - SEE SPECS.



DOOR ELEVATIONS

SCALE: 3/8"=1'-0"



FRAME ELEVATIONS

SCALE: 3/8"=1'-0"



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SHEET TITLE
DOOR TYPES & SCHEDULES

REVISIONS

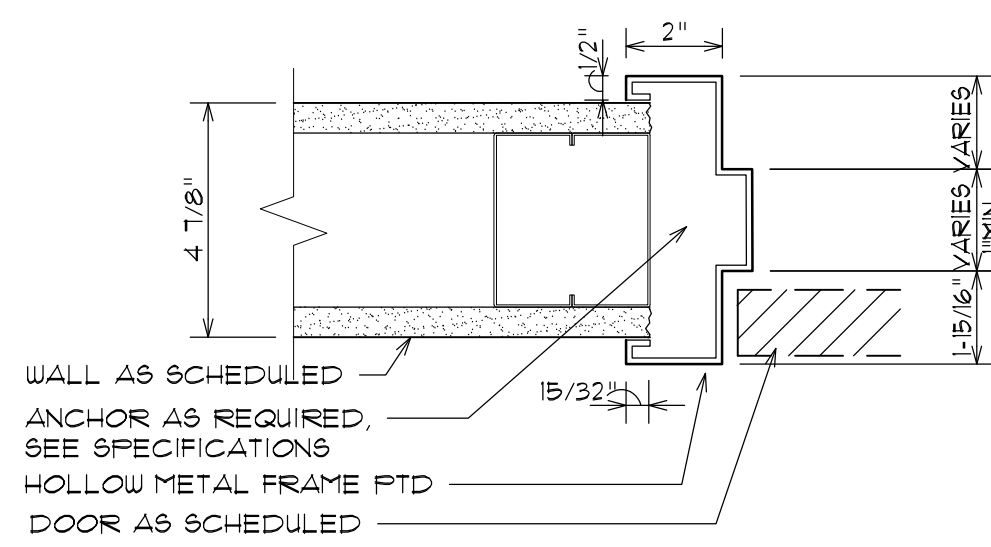
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A3.0

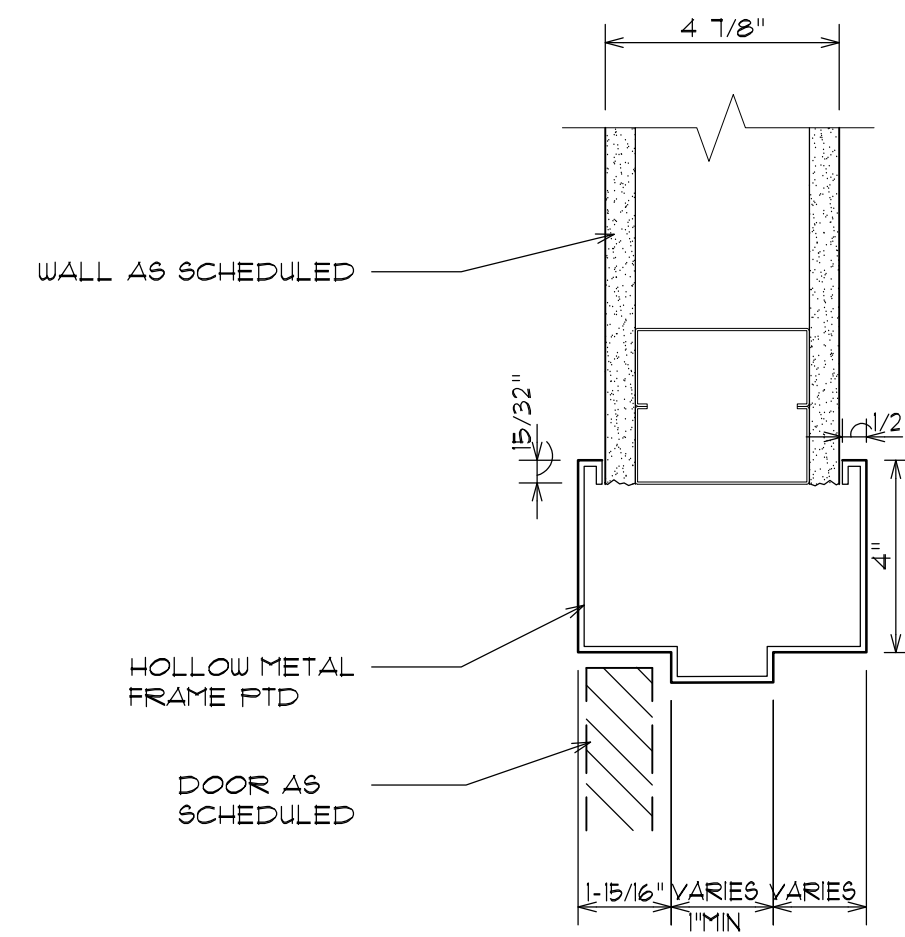
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FRAME DETAILS

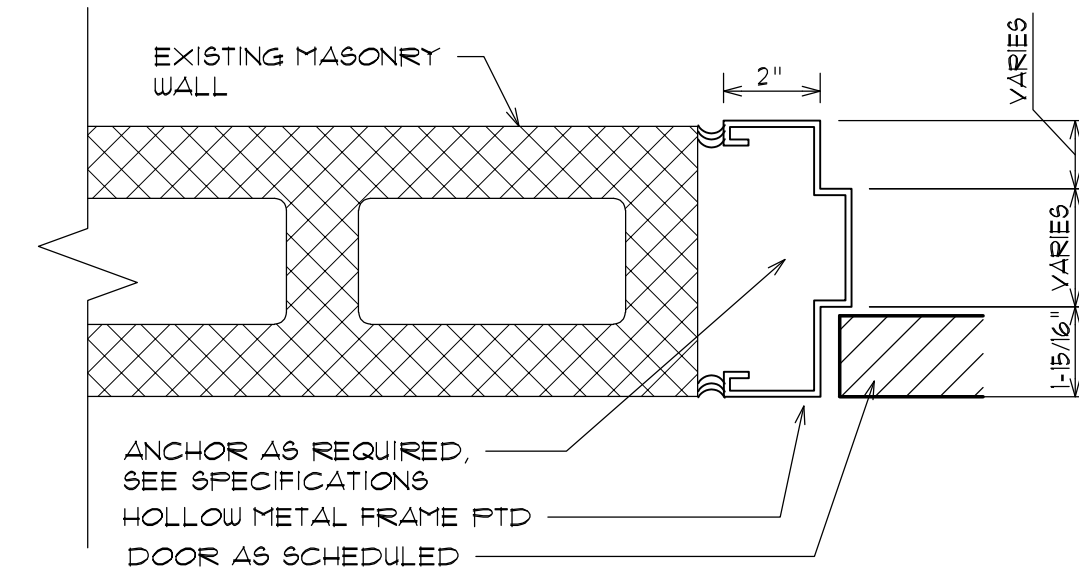
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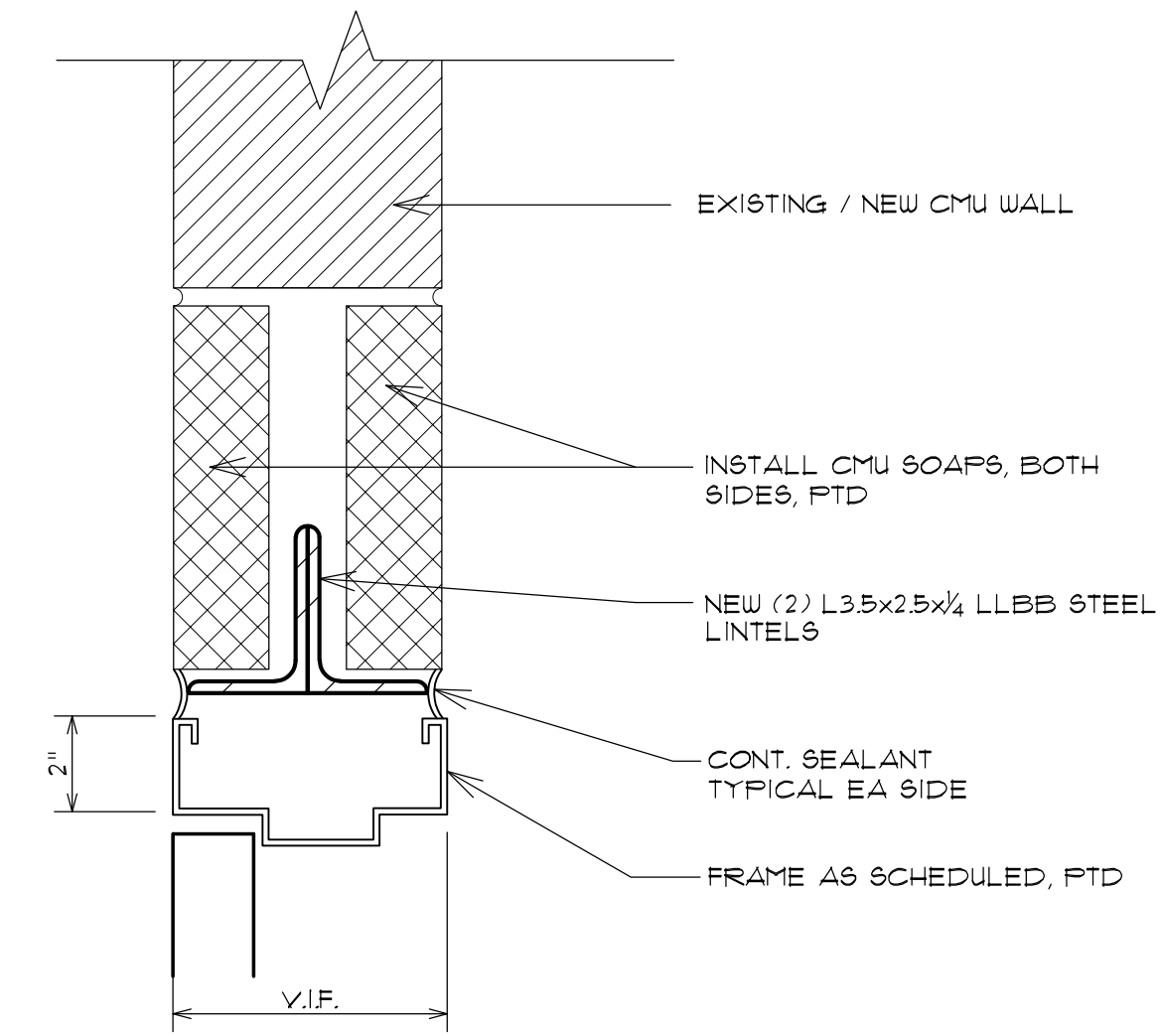
A - JAMB DETAIL



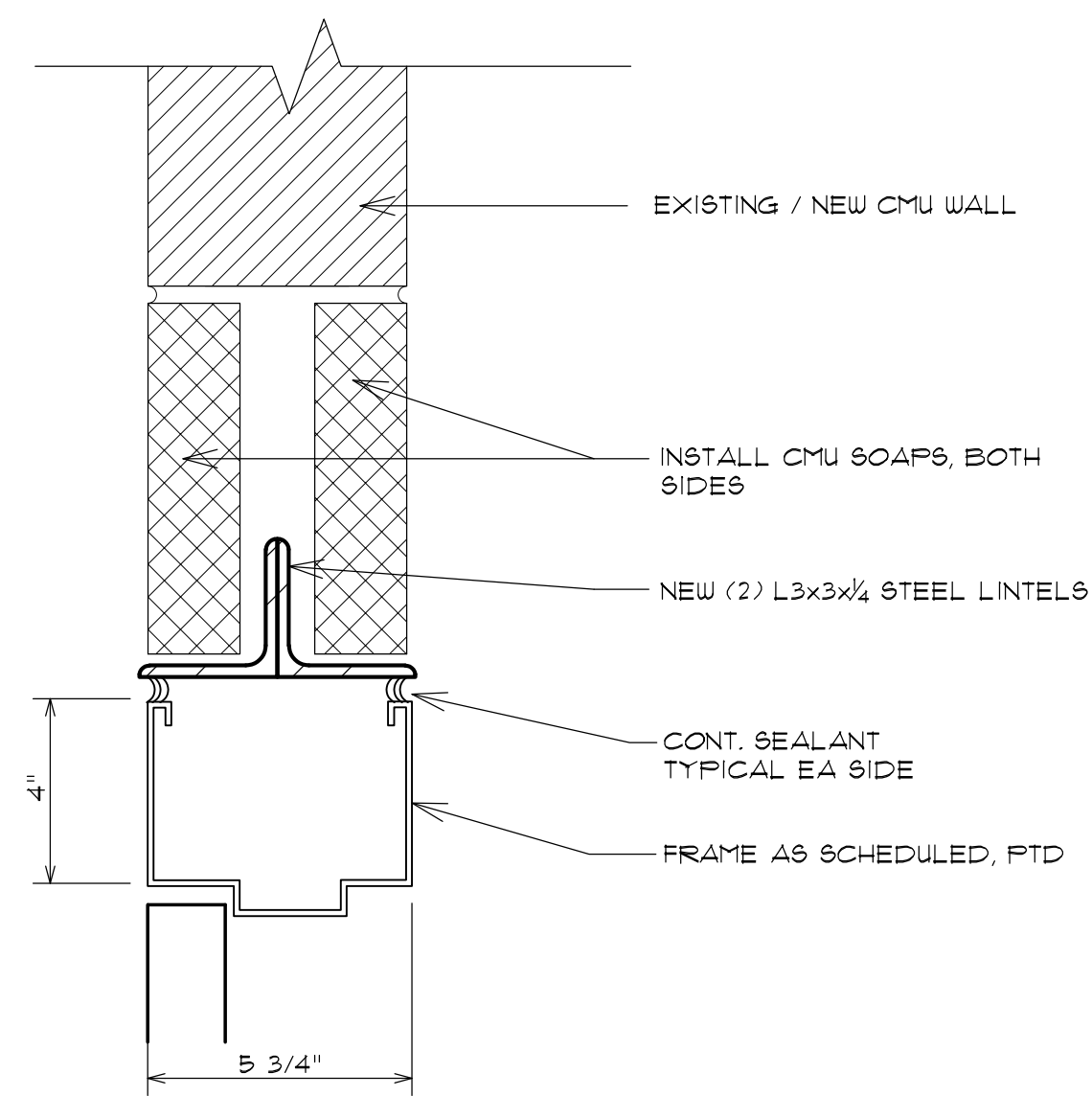
B - HEAD DETAIL



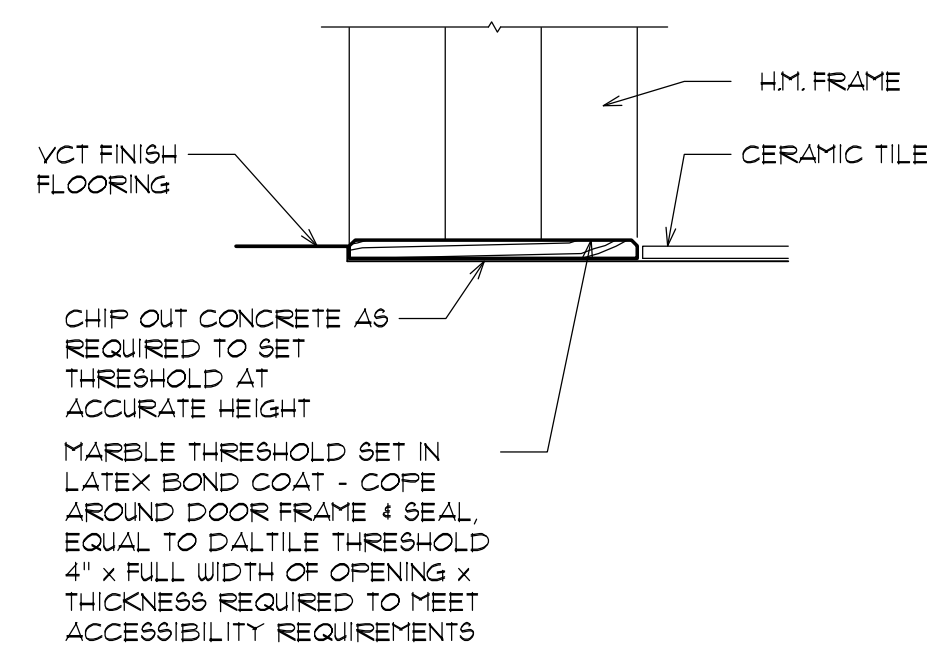
C - JAMB DETAIL



D - HEAD DETAIL



E - HEAD DETAIL



F - THRESHOLD DETAIL

SCHEDULE OF INTERIOR FINISHES

RM. No.	ROOM TITLES	FLOOR		BASE		WALLS				CEILING			REMARKS				
		SUB-FLR	FIN.	MAT.	HT.	NORTH	EAST	SOUTH	WEST	MAT.	FIN.	HEIGHT					
100	VESTIBULE	ETR/NEW CONC	ETR VCT	ETR	-	NEW ALUM/ SF	-	ETR GLZ BLK/ GUB	PT	NEW ALUM/ SF	-	ETR GLZ BLK/ GUB	PT	GUB	PT	8'-10"	
101	FOYER	ETR CONC	ETR VCT	ETR	-	ETR	ETR	ETR GLZ BLK/ GUB	ETR	NEW ALUM/ SF	-	ETR GLZ BLK/ GUB	ETR	ETR ACT	PT	8'-10"	
113	LOBBY	ETR CONC	ETR VCT	VCB	4"	ETR	ETR	NEW GUB	PT	ETR ALUM/ SF	ETR	ETR	ETR	ETR GUB	PT	8'-10"	
114	JANITOR CLOSET	ETR CONC	CT	CT	5"	GUB	PT	NEW/ ETR CMU	PT	ETR CMU	PT	GUB	PT	ACT-1	-	8'-4"	
115	STAFF TOILET ROOM	ETR CONC	CT	CT	5"	GUB	PT	NEW/ ETR CMU	PT	ETR GLZ BLK	ETR	GUB	PT	ACT-1	-	8'-4"	
124	BOYS TOILET ROOM	ETR CONC	CT	CT	5"	ETR GLZ BLK	FRP	ETR GLZ BLK/ CMU	PT	ETR GLZ BLK	FRP	ETR GLZ BLK	FRP	ETR GUB	PT	8'-10"	
	HALLWAY 103 OUTSIDE OF BOYS TOILET ROOM	ETR CONC	ETR	ETR	-	ETR	ETR	ETR GUB	FRP/ PT	ETR	ETR	ETR GLZ BLK	ETR	ETR	ETR	8'-10"	
130	GIRLS TOILET ROOM	ETR CONC	CT	CT	5"	ETR GLZ BLK	ETR	ETR GLZ BLK	ETR	ETR GLZ BLK	FRP	ETR GLZ BLK	FRP	ETR GUB	PT	8'-10"	
	HALLWAY 103 OUTSIDE OF GIRLS TOILET ROOM	ETR CONC	ETR	ETR	-	ETR	ETR	ETR GLZ BLK	ETR	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK	ETR	ETR	ETR	8'-10"	
136	GIRLS TOILET	ETR CONC	CT	CT	5"	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK/ GUB	PT	ETR GUB	PT	8'-10"	
144	BOYS TOILET	ETR CONC	CT	CT	5"	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK/ GUB	PT	ETR GLZ BLK/ GUB	PT	ETR GUB	PT	8'-10"	

LEGEND

- = NO WORK
 ACT = ACOUSTIC CEILING TILE
 ALUM = ALUMINUM
 CONC = CONCRETE
 CT = CERAMIC TILE
 ETR = EXISTING TO REMAIN
 EXTG = EXISTING
 FRP = FIBER REINFORCED PANEL
 GHM = GALVANIZED HOLLOW METAL
 GL BLK = GLAZED BLOCK
 GUB = GYPSUM WALL BOARD
 HM = HOLLOW METAL
 PT = PAINT
 SF = STORE FRONT
 VCB = VINYL COVE BASE
 VCT = VINYL COMPOSITION TILE
 VT = VINYL TILE
 WD = WOOD
 WOM = WALK-OFF MAT

FINISH SCHEDULE GENERAL NOTES

- SEE SHEET AG10 FOR OTHER NOTES AND LEGENDS PERTAINING TO THE PROJECT.
- BASE TILE IN TOILET ROOMS TO BE COVE BASE - COLOR BY ARCHITECT.
- PROVIDE BLOCK FILLER PRIMER FOR ALL NEW CMU PRIOR TO PAINT, SEE SPECS.
- FRP TO BE INSTALLED IN VERTICAL DIRECTION UNLESS NOTED OTHERWISE.
- PAINT EXISTING & NEW WALLS AS SPECIFIED, COLOR SELECTED BY ARCHITECT
- INSTALL NEW CEILING AT HGT TO MATCH EXISTING



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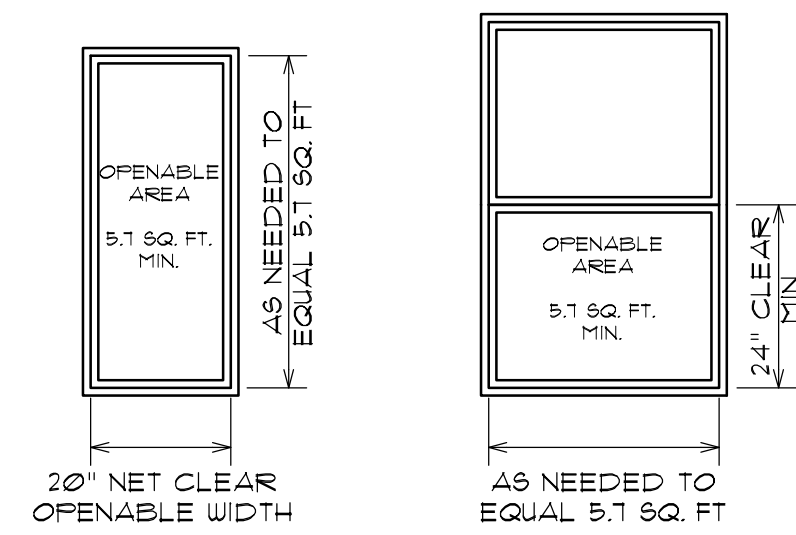
SHEET TITLE
 FRAME DETAILS & FINISH SCHEDULE

REVISIONS

DRAWN: JMA DATE: 04/22/2024
 CHK BY: XX JOB NO: 23071

A3.1

SHEET OF

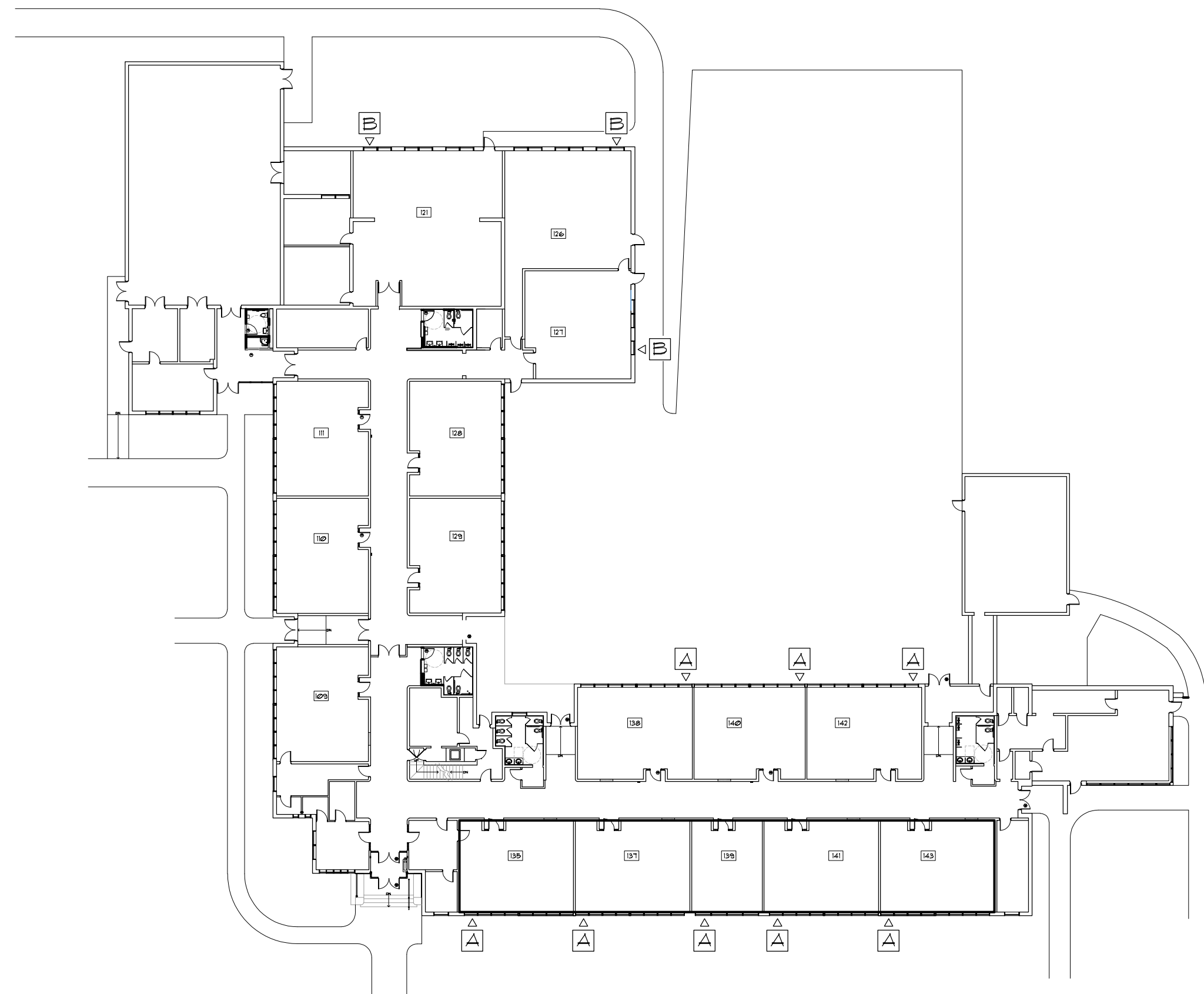


EGRESS WINDOW REQUIREMENTS

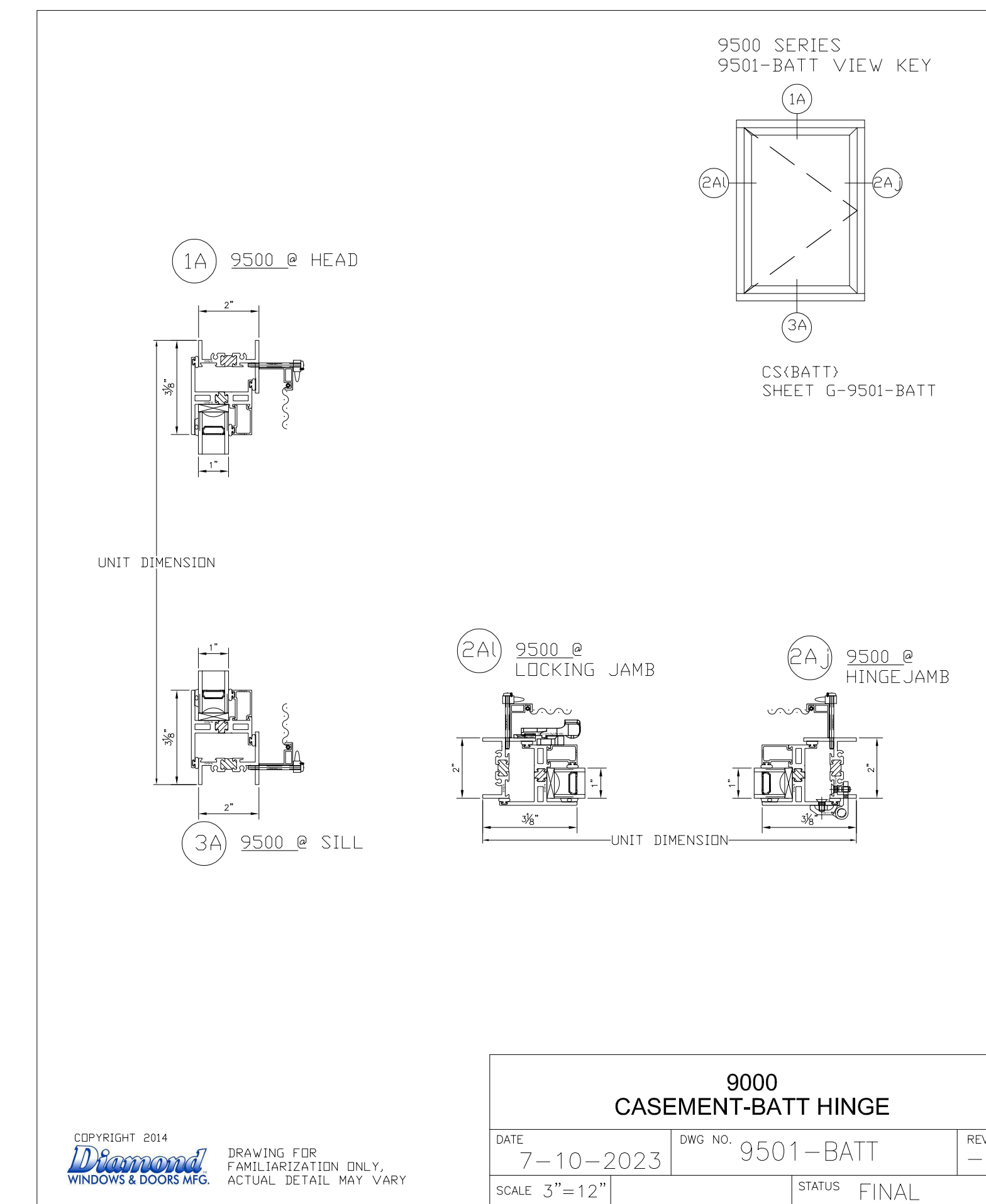
SCALE: 3/8"=1'-0"

GENERAL WINDOW & DOOR NOTES
THE CONTRACTOR/S SHALL:

1. CONTRACTOR TO CONFIRM ALL NEW WINDOW LOCATIONS & SITE DIMENSIONS PRIOR TO FABRICATION & CONSTRUCTION
2. ALL WINDOW FLASHING MATERIALS AND METHODS SHALL CONFORM TO THE REQUIREMENTS OF THE ENERGY & ENVIRONMENTAL BUILDING ASSOCIATION'S GUIDELINES FOR WATER MANAGEMENT AROUND WINDOW OPENINGS AS WELL AS SPECIFICATIONS.
3. SPACE BETWEEN WINDOW FRAMES AND ROUGH OPENINGS ARE TO BE FILLED WITH LOW EXPANSION FOAM UNLESS WINDOW/DOOR MANUFACTURER REQUIREMENT STATES OTHERWISE.
4. PROVIDE BLOCKING (FIRE-TREATED WHERE REQUIRED) AS REQUIRED FOR THE INSTALLATION OF ALL WINDOW TRIM/CASINGS, SILLS, ETC. AT ALL WINDOWS.

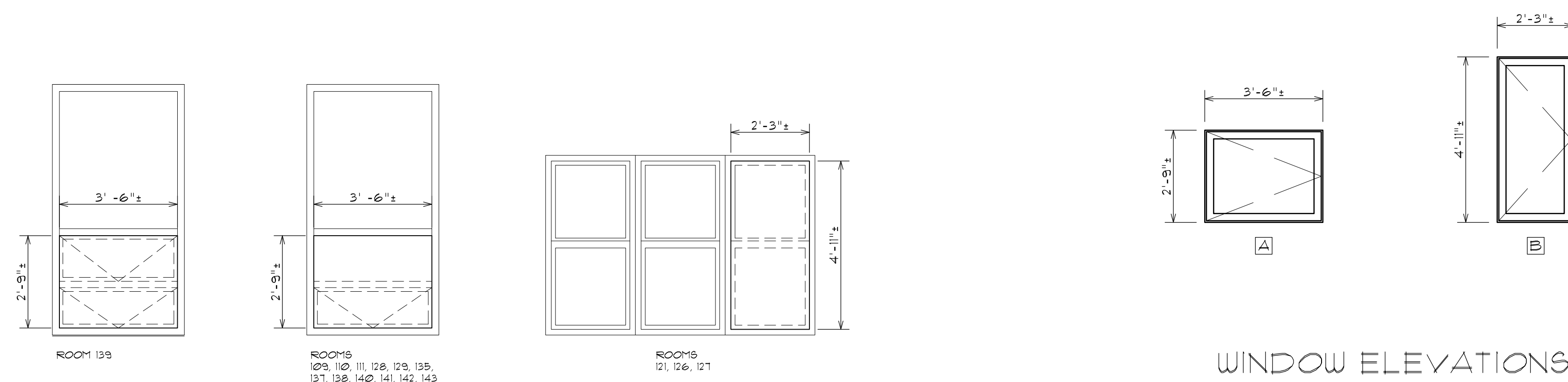


1 LOCUS MAP
A3.1 NTS



9000 CASEMENT-BATT HINGE		
DATE	DWG NO.	REV
7-10-2023	9501-BATT	-
SCALE 3"=12"	STATUS	FINAL

2 WINDOW DETAILS
A3.1 SCALE: 3"=1'-0"



WINDOW ELEVATIONS

SCALE: 3/8"=1'-0"

3 WINDOW DEMO DETAILS
A3.1 SCALE: 3/8"=1'-0"



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CONSULTANT

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NOTES:

ISSUED FOR BID

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SHEET TITLE
WINDOW TYPES & SCHEDULES

REVISIONS

DRAWN: JMA	DATE: 04/22/2024
CHK BY: XX	JOB NO: 23071

A3.2

SHEET OF

PLUMBING DEMOLITION NOTES

- PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND TO DETERMINE THE EXTENT OF WORK TO REMOVE THE EXISTING PLUMBING SYSTEM INDICATED TO BE REMOVED. IF DISCREPANCIES EXIST BETWEEN DRAWINGS AND/OR SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND THE OWNER PRIOR TO SIGNING OF CONTRACT. REQUESTS FOR COMPENSATION FOR EXTRA WORK, WHICH WOULD HAVE BEEN EVIDENT BY COMPLIANCE WITH THE PREVIOUS STATEMENT, WILL NOT BE CONSIDERED.
- DISCONNECT, DISMANTLE AND DEMOLISH ALL EXISTING DOMESTIC WATER, AND SANITARY WASTE & VENT PIPING BACK TO RESPECTIVE MAINS. EXISTING PLUMBING FIXTURES AND EQUIPMENT SHALL BE REMOVED IN THEIR ENTIRETY AND PROPERLY DISPOSED OF. EXISTING STORM DRAINAGE SUPPLY PIPING AND ROOF DRAINS SHALL REMAIN. REMOVE ALL DEBRIS AND DISCONNECTED EQUIPMENT AND CLEAN OUT EXISTING SPACES. REFER TO ARCHITECTURAL AND PLUMBING CONTRACT DOCUMENTS FOR DEMOLITION WORK.
- REMOVE ALL EXISTING DOMESTIC, SANITARY WASTE & VENT PIPING SYSTEMS INDICATED TO BE DEMOLISHED AND CAP BACK TO RESPECTIVE EXISTING MAIN LINES TO REMAIN. REMOVE AND DISCARD EXISTING PLUMBING ABANDONED STACKS, MAINS, BRANCHES AND VENTS SERVING FIXTURES TO BE DEMOLISHED. OBTAIN EXISTING RECORD DRAWINGS FROM OWNER.
- VERIFY PIPING SERVES ONLY PLUMBING FIXTURES INDICATED FOR DEMOLITION BEFORE SHUT-DOWN FOR DISCONNECTION. IDENTIFY EXISTING PIPING WHICH SERVES FIXTURES TO REMAIN. PROMPTLY NOTIFY ARCHITECT OF ACTIVE PIPING TO BE MAINTAINED WHEN LOCATED IN PARTITIONS TO BE DEMOLISHED.
- COORDINATE ALL SHUT-DOWNS, TIE-INS, ETC., WITH THE G.C. ELECTRICAL MAKE-SAFE OF PLUMBING EQUIPMENT REQUIRING DEMOLITION SHALL BE COMPLETED BY THE ELECTRICAL SUBCONTRACTOR.
- DEMOLITION SUBCONTRACTOR MUST PROTECT EXISTING SLAB, WALL, FENCING AND BUILDING STRUCTURE DURING DEMOLITION PHASE. DAMAGE TO EXISTING STRUCTURE SHALL BE REPAIRED AT DEMOLITION SUBCONTRACTORS EXPENSE.
- ALL DEMOLITION WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE NATIONAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES.
- EXISTING UNDERGROUND PIPING NOTE:
CONTRACTOR SHALL SCOPE AND VERIFY INVERT ELEVATIONS OF ALL EXISTING UNDERGROUND SANITARY WASTE PIPING, IN AREA OF WORK, TO DETERMINE EXACT CONNECTION POINTS FOR NEW UNDERGROUND PIPING TO EXISTING PIPING PRIOR TO INSTALLATION. CONTRACTOR SHALL ALSO UNBLOCK (ROOTER) AND FLUSH CLEAN EXISTING UNDERGROUND SANITARY WASTE PIPING AS REQUIRED. PROVIDE AS-BUILT DOCUMENTATION OF EXISTING UNDERGROUND PIPING LAYOUT TO OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.

PLUMBING GENERAL NOTES

- GENERAL NOTES, SYMBOLS LIST AND DETAILS ARE APPLICABLE TO ALL PLUMBING DRAWINGS.
- DRAWINGS ARE DIAGRAMMATIC. DETERMINE LOCATIONS OF SYSTEMS AND COMPONENTS IN FIELD. DO NOT SCALE DRAWINGS.
- NEITHER ACCURACY NOR COMPLETION OF UTILITY LOCATIONS SHOWN ON DRAWINGS IS GUARANTEED. DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES IN FIELD, WHETHER OR NOT SHOWN ON DRAWINGS. EXERCISE CAUTION AND IDENTIFY LOCATIONS OF UNMARKED UTILITY LINES AS NECESSARY TO PERFORM WORK OF THIS SECTION.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE PRESIDING PLUMBING CODE AND ALL APPLICABLE LOCAL CODES.
- IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO COORDINATE WORK WITH THAT OF ALL OTHER TRADES, INCLUDING (BUT NOT LIMITED TO), ELECTRICAL, HVAC, STRUCTURAL AND GENERAL ARCHITECTURE.
- ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR, AND/OR THE OWNER'S REPRESENTATIVE, AND RESOLVED PRIOR TO THE INSTALLATION OF THE WORK INVOLVED.
- ALL PIPING PENETRATING CEILINGS AND WALLS SHALL BE INSTALLED WITH CHROME (STAINLESS WHERE NOTED) PLATED ESCUTCHEONS AT THE PENETRATION. ALL PIPING PENETRATING EXTERIOR WALLS AND ROOFS SHALL BE FLASHED IN AN APPROVED MANNER AND SHALL BE SEALED WEATHERTIGHT. PIPING PENETRATING RATED PARTITIONS SHALL BE PROTECTED WITH UL LISTED SEALS OF EQUAL RATING AND AS REQUIRED BY LOCAL CODE AUTHORITY.
- MANUFACTURERS' MODEL NUMBERS ARE SPECIFIED SOLELY TO ESTABLISH STANDARDS OF QUALITY FOR PERFORMANCE AND MATERIALS.
- ALL PRODUCT INSTALLATION SHALL ADHERE TO THE MANUFACTURERS' RECOMMENDATIONS.
- PROVIDE ACCESS PANELS FOR ALL EQUIPMENT THAT REQUIRES PERIODIC SERVICE AND FOR ALL VALVES.
- CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PLUMBING EQUIPMENT WITH THE ELECTRICAL DRAWINGS, AND SHALL FURNISH EQUIPMENT WIRED FOR THE VOLTAGES SHOWN HEREIN.
- ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC., INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE AND COMBUSTIBILITY.
- PROVIDE SHUTOFF VALVES ON ALL BRANCH PIPING AND SUPPLIES TO INDIVIDUAL FIXTURES AND EQUIPMENT. PROVIDE BALL VALVES ON ALL WATER MAIN BRANCHES IN CORRIDORS AND WHERE INDICATED ON DRAWINGS. ALL VALVES SHALL BE ACCESSIBLE.
- ALL SLEEVES THROUGH CONCRETE FLOORS AND ALL CORE DRILLING OF CONCRETE FLOORS AND WALLS SHALL BE BY THIS CONTRACTOR. CONCRETE PADS AND PLATFORMS FOR WORK OF THIS SECTION WILL BE PROVIDED BY GENERAL CONTRACTOR. PROVIDE INFORMATION AS NECESSARY TO COORDINATE WORK.
- RUN PIPING CONCEALED WHERE POSSIBLE, UNLESS SPECIFIED OTHERWISE.
- STRUCTURAL WELDING SHALL BE 1/4-INCH FILLET UNLESS REQUIRED OTHERWISE.
- PROVIDE CLAMPS, OFFSETS, EXPANSION JOINTS, ANCHORS AND GUIDES AS NECESSARY TO PREVENT STRESS ON PIPING.
- PROVIDE VENTS AT HIGH POINTS IN PIPING SYSTEMS AND DRAIN VALVES AT LOW POINTS.
- VERIFY EXACT SIZES, LOCATIONS, INVERTS AND ELEVATIONS PRIOR TO RUNNING ANY PIPING. REFER TO ARCHITECTURAL DRAWINGS AND FOOD SERVICE DRAWINGS FOR EXACT LOCATIONS OF ALL FIXTURES AND EQUIPMENT.
- PIPE SUPPORTS FOR PLUMBING IN BUILDING SHAFTS ARE BY THIS CONTRACTOR. CAREFULLY COORDINATE WITH PLACEMENT OF STEEL GRATE SUPPORT BEAMS. SHAFT PIPE SUPPORT SHALL BEAR FROM WALL AND FROM FLOOR SUPPORT BEAMS.
- GENERAL FLOOR CONTROL VALVES OF PIPED SERVICES SHALL BE IN THE PIPE SHAFTS UNLESS OTHERWISE INDICATED.
- NO PIPING SHALL RUN OVER ELECTRICAL PANELS.
- ALL PIPING THAT PENETRATES FLOORS OR FIRE RATED WALLS SHALL BE FIRE STOPPED W/ HILTI CAULKING PER MANUFACTURERS RECOMMENDATIONS.
- ELECTRICAL SUB CONTRACTOR IS RESPONSIBLE FOR PROVIDING POWER TO ALL EQUIPMENT AND CONTROLS WITHIN THE PLUMBING SYSTEMS FOR THIS PROJECT.
- PC TO ORGANIZE/LOCATE CUT OUTS FOR PIPING/CONDUITS RUNNING PERPENDICULAR TO THE FLOOR JOISTS W/ GC. COORDINATE AND VERIFY IN FIELD.
- COORDINATE ALL CEILING AND WALL MOUNTED FIXTURES AND EQUIPMENT WITH ARCHITECTURAL DRAWING. LOCATE FIXTURES AND EQUIPMENT AS INDICATED ON ARCHITECTURAL DRAWINGS WHERE ACCEPTABLE BY CODE.
- ALL SLEEVES THROUGH CONCRETE FLOORS AND FIRE RATED WALLS OR PARTITIONS SHALL BE FIRE STOPPED WITH UL RATED ASSEMBLIES OF EQUAL FIRE RATING.

DRAIN & CLEANOUT SCHEDULE

SYMBOL	TYPE	MANUFACTURER	MODEL	OUTLET	STRAINER/COVER	REMARKS
FD-1	FLOOR DRAIN	WATTS	FD100-A	2"	6" NICKEL BRONZE	CAST IRON BODY, NO-HUB, ADJUSTABLE STRAINER, VANDAL RESISTANT.
FCO	FLOOR CLEANOUT	WATTS	C020-4NH	4"	5/8" STAINLESS STEEL	4" FLOOR CLEANOUT, CAST IRON BODY, NO-HUB, STAINLESS STEEL TOP. SAWCUT AND PATCH EXISTING FLOOR AS NECESSARY FOR PROPER INSTALLATION.
WCO	WALL CLEANOUT	REAL-TITE	RTFPC20	VARIABLE	2.5" - 5.375" CHROME	COUNTERSUNK FLUSH CHROME EXPANSION PLUG W/ 4" CHROME COVER. COORDINATE WITH PLUMBING DRAWINGS AND EXISTING CONDITIONS FOR SIZE.

NOTES:
 1. ALL FLOOR DRAINS SHALL HAVE TRAP SEAL GASKETS EQUAL TO "SURE SEAL".
 2. INSTALLATIONS SHALL BE IN COMPLETE ACCORDANCE WITH STATE & LOCAL CODES.

PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	FIXTURE			SIZE	FIXTURE			SERVICES				REMARKS	
		MANUFACTURER	MODEL	TYPE		MANUFACTURER	MODEL	TYPE	S/W	V	CW	HW		TW
WC-1	WATER CLOSET - YOUTH	AMERICAN STANDARD	2599.001	FLOOR MOUNTED	1.28 GPF	SLOAN	G2 8111-1.28	SENSOR FLUSH VALVE	4"	2"	1"	-	-	VITREOUS CHINA, ELONGATED, LOW CONSUMPTION SENSOR FLUSH VALVE. PROVIDE OPEN FRONT SEAT AMERICAN STANDARD #5901.100 OR EQUAL. PROVIDE HEAVY DUTY CHROME PLATED SUPPLY & STOP. COORDINATE INSTALLATION OF FIXTURE WITH ARCHITECTURAL DRAWINGS.(15" TOP OF SEAT HEIGHT)
WC-2	WATER CLOSET - YOUTH ADA	AMERICAN STANDARD	2599.001	FLOOR MOUNTED	1.28 GPF	SLOAN	G2 8111-1.28	SENSOR FLUSH VALVE	4"	2"	1"	-	-	VITREOUS CHINA, ELONGATED, LOW CONSUMPTION SENSOR FLUSH VALVE. PROVIDE OPEN FRONT SEAT AMERICAN STANDARD #5901.100 OR EQUAL. PROVIDE HEAVY DUTY CHROME PLATED SUPPLY & STOP. BARRIER FREE, ADA COMPLIANT. COORDINATE INSTALLATION OF ADA FIXTURES W/ ARCHITECTURAL DRAWINGS. (15" TOP OF SEAT HEIGHT)
WC-3	WATER CLOSET - ADA	AMERICAN STANDARD	3351.101	WALL MOUNTED	1.28 GPF	SLOAN	G2 8111-1.28	SENSOR FLUSH VALVE	4"	2"	1"	-	-	VITREOUS CHINA, ELONGATED, LOW CONSUMPTION, BATTERY-POWERED, SENSOR FLUSH VALVE. PROVIDE OPEN FRONT SEAT AMERICAN STANDARD #5901.100 OR EQUAL. PROVIDE W/ WALL CARRIER. PROVIDE HEAVY DUTY CHROME PLATED SUPPLY & STOP. BARRIER FREE, ADA COMPLIANT. COORDINATE INSTALLATION OF ADA FIXTURES W/ ARCHITECTURAL DRAWINGS. (15" TOP OF SEAT HEIGHT) REMOVE AND REPLACE EXISTING SUPPLY SHUT-OFF VALVES WITH NEW VALVES.
WC-4	WATER CLOSET FLUSH VALVE	-	-	-	1.28 GPF	SLOAN	G2 8111-1.28	SENSOR FLUSH VALVE	-	-	1"	-	-	BATTERY-POWERED SENSOR FLUSH VALVE. INSTALL ON ETR WATER CLOSET. ADA COMPLIANT. COORDINATE INSTALLATION OF ADA FIXTURES W/ ARCHITECTURAL DRAWINGS. REMOVE AND REPLACE EXISTING SUPPLY SHUT-OFF VALVES WITH NEW VALVES.
L-1	LAVATORY	AMERICAN STANDARD	0355.012	WALL MOUNTED	20"x18"	CHICAGO	802-E70-317XKABCP	MANUAL	1 1/2"	1 1/2"	1/2"	1/2"	-	VITREOUS CHINA, WALL MOUNTED LAVATORY AND 2-HOLE, 4"O.C., 0.5 GPM FAUCET WITH WRISTBLADE HANDLES. PROVIDE AND INSTALL IMV-1 UNDER LAVATORY. PROVIDE W/ WALL BRACKETS. PROVIDE GRID DRAIN W/ OVERFLOW. PROVIDE CHROME PLATED HEAVY DUTY OFFSET P-TRAP W/ CLEANOUT, SUPPLIES & STOPS. REMOVE AND REPLACE EXISTING SUPPLY SHUT-OFF VALVES WITH NEW VALVES.
L-2	LAVATORY - ADA	AMERICAN STANDARD	0355.012	WALL MOUNTED	20"x18"	CHICAGO	802-E70-317XKABCP	MANUAL	1 1/2"	1 1/2"	1/2"	1/2"	-	VITREOUS CHINA, WALL MOUNTED LAVATORY AND 2-HOLE, 4"O.C., 0.5 GPM FAUCET WITH WRISTBLADE HANDLES. PROVIDE AND INSTALL IMV-1 UNDER LAVATORY. PROVIDE W/ WALL BRACKETS. PROVIDE CHROME PLATED HEAVY DUTY OFFSET P-TRAP W/ CLEANOUT, SUPPLIES & STOPS. PROVIDE TRUEBRO LANGUARD INSULATION ON EXPOSED PIPING. BARRIER FREE, ADA COMPLIANT. COORDINATE INSTALLATION OF ADA FIXTURES WITH ARCHITECTURAL DRAWINGS. REMOVE AND REPLACE EXISTING SUPPLY SHUT-OFF VALVES WITH NEW VALVES.
U-2	URINAL - ADA	AMERICAN STANDARD	6590.001	WALL HUNG	0.5 GPF	SLOAN	REGAL 183 SFSM-0.5	SENSOR	-	-	3/4"	-	-	TOP-SPUD, LOW CONSUMPTION, BATTERY-POWERED, SENSOR FLUSH VALVE. PROVIDE CONCEALED WALL CARRIER. PROVIDE HEAVY DUTY CHROME PLATED SUPPLY & STOP. ADA COMPLIANT. COORDINATE INSTALLATION OF ADA FIXTURES W/ ARCHITECTURAL DRAWINGS.
SS-1	SERVICE SINK	AMERICAN STANDARD	7695.008	WALL MOUNTED	2 1/2"x23"x33"	CHICAGO	540LD897SGCPC	MANUAL	3"	2"	1/2"	1/2"	-	WALL MOUNTED, ENAMELED CAST IRON SINK. WALL MOUNTED, CHROME PLATED, 8" O.C. LEVER FAUCET, VACUUM BREAKER. PROVIDE SPLASH GUARDS, MOP & HOSE BRACKETS.
HB-1	HOSE BIBB	JR SMITH	5670-H-CP	WALL MOUNTED	3/4"x2 3/4"	-	-	-	-	-	1/2"	-	-	BRASS BODY, VACUUM BREAKER AND REMOVABLE WHEEL HANDLE.
IMV-1	THERMOSTATIC MIXING VALVE	LEONARD	170A-LF-BP-BRKT	-	-	-	-	-	-	-	1/2"	1/2"	1/2"	THERMOSTATIC MIXING VALVE. PROVIDE WITH COLD WATER BYPASS AND MOUNTING BRACKET. SET TEMPERATURE TO 105°F. COORDINATE WITH CONTRACT DRAWINGS FOR SINKS THAT REQUIRE MIXING VALVES.

NOTES:
 1. ALL BARRIER FREE & ADA FIXTURES SHALL BE INSTALLED PER ADA REQUIREMENTS.
 2. ALL PLUMBING FIXTURES, EQUIPMENT & ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

PLUMBING LEGEND

	ETR	LIGHT LINE INDICATES EXISTING PIPING TO REMAIN.
	RE	REMOVE EXISTING PIPING/DUCT/EQUIPMENT
	CTE	CONNECT TO EXISTING
	C&C	CUT & CAP
	CW	COLD WATER
	CW	COLD WATER BELOW FLOOR OR BURIED
	HW	HOT WATER
	HW	HOT WATER BELOW FLOOR OR BURIED
	HWR	HOT WATER RECIRCULATION
	S/W	SOIL OR WASTE
	S/W	SOIL OR WASTE BELOW FLOOR OR BURIED
	V	VENT
	V	VENT BELOW FLOOR OR BURIED
	ST	STORM/RAINWATER
	ST	STORM/RAINWATER BELOW FLOOR OR BURIED
		CONTINUATION
	UP/RISER	PIPE RISER
	DR/DN	PIPE DROP OR DOWN
	TEE	PIPE TEE
	BV	BALL VALVE
	VV	VALVE IN VERTICAL
	BV	BALANCING VALVE
	BVA	BALANCING VALVE ASSEMBLY
	W&T	WASTE & TRAP
	CO/WCO	CLEANOUT PLUG OR WALL CLEANOUT
	FCO	FLOOR CLEANOUT
		CAPPED PIPE
		ARROW INDICATES DIRECTION OF FLOW
		ARROW INDICATES DIRECTION OF SLOPE
	HB	HOSE BIBB
	FD	FLOOR DRAIN
	RD	ROOF DRAIN
	EX	EXISTING
	VTR	VENT THRU ROOF
	VIF	VERIFY LOCATION, SIZE & CONNECTION IN FIELD
	I.E.	INVERT ELEVATION
	TYP	TYPICAL
	NTS	NOT TO SCALE
	AF	ABOVE FINISHED FLOOR
	FFE	FINISHED FLOOR ELEVATION
	GC	GENERAL CONTRACTOR
	FPC	FIRE PROTECTION CONTRACTOR
	PC	PLUMBING CONTRACTOR
	EC	ELECTRICAL CONTRACTOR
	HVAC	HVAC CONTRACTOR
	S=.01	SLOPE = 1/8" PER FOOT
	S=.02	SLOPE = 1/4" PER FOOT



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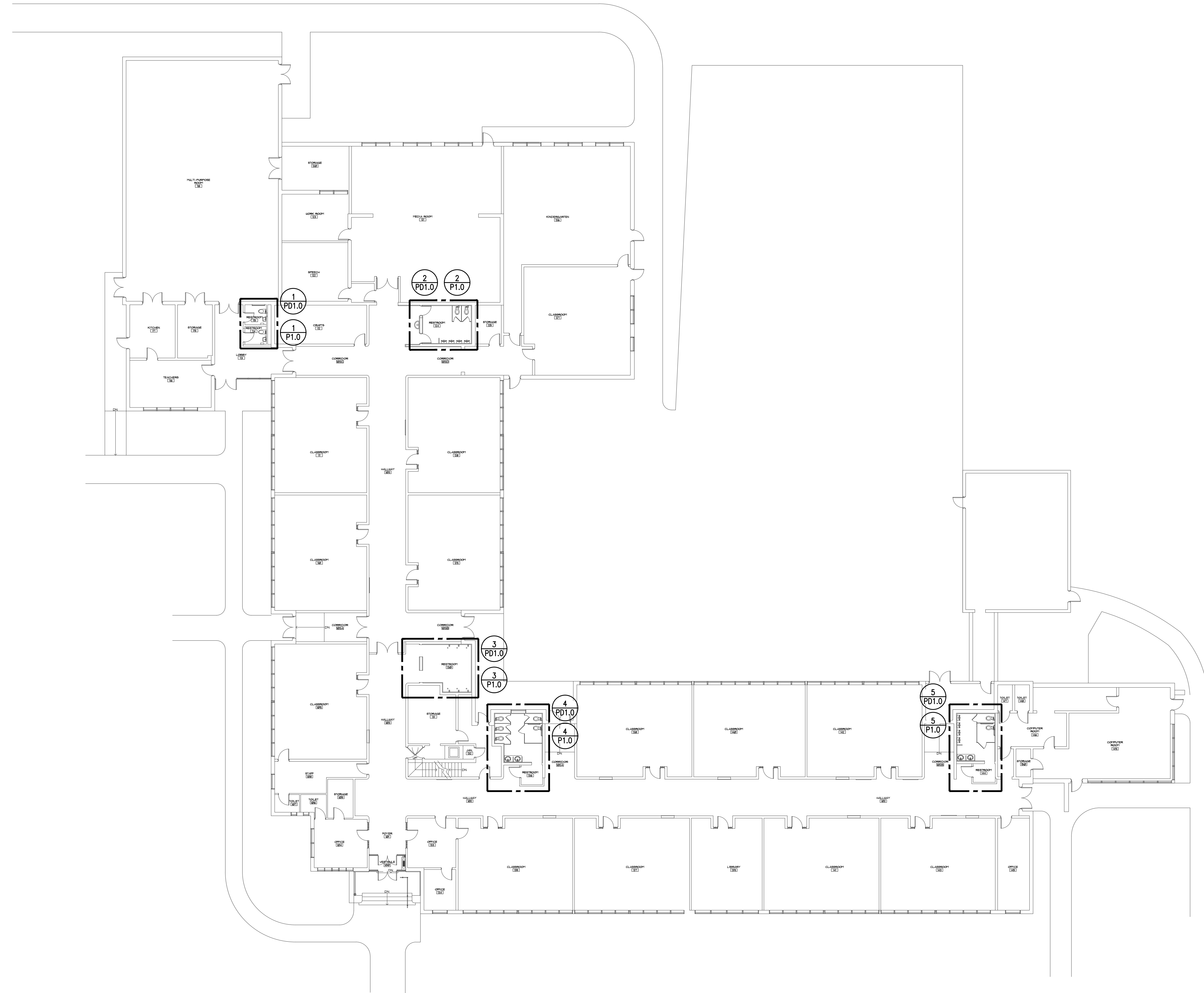
SHEET TITLE
 PLUMBING
 LEGEND, NOTES,
 AND DETAILS

REVISIONS

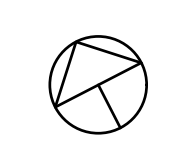
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P0.1

SHEET OF



1 PLUMBING OVERALL PLAN
 P02 SCALE: 1/16"=1'-0"



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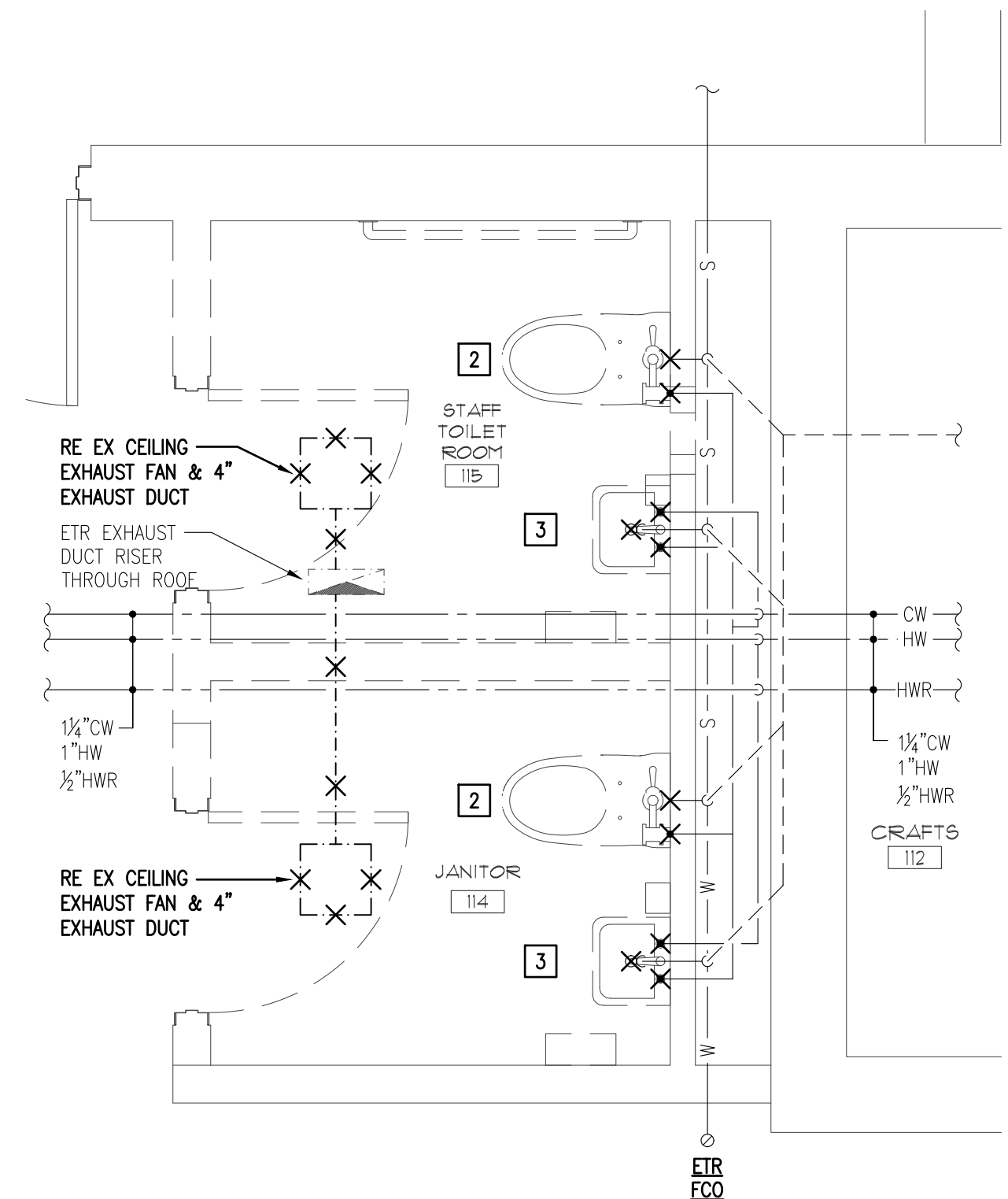
SHEET TITLE
 PLUMBING
 OVERALL PLAN

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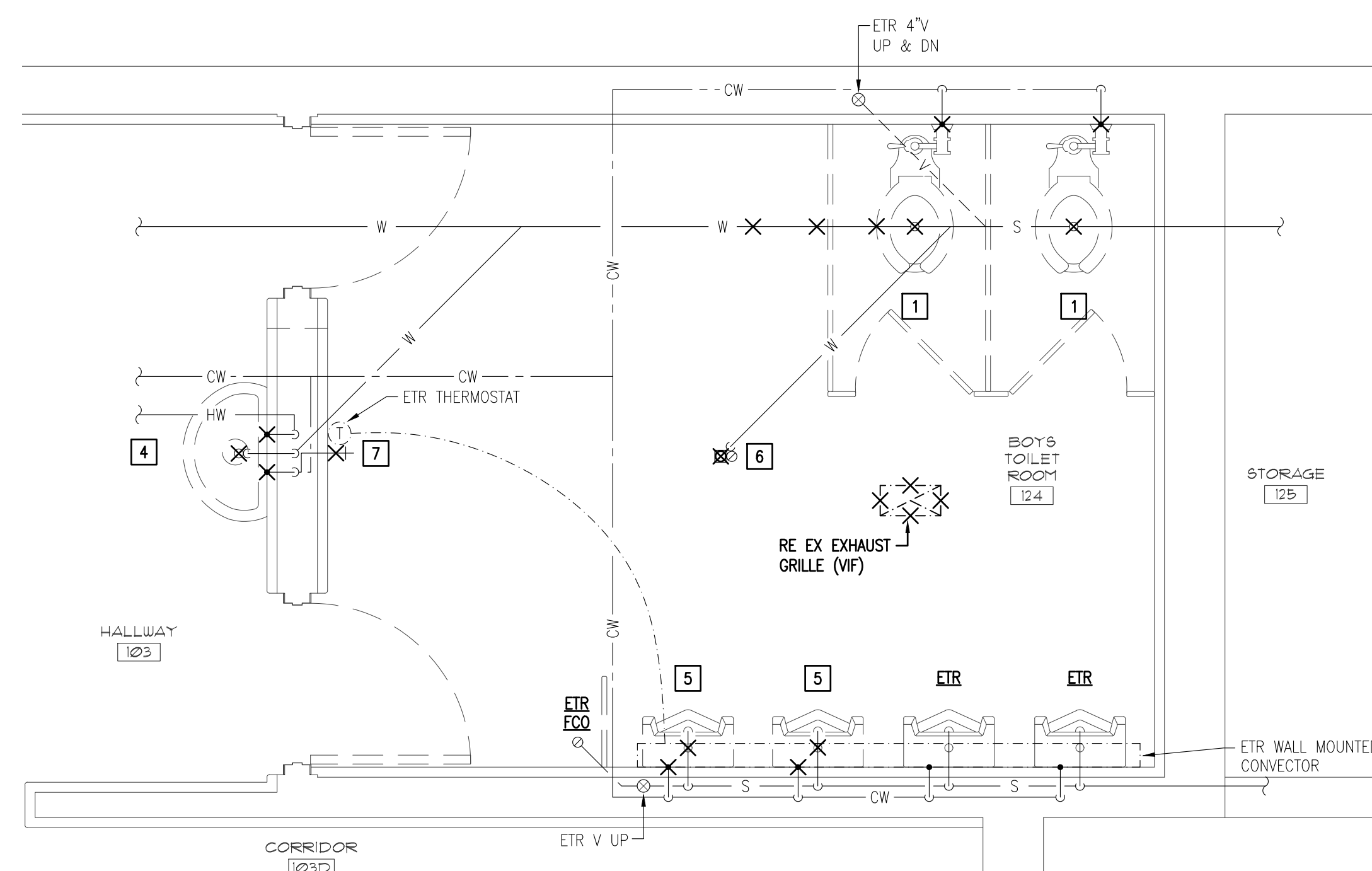
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P0.2

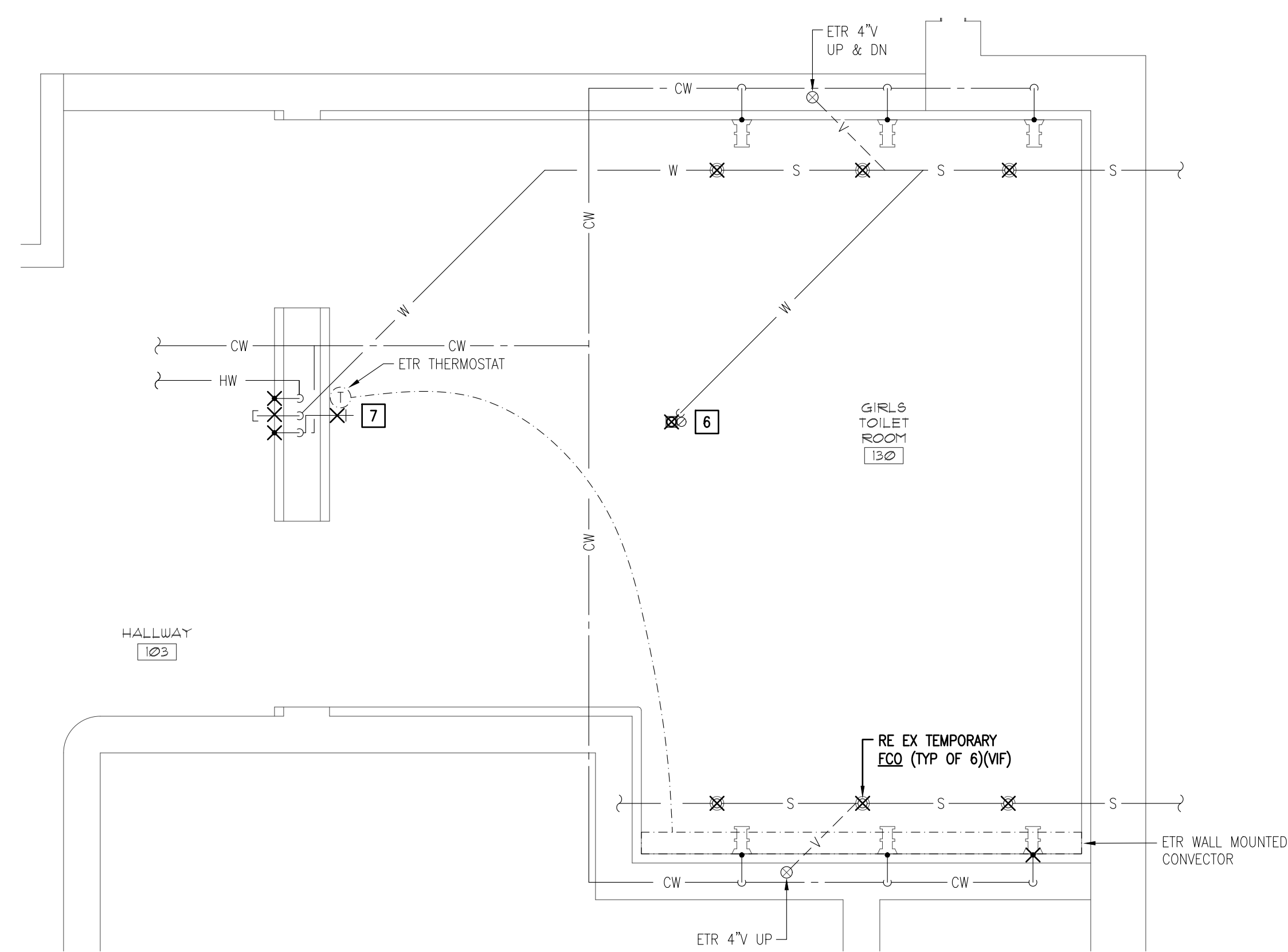
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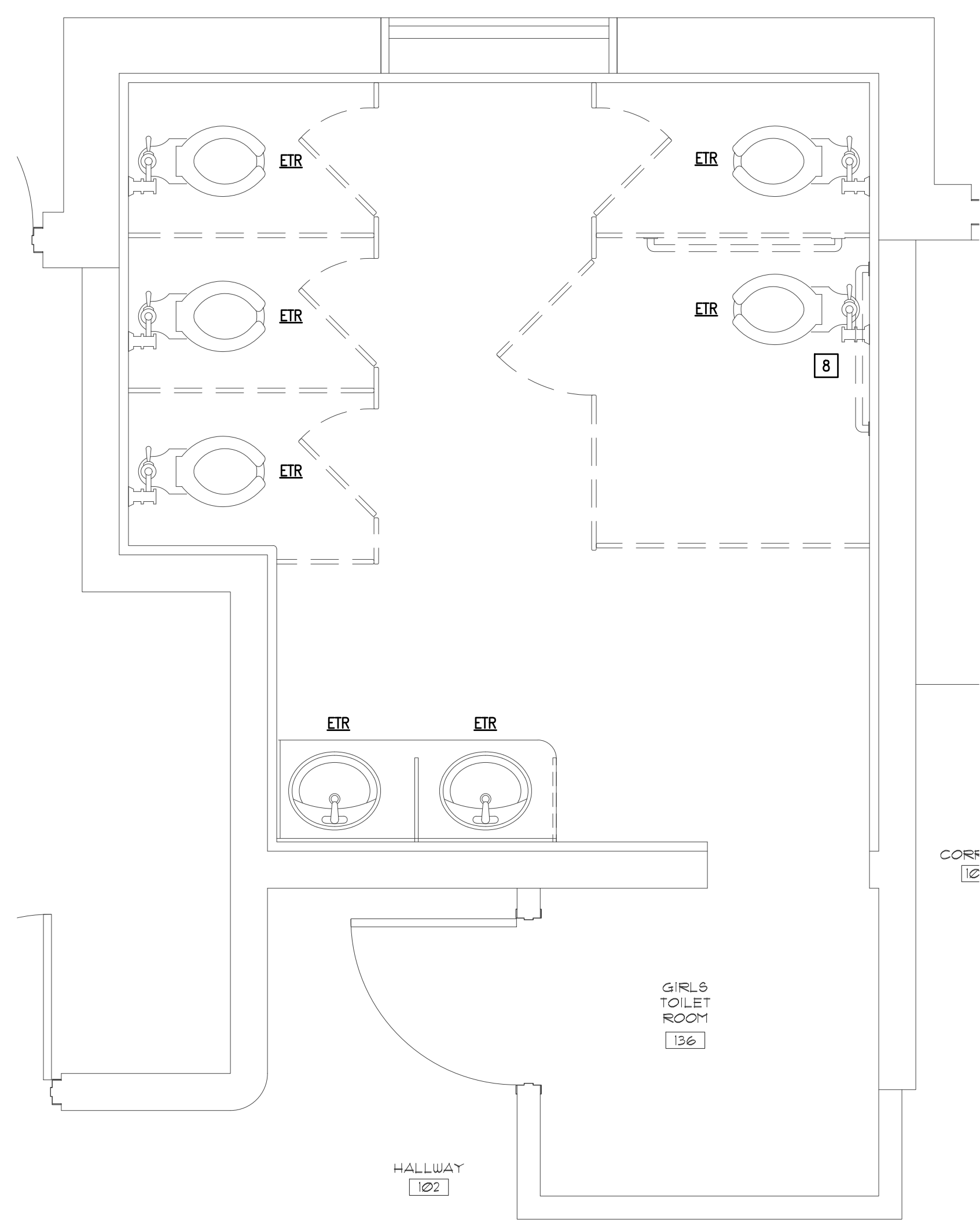
1 PLUMBING & HVAC DEMOLITION PLAN
 PD1.0 SCALE: 1/2" = 1'-0"



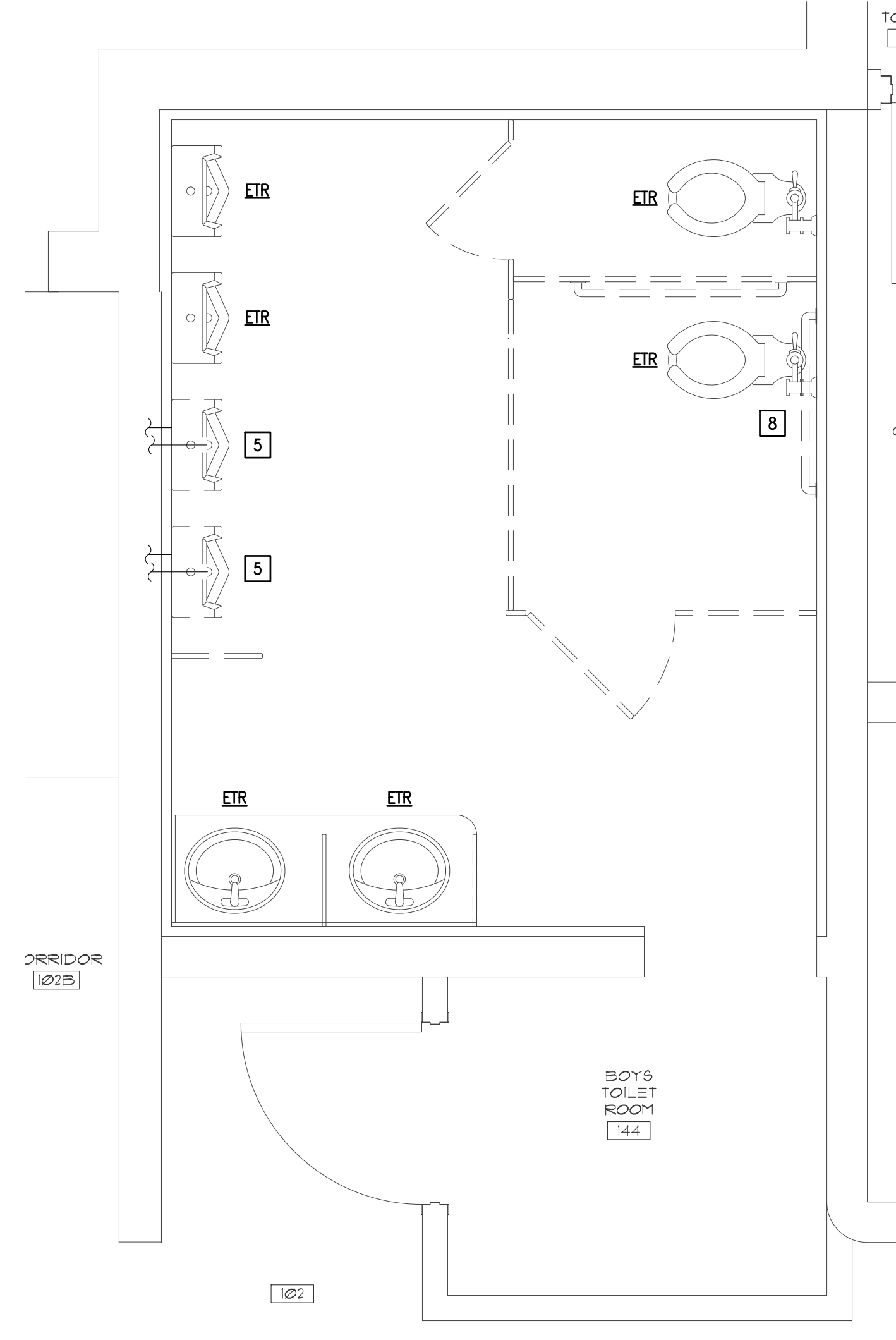
2 PLUMBING & HVAC DEMOLITION PLAN
 PD1.0 SCALE: 1/2" = 1'-0"



3 PLUMBING & HVAC DEMOLITION PLAN
 PD1.0 SCALE: 1/2" = 1'-0"



4 PLUMBING DEMOLITION PLAN
 PD1.0 SCALE: 1/2" = 1'-0"



5 PLUMBING DEMOLITION PLAN
 PD1.0 SCALE: 1/2" = 1'-0"

PLUMBING DEMO KEY NOTES

- 1 REMOVE AND DISCARD EXISTING FLOOR MOUNTED WATER CLOSET AND FLUSH VALVE. CUT AND CAP EXISTING COLD WATER SUPPLY AND SANITARY WASTE AND VENT LINES BACK TO EXISTING RESPECTIVE MAIN LINES.
- 2 REMOVE AND DISCARD EXISTING WALL MOUNTED WATER CLOSET, CARRIER AND FLUSH VALVE. CUT AND CAP EXISTING COLD WATER SUPPLY AND SANITARY WASTE AND VENT LINES BACK TO EXISTING RESPECTIVE MAIN LINES.
- 3 REMOVE AND DISCARD EXISTING WALL HUNG LAVATORY & FAUCET. CUT AND CAP EXISTING HOT & COLD WATER SUPPLY AND WASTE & VENT LINES BACK TO EXISTING RESPECTIVE MAIN LINES.
- 4 REMOVE AND DISCARD LAVATORY WASH BASIN. CUT AND CAP EXISTING HOT & COLD WATER SUPPLY AND WASTE & VENT LINES BACK TO EXISTING RESPECTIVE MAIN LINES.
- 5 REMOVE AND DISCARD EXISTING WALL MOUNTED URINAL, CARRIER AND FLUSH VALVE. CUT AND CAP EXISTING COLD WATER SUPPLY AND WASTE & VENT LINES BACK TO EXISTING RESPECTIVE MAIN LINES.
- 6 REMOVE AND DISCARD EXISTING FLOOR DRAIN. CUT AND CAP EXISTING WASTE & VENT LINES BACK TO EXISTING RESPECTIVE MAINS.
- 7 REMOVE AND DISCARD EXISTING HOSE BIBB. CUT AND CAP EXISTING CW LINE BACK TO EXISTING RESPECTIVE MAIN.
- 8 REMOVE AND DISCARD EXISTING FLUSH VALVE. EXISTING WATER CLOSET IS ETR. CUT AND CAP EXISTING COLD WATER SUPPLY LINE BACK TO EXISTING RESPECTIVE MAIN.

NOTES:
 1. VERIFY EXACT LOCATIONS OF ALL ABOVE AND BELOW GROUND DOMESTIC WATER, SANITARY WASTE & VENT, STORM DRAINAGE AND NATURAL GAS SUPPLY & MAIN PIPING IN FIELD.



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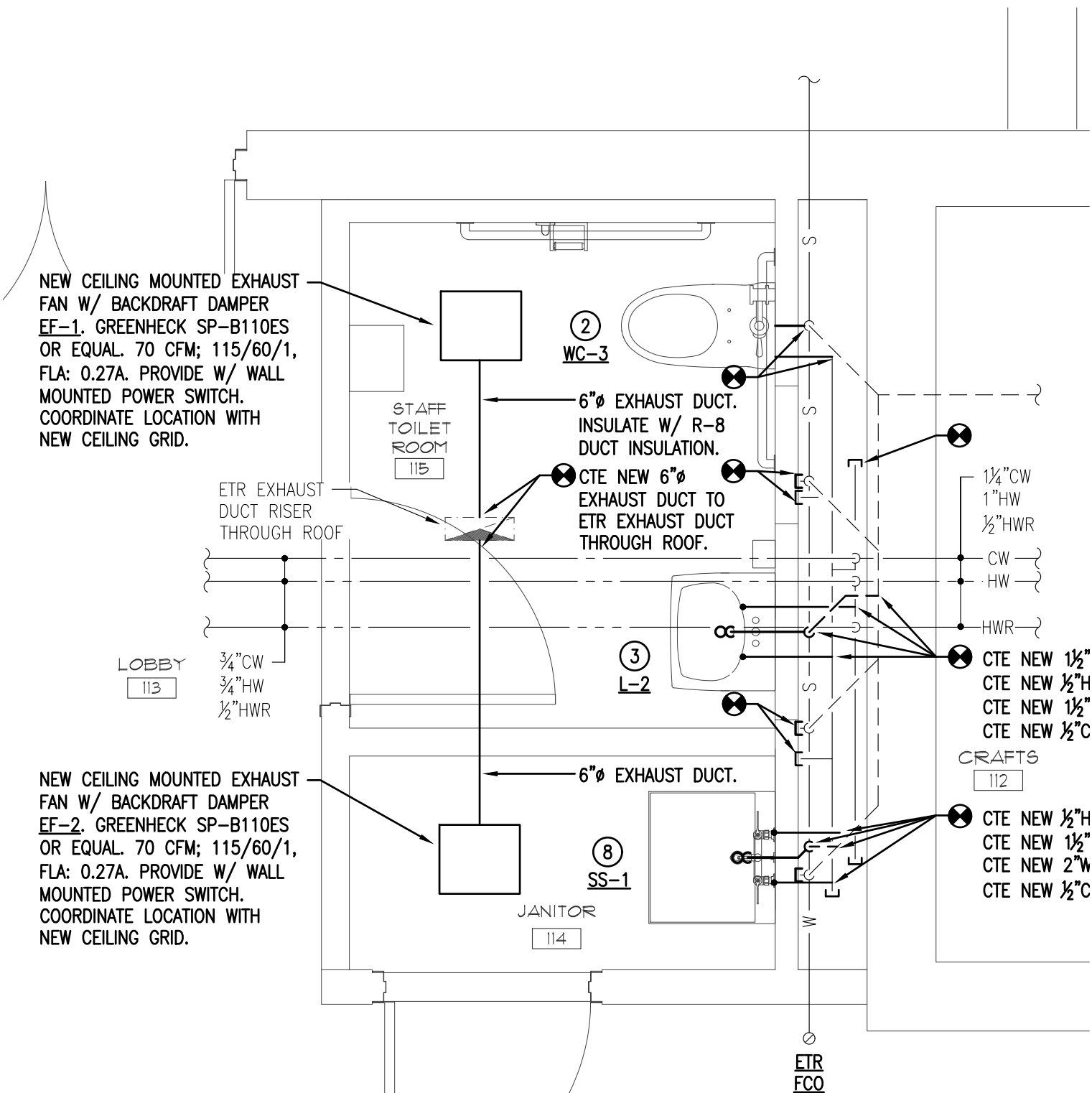
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SHEET TITLE
 PLUMBING & HVAC
 DEMOLITION PLANS

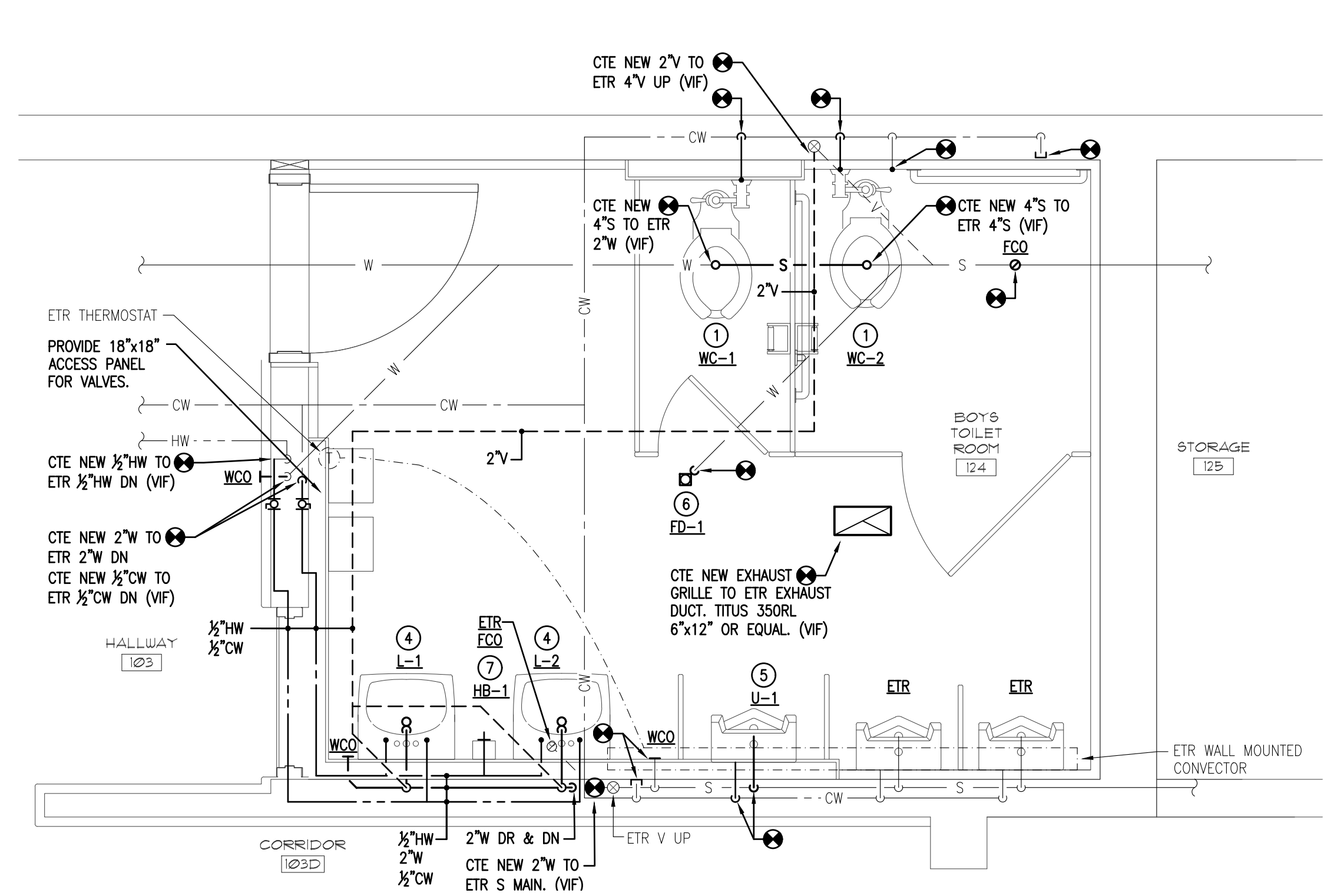
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DRAWN: MAJ **DATE:** 04.05.2024
CHK BY: ARV **JOB NO:** 23071

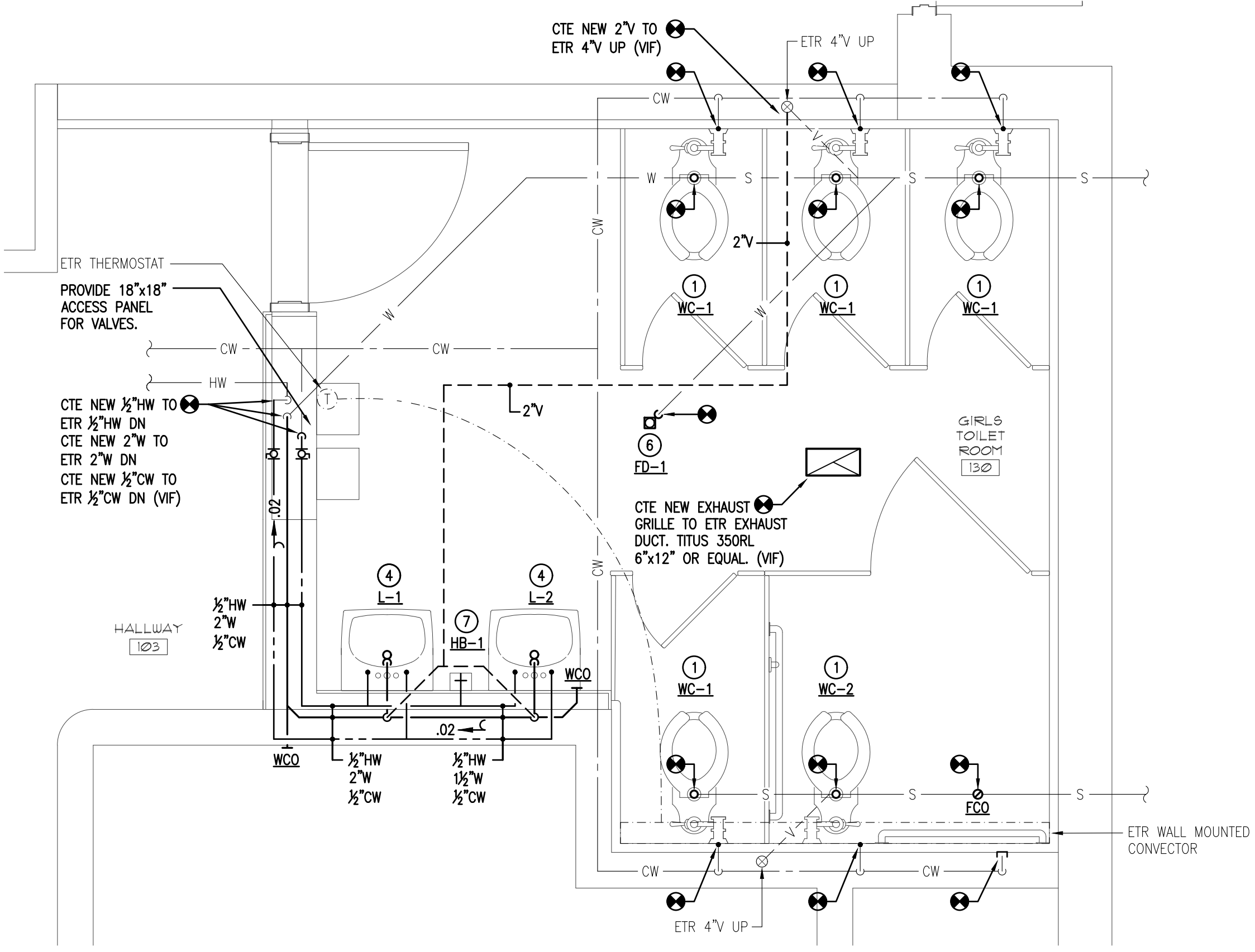
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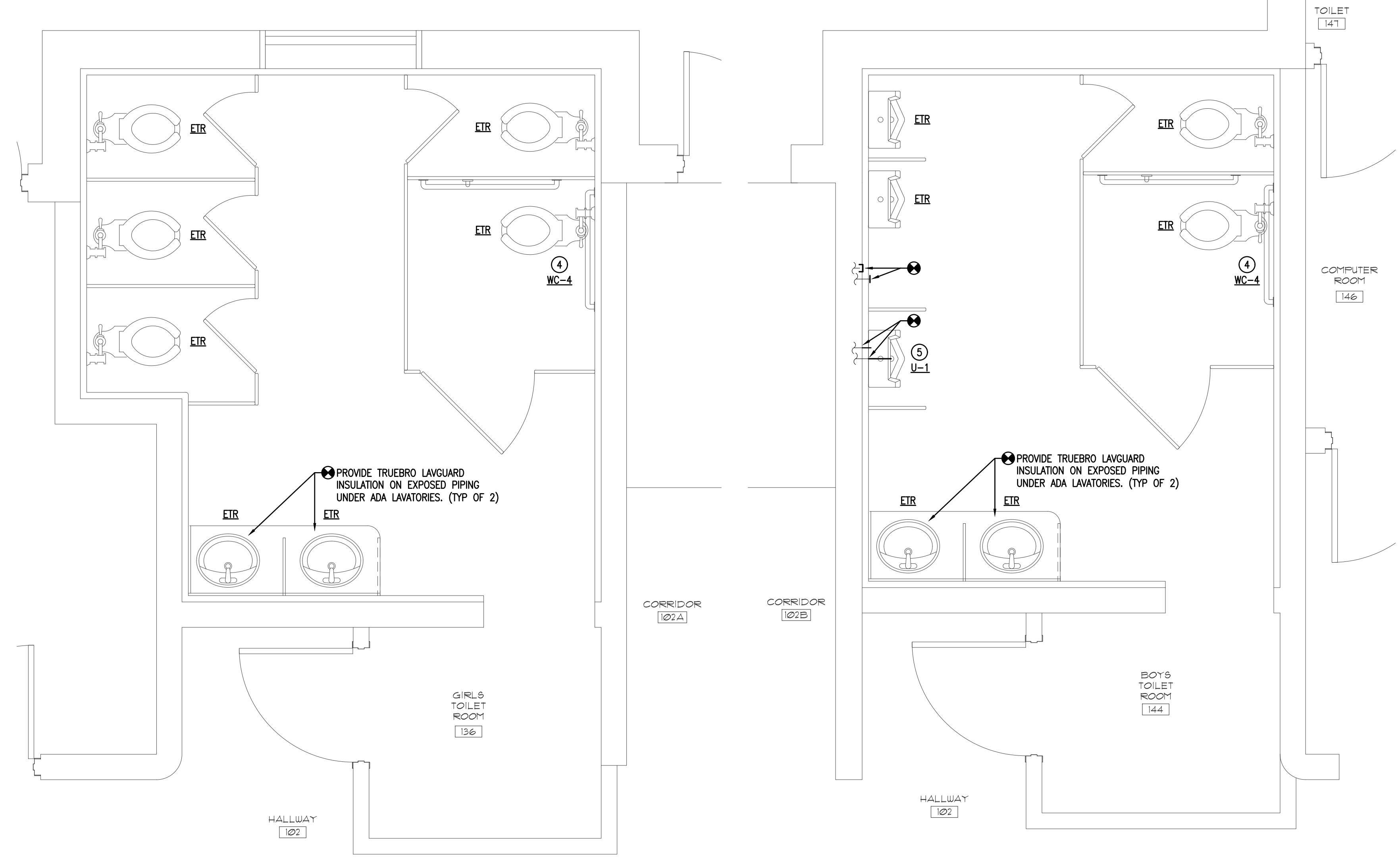
1 PLUMBING & HVAC RENOVATION PLAN
 SCALE: 1/2" = 1'-0"



2 PLUMBING & HVAC RENOVATION PLAN
 SCALE: 1/2" = 1'-0"



3 PLUMBING & HVAC RENOVATION PLAN
 SCALE: 1/2" = 1'-0"



4 PLUMBING RENOVATION PLAN
 SCALE: 1/2" = 1'-0"

5 PLUMBING RENOVATION PLAN
 SCALE: 1/2" = 1'-0"

- PLUMBING KEY NOTES**
- NEW FLOOR MOUNTED WATERCLOSET W/ FLUSH VALVE: 1" CW DR, 4" S DN & 2" V DR
 - NEW WALL MOUNTED WATERCLOSET W/ FLUSH VALVE: 1" CW DR, 4" S DN & 2" V DR
 - NEW WALL HUNG LAVATORY & FAUCET: 1/2" CW DR, 1/2" HW DR, 1/2" W DN, 1/2" V DR
 - NEW SENSOR FLUSH VALVE: 1" CW DR
 - NEW WALL HUNG URINAL W/ FLUSH VALVE: 3/4" CW DR, 2" S DN, 1/2" V DR
 - NEW 2" FLOOR DRAIN: 2" W DN, 2" V DN
 - NEW WALL MOUNTED HOSE BIBB: 1/2" CW DR
 - NEW FLOOR MOUNTED SERVICE SINK & FAUCET: 1/2" CW DR, 1/2" HW DR, 3" W DN, 2" V DN
- NOTE: CONNECT ALL DOMESTIC WATER, SANITARY WASTE & VENT AND NATURAL GAS SUPPLY PIPING FROM NEW FIXTURES & EQUIPMENT TO RESPECTIVE MAIN LINES. COORDINATE EXACT LOCATIONS IN FIELD PRIOR TO INSTALLATION. TRENCH PIPING AS REQUIRED.



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BUILDING RENOVATIONS
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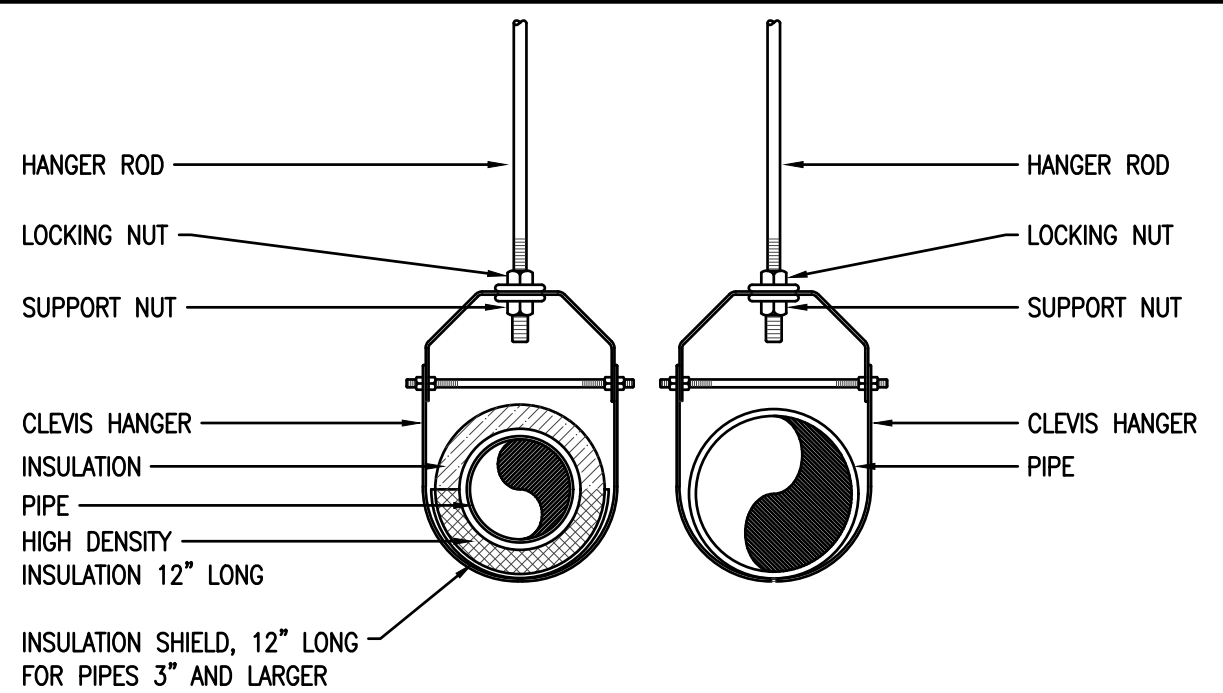
SHEET TITLE
 PLUMBING & HVAC RENOVATION PLANS

REVISIONS	

DRAWN: MAJ DATE: 04.05.2024
 CHK BY: ARV JOB NO: 23071

P1.0

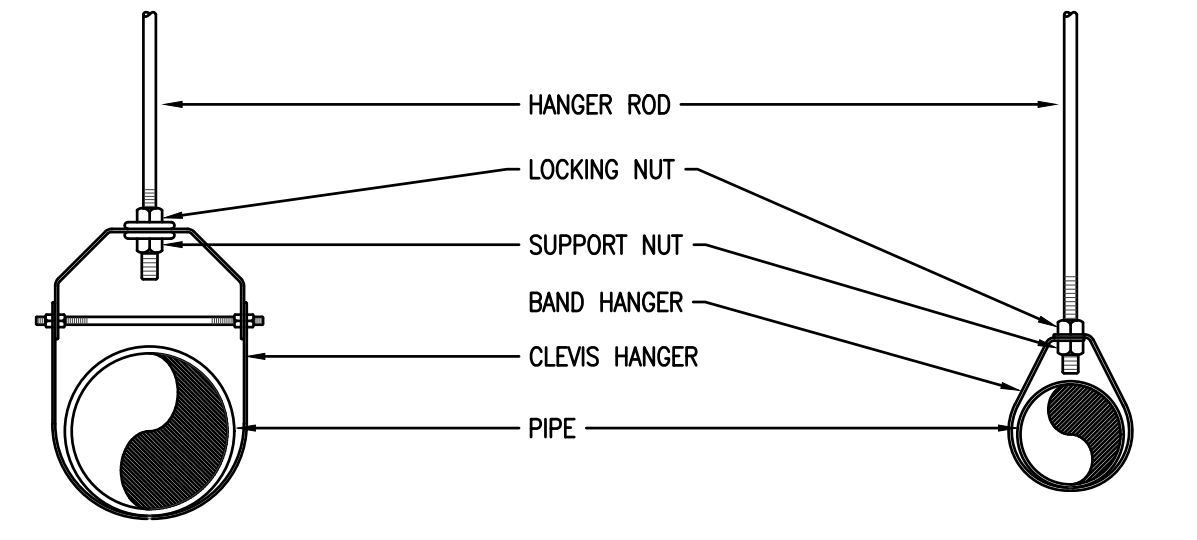
SHEET OF



HANGER ROD SCHEDULE		HANGER ROD SPACING	
PIPE SIZE	ROD SIZE	PIPE SIZE	MAX. ALLOWABLE SPACING
UP TO 2"	3/8" DIA.	1"	7'
2 1/2" THRU 3"	1/2" DIA.	1 1/4"	8'
4" AND 5"	5/8"	1 1/2"	9'
6" - 8"	3/4"	2"	10'
10 & 12"	7/8"	2 1/2"	11'
		3" - 12"	12'

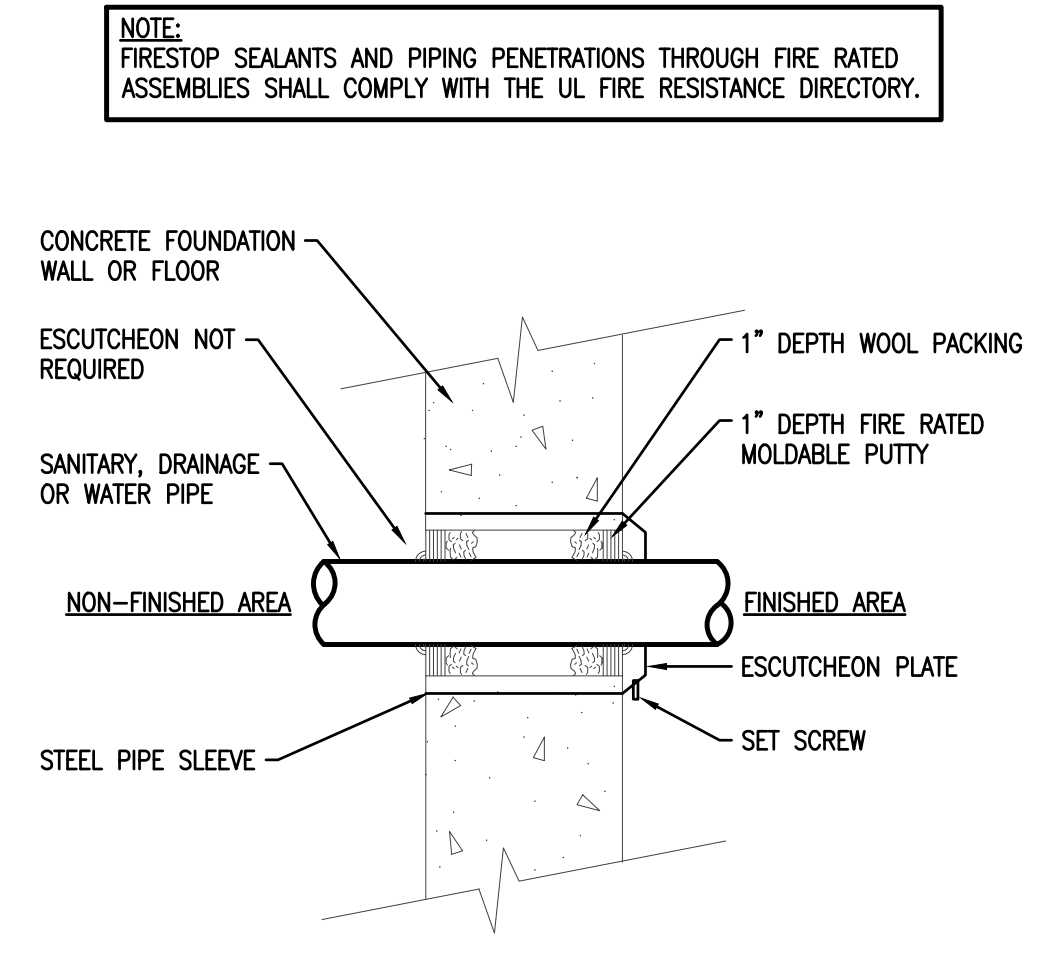
INSULATED AND NON INSULATED PLUMBING SYSTEMS

1 CLEVIS PIPE HANGER/ROD INSTALLATION NTS

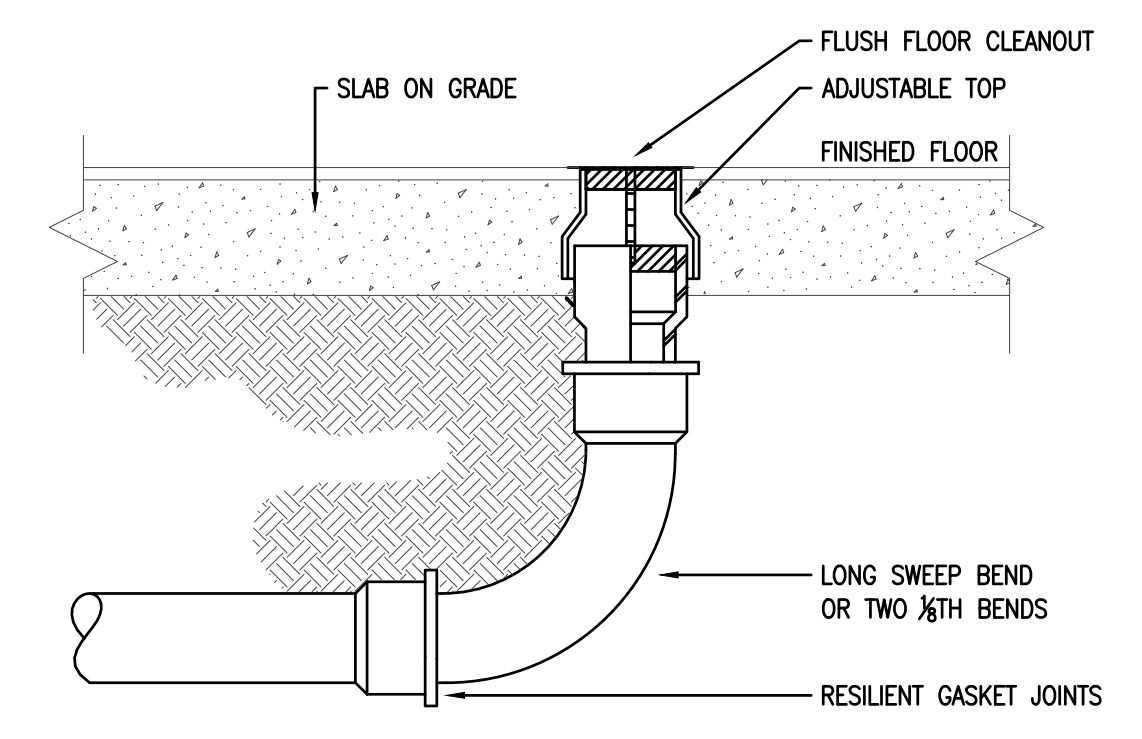


HANGER ROD SCHEDULE		HANGER ROD SPACING	
PIPE SIZE	ROD SIZE	PIPE SIZE	MAX. ALLOWABLE SPACING
UP TO 2"	3/8" DIA.	1"	7'
2 1/2" & 3"	1/2" DIA.	1 1/4"	8'
4" AND 5"	5/8"	1 1/2"	9'
6" - 8"	3/4"	2"	10'
10 & 12"	7/8"	2 1/2"	11'
		3" - 12"	12'

2 CLEVIS-BAND HANGER/ROD INSTALLATION NTS

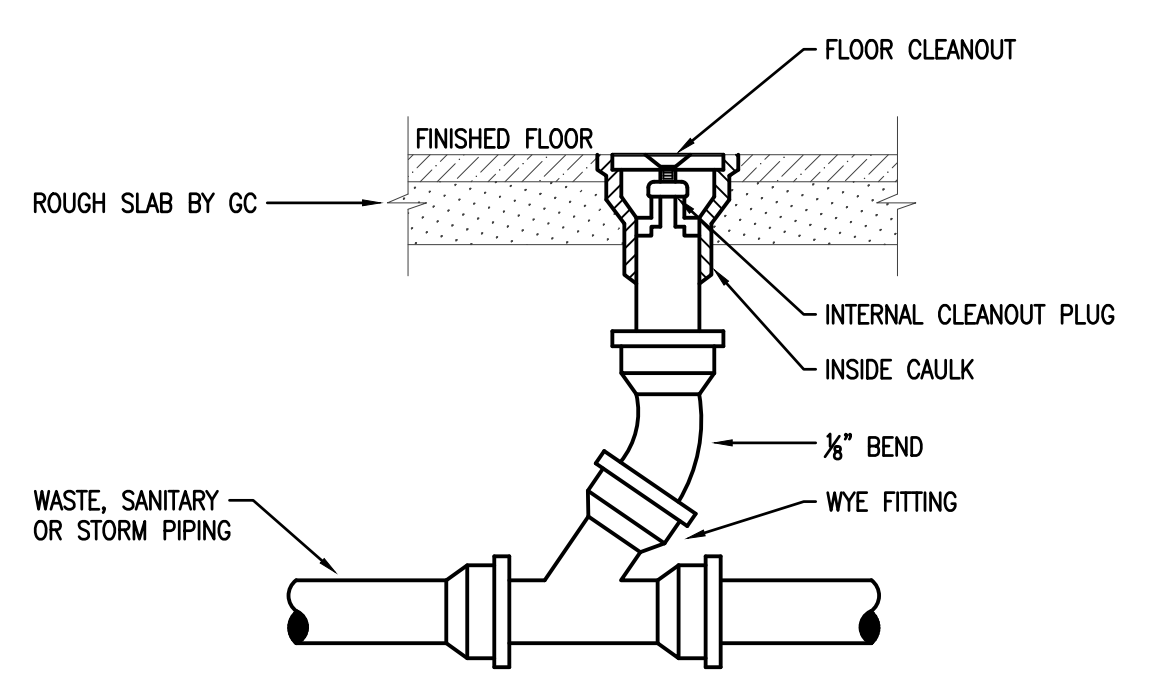


3 MASONRY WALL FIRE RATED SLEEVE NTS



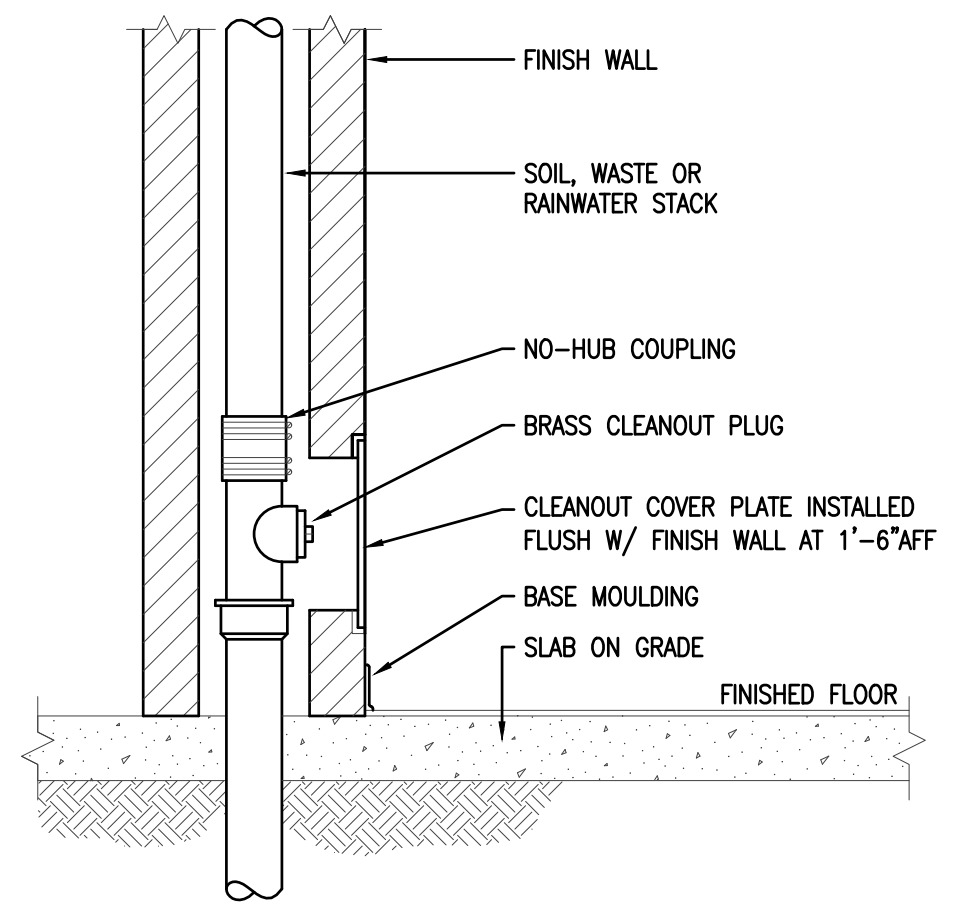
NOTE: REFER TO CONTRACT SPECIFICATIONS FOR CLEANOUT TYPE

4 END OF RUN FCO INSTALLATION NTS



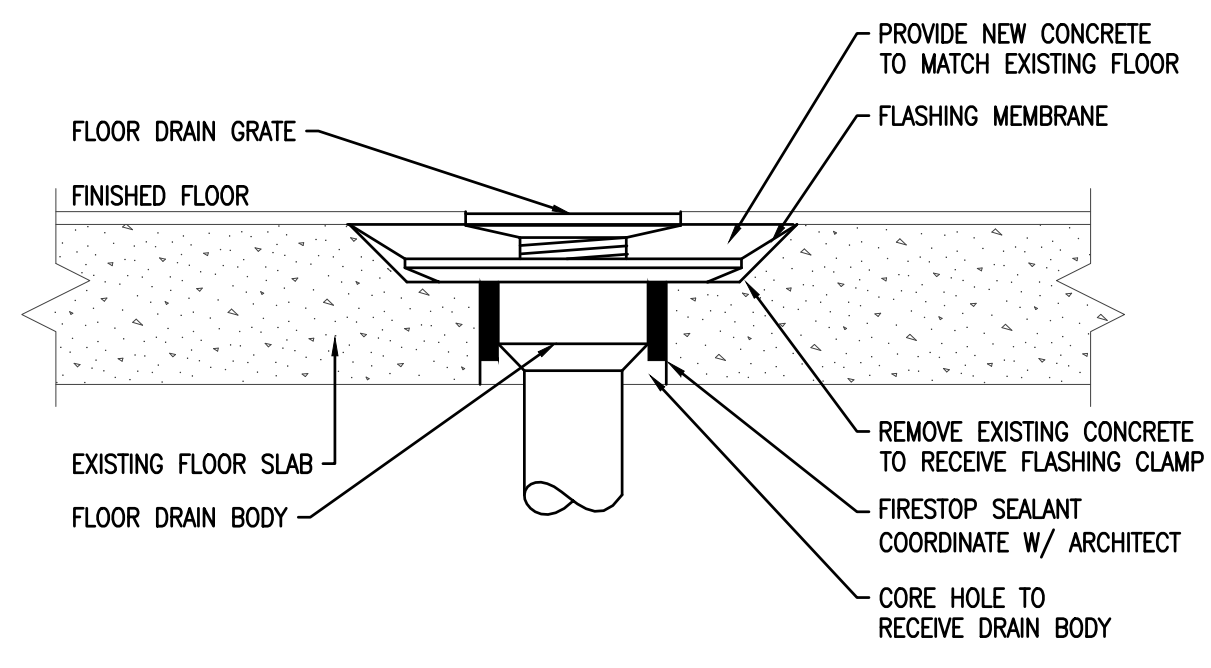
NOTE: REFER TO CONTRACT SPECIFICATIONS FOR CLEANOUT TYPE

5 IN THE RUN CLEANOUT NTS

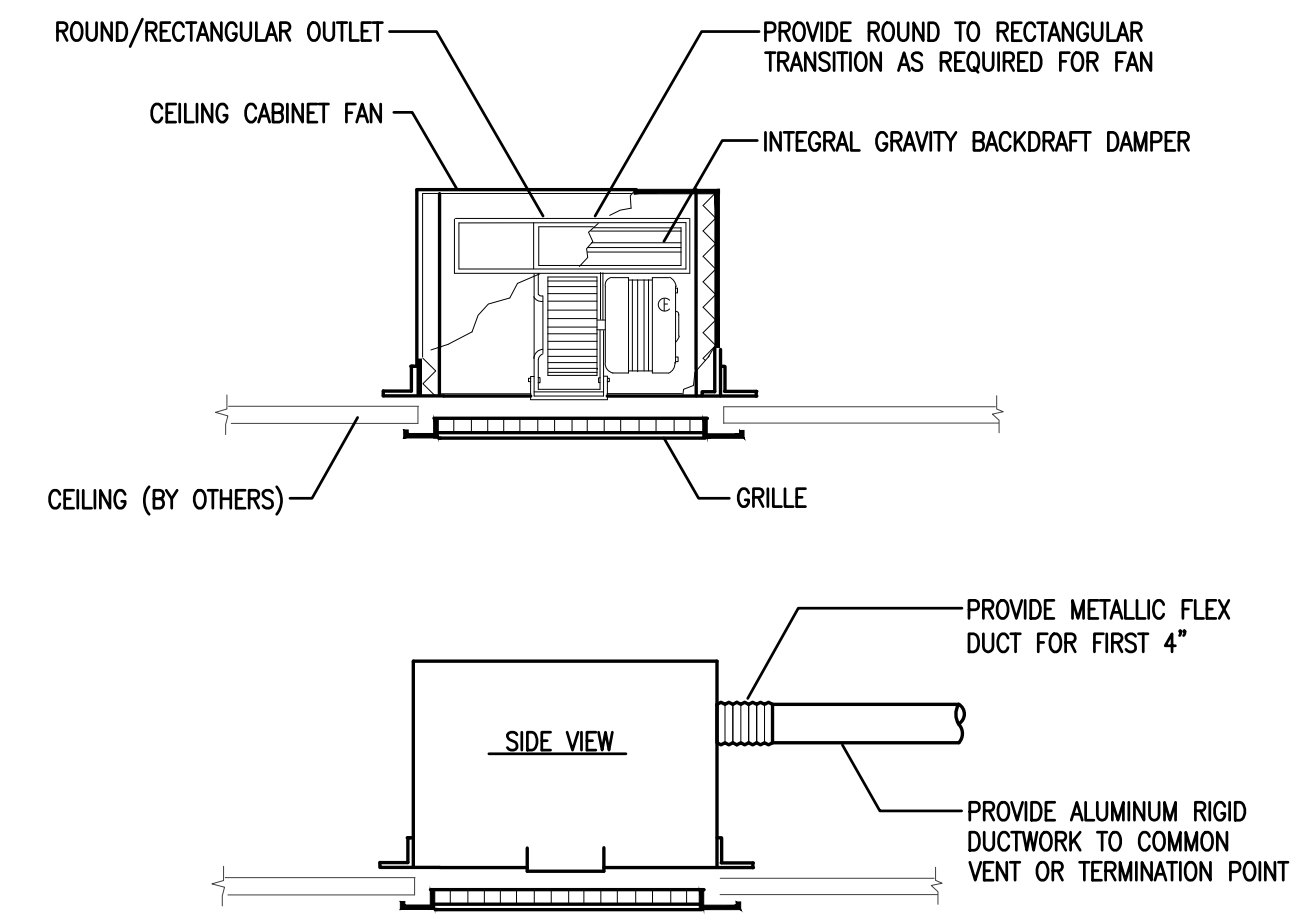


NOTE: REFER TO CONTRACT SPECIFICATIONS FOR CLEANOUT TYPE

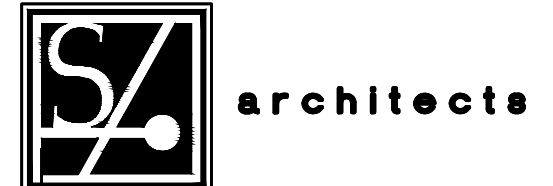
6 FLUSH WALL CLEANOUT DIAGRAM NTS



7 FLOOR DRAIN INSTALLATION - EXISTING SLAB NTS



8 DIRECT DRIVE CABINET EXHAUST FAN NTS



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SHEET TITLE
PLUMBING & HVAC DETAILS

REVISIONS

DRAWN: MAJ DATE: 04.05.2024
CHK BY: ARV JOB NO: 23071

P2.0

SHEET OF

FIRE ALARM SYSTEM

FIRE ALARM SYSTEM:
ALL NOTIFICATION DEVICES SHALL BE MOUNTED 80" AFF, UNLESS OTHERWISE NOTED. THE FOLLOWING DESIGNATIONS SHALL APPLY TO ALL FIRE ALARM DEVICES:

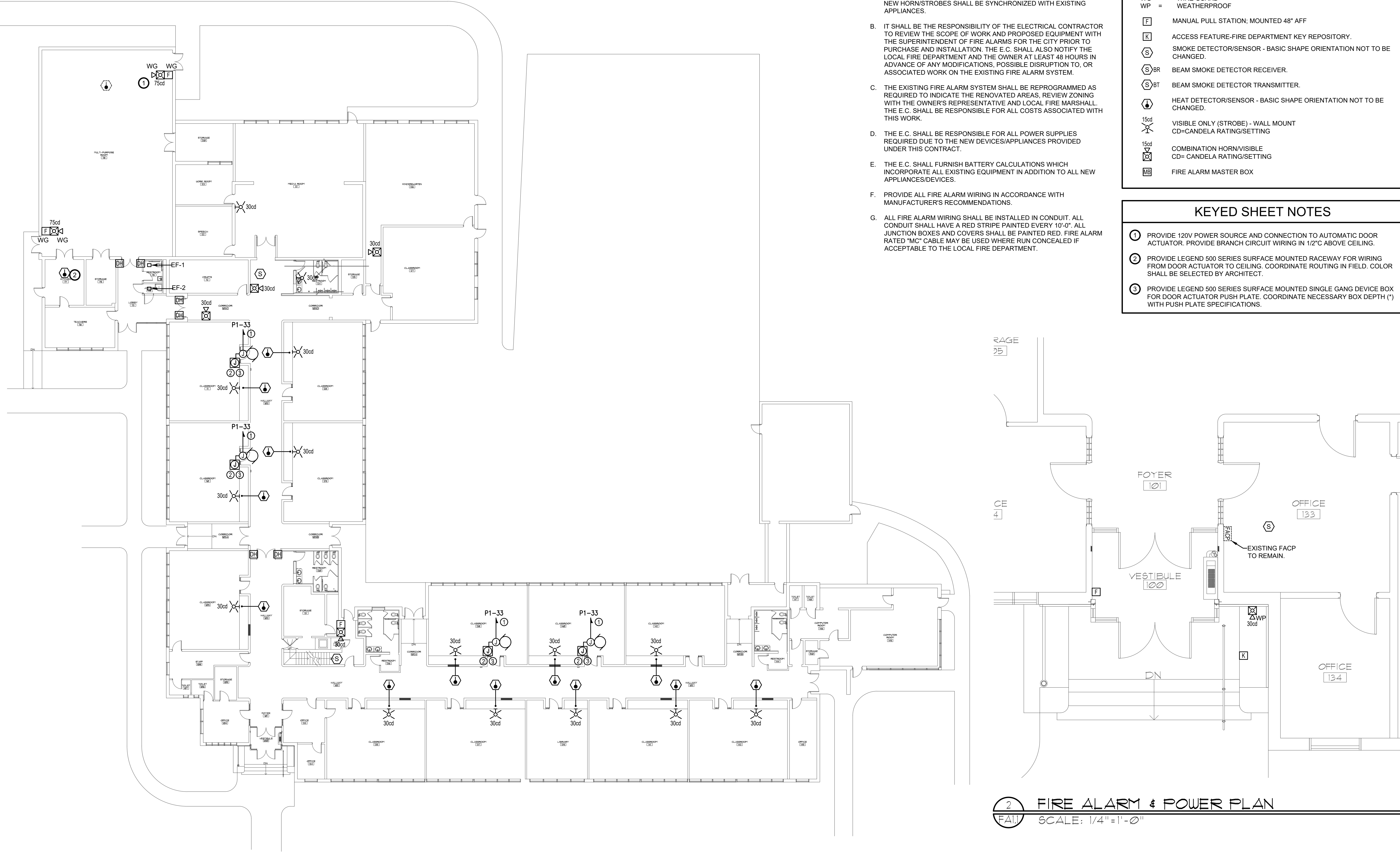
- AC = ABOVE CEILING
- C = CEILING MOUNTED
- LF = LOW FREQUENCY
- WG = WIRE GUARD
- WP = WEATHERPROOF
- [F] MANUAL PULL STATION; MOUNTED 48" AFF
- [K] ACCESS FEATURE-FIRE DEPARTMENT KEY REPOSITORY.
- [S] SMOKE DETECTOR/SENSOR - BASIC SHAPE ORIENTATION NOT TO BE CHANGED.
- [S]BR BEAM SMOKE DETECTOR RECEIVER.
- [S]BT BEAM SMOKE DETECTOR TRANSMITTER.
- [H] HEAT DETECTOR/SENSOR - BASIC SHAPE ORIENTATION NOT TO BE CHANGED.
- [15cd] VISIBLE ONLY (STROBE) - WALL MOUNTING
CD=CANDELA RATING/SETTING
- [15cd] V COMBINATION HORN/VISIBLE
CD=CANDELA RATING/SETTING
- [MB] FIRE ALARM MASTER BOX

KEYED SHEET NOTES

- 1 PROVIDE 120V POWER SOURCE AND CONNECTION TO AUTOMATIC DOOR ACTUATOR. PROVIDE BRANCH CIRCUIT WIRING IN 1/2" ABOVE CEILING.
- 2 PROVIDE LEGEND 500 SERIES SURFACE MOUNTED RACEWAY FOR WIRING FROM DOOR ACTUATOR TO CEILING. COORDINATE ROUTING IN FIELD. COLOR SHALL BE SELECTED BY ARCHITECT.
- 3 PROVIDE LEGEND 500 SERIES SURFACE MOUNTED SINGLE GANG DEVICE BOX FOR DOOR ACTUATOR PUSH PLATE. COORDINATE NECESSARY BOX DEPTH (*) WITH PUSH PLATE SPECIFICATIONS.

ELECTRICAL SPECIFICATIONS

- 2.14 **FIRE ALARM EXISTING EQUIPMENT**
- A. THE EXISTING FACILITY IS EQUIPPED WITH A FIRE ALARM SYSTEM WHICH IS TO BE EXPANDED IN THE WORK AREA. ALL NEW EQUIPMENT SHALL BE OF THE SAME MANUFACTURER AS OF THE EXISTING SYSTEM, INCLUDING PULL STATIONS, SMOKE DETECTORS, DUCT SMOKE DETECTORS, AND AUDIBLE/VISUAL SIGNALS, ETC. ALL NEW HORN/STROBES SHALL BE SYNCHRONIZED WITH EXISTING APPLIANCES.
 - B. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO REVIEW THE SCOPE OF WORK AND PROPOSED EQUIPMENT WITH THE SUPERINTENDENT OF FIRE ALARMS FOR THE CITY PRIOR TO PURCHASE AND INSTALLATION. THE E.C. SHALL ALSO NOTIFY THE LOCAL FIRE DEPARTMENT AND THE OWNER AT LEAST 48 HOURS IN ADVANCE OF ANY MODIFICATIONS, POSSIBLE DISRUPTION TO, OR ASSOCIATED WORK ON THE EXISTING FIRE ALARM SYSTEM.
 - C. THE EXISTING FIRE ALARM SYSTEM SHALL BE REPROGRAMMED AS REQUIRED TO INDICATE THE RENOVATED AREAS. REVIEW ZONING WITH THE OWNER'S REPRESENTATIVE AND LOCAL FIRE MARSHALL. THE E.C. SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THIS WORK.
 - D. THE E.C. SHALL BE RESPONSIBLE FOR ALL POWER SUPPLIES REQUIRED DUE TO THE NEW DEVICES/APPLIANCES PROVIDED UNDER THIS CONTRACT.
 - E. THE E.C. SHALL FURNISH BATTERY CALCULATIONS WHICH INCORPORATE ALL EXISTING EQUIPMENT IN ADDITION TO ALL NEW APPLIANCES/DEVICES.
 - F. PROVIDE ALL FIRE ALARM WIRING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - G. ALL FIRE ALARM WIRING SHALL BE INSTALLED IN CONDUIT. ALL CONDUIT SHALL HAVE A RED STRIPE PAINTED EVERY 10'-0". ALL JUNCTION BOXES AND COVERS SHALL BE PAINTED RED. FIRE ALARM RATED "MC" CABLE MAY BE USED WHERE RUN CONCEALED IF ACCEPTABLE TO THE LOCAL FIRE DEPARTMENT.



1 FIRE ALARM & POWER PLAN
FA1 SCALE: 1/16" = 1'-0"

2 FIRE ALARM & POWER PLAN
FA11 SCALE: 1/4" = 1'-0"



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SHEET TITLE
FIRE ALARM & POWER PLAN

REVISIONS

DRAWN: JMA	DATE: 03.29.2024
CHK BY: XX	JOB NO: 23071

FA1.1



- POWER DISTRIBUTION SYSTEM**
- ① JUNCTION BOX, SIZED PER NEC
 - ② MOTOR, "2" DENOTES HORSEPOWER
- LIGHTING CONTROL DEVICES**
- Sa SINGLE POLE TOGGLE SWITCH; SUBSCRIPT INDICATES LIGHTING FIXTURE CONTROL.
- KEYED SHEET NOTES**
- ① PROVIDE 120V POWER SOURCE AND CONNECTION TO AUTOMATIC DOOR ACTUATOR. PROVIDE BRANCH CIRCUIT WIRING IN 1/2" ABOVE CEILING.
 - ② PROVIDE LEGEND 500 SERIES SURFACE MOUNTED RACEWAY FOR WIRING FROM DOOR ACTUATOR TO CEILING. COORDINATE ROUTING IN FIELD. COLOR SHALL BE SELECTED BY ARCHITECT.
 - ③ PROVIDE LEGEND 500 SERIES SURFACE MOUNTED SINGLE GANG DEVICE BOX FOR DOOR ACTUATOR PUSH PLATE. COORDINATE NECESSARY BOX DEPTH (") WITH PUSH PLATE SPECIFICATIONS.
 - ④ PROVIDE 20A/1P SWITCH FOR NEW EXHAUST FAN.



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SHEET TITLE
 ELECTRICAL
 POWER PLAN

REVISIONS

DRAWN DD **DATE** 04.05.2024
CHK BY DC **JOB NO.** 23071

E1.1

SHEET OF

E1.1 ELECTRICAL POWER PLAN
 SCALE: 1/16"=1'-0"