

# TOWN OF EAST GREENWICH



## SWIFT COMMUNITY CENTER EXPANSION

121 PEIRCE STREET  
EAST GREENWICH RI 02818

### PROJECT LOCATION MAPS

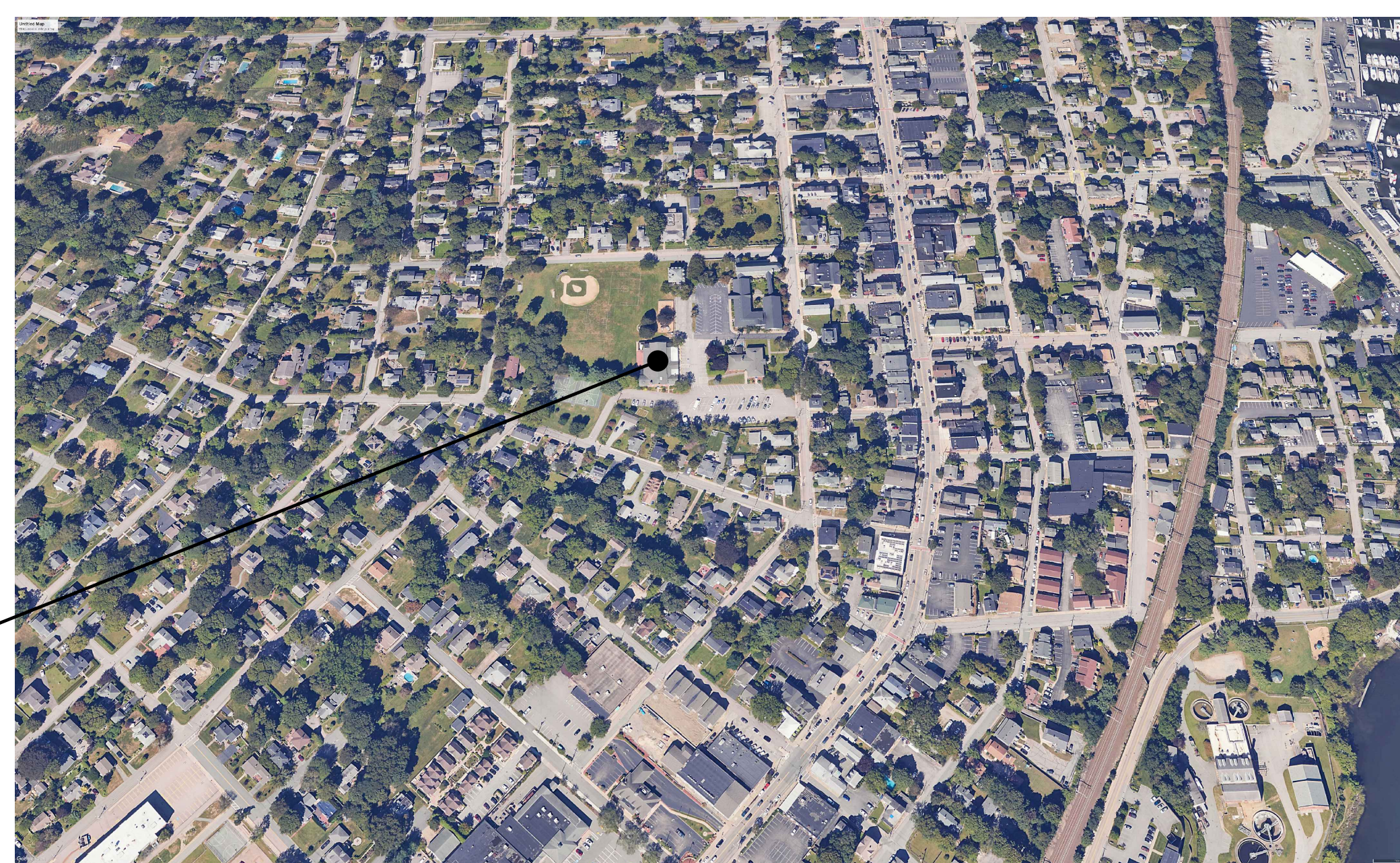


LOCATION MAP

PROJECT LOCATION  
SWIFT COMMUNITY CENTER  
121 PEIRCE STREET  
EAST GREENWICH RI 02818

SWIFT COMMUNITY CENTER

SITE



AREA MAP



SITE MAP

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MECHANICAL	
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MD101	MECHANICAL DEMOLITION PLAN
M-101	MECHANICAL NEW WORK PLAN
M-201	MECHANICAL PIPING PLAN
M-500	MECHANICAL SCHEDULES
PLUMBING	
P-000	PLUMBING PLAN



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ARCHITECT / ENGINEER SEAL

PROJECT  
TOWN OF EAST GREENWICH  
SWIFT COMMUNITY CENTER EXPANSION  
SWIFT COMMUNITY CENTER  
121 PEIRCE STREET  
EAST GREENWICH RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
COVER SHEET

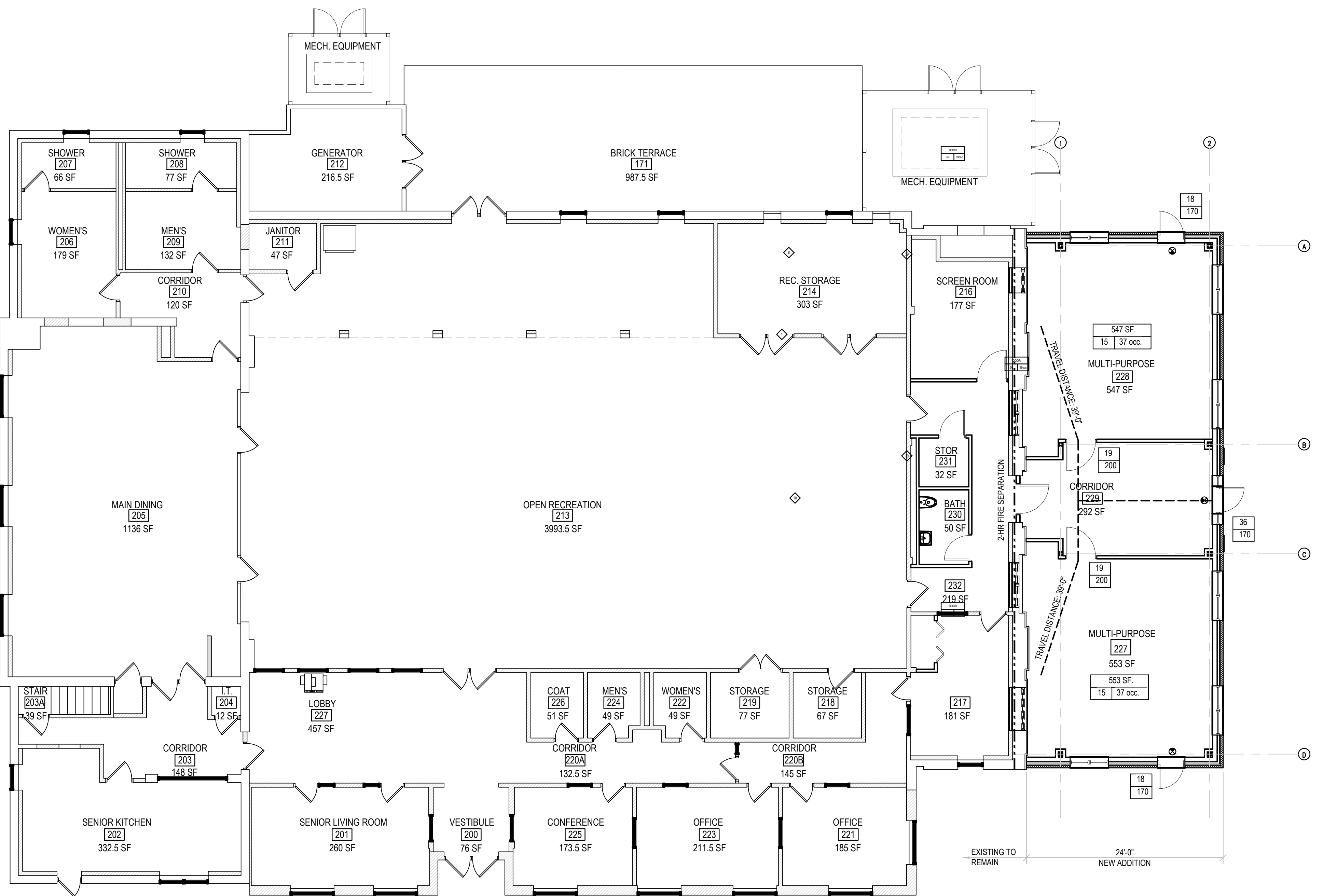
ISSUED FOR  
BID  
NOVEMBER 6, 2024

DRAWN CB	CHKD PC	PROJECT NO. 24065
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SHEET NO.  
**G-000**

11/15/2024, 2:17 PM

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**1** FIRST FLOOR - CODE REVIEW PLAN  
 GC-000 SCALE: 1/8" = 1'-0"

**CODE INFORMATION**

**1. APPLICABLE CODES AND STANDARDS**

**BUILDING CODES**  
 SBC-1 RHODE ISLAND STATE BUILDING CODE IBC 2018 AMENDED  
 SBC-3 RHODE ISLAND STATE PLUMBING CODE IPC 2018 AMENDED  
 SBC-4 RHODE ISLAND STATE MECHANICAL CODE IMC 2018 AMENDED  
 SBC-5 RHODE ISLAND STATE ELECTRICAL CODE NFPA 70 2020 AMENDED  
 SBC-8 RHODE ISLAND STATE ENERGY CONSERVATION CODE IECC 2018 AMENDED  
**FIRE CODES**  
 RHODE ISLAND FIRE SAFETY CODE SECTIONS 1-6  
 RHODE ISLAND FIRE LAWS CHAPTERS 23-28.1  
 RULES & REGULATIONS PROMULGATED BY THE BOARD OF APPEALS & REVIEW SECTIONS 1 THRU 15  
 RHODE ISLAND FIRE CODE NFPA 1-2018 PLUS RI AMENDMENTS  
 RHODE ISLAND LIFE SAFETY CODE NFPA 101-2018 AMENDED  
**ACCESSIBILITY REGULATIONS**  
 SBC-1 RHODE ISLAND STATE BUILDING CODE CHAPTER 11  
 ICC/ANSI A117.1 2009 PLUS RI AMENDMENTS  
 AMERICANS WITH DISABILITIES ACT (ADA 2010)

**2. OCCUPANCY CLASSIFICATION AND USE**

RISBC B-BUSINESS  
 NFPA 101 CHAPTER 38 New Business

**3. SPECIAL OCCUPANCY AND USE (IF APPLICABLE)**

ELEVATOR SAFETY CODE (260-RICR-30-10-1)

**4. BUILDING HEIGHT AND AREA**

**BUILDING HEIGHT**  
 ALLOWABLE BUILDING HEIGHT IN FEET OCCUPANCY B 55 FT  
 ACTUAL BUILDING HEIGHT 18'-0" ADDITION, 31'-0" FT EXISTING  
 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLAN OCCUPANCY BNS 3 STORIES  
 ACTUAL NUMBER OF STORIES 1 STORY AND PARTIAL BASEMENT  
**BUILDING AREA**  
 ALLOWABLE AREA IN SQUARE FEET OCCUPANCY, BNS 23,000 SF  
 ACTUAL BUILDING AREA FIRST FLOOR EXISTING 10,100 SF ADDITION 1,400 SF  
 BASEMENT EXISTING 2,700 SF TOTAL EXISTING 12,800 SF  
 TOTAL EXISTING 12,800 SF ADDITION 1,400 SF TOTAL 14,200 SF

THE ADDITION WILL BE SEPARATED FROM THE EXISTING BUILDING BY A 2-HOUR FIRE RESISTANCE RATED FIRE FIRE BARRIER. EACH SIDE OF THE FIRE BARRIER WILL BE PROVIDED WITH ITS REQUIRED MEANS OF EGRESS. RE: PLAN OF ACTION PREPARED BY JENSEN HUGHES DATED OCTOBER 18, 2024.

**5. TYPES OF CONSTRUCTION**

CONSTRUCTION TYPE:	IBC 602 & TABLE 601	TYPE I/II	IF (000)
NFPA 101, TABLE A.8.2.1.2			
BUILDING ELEMENT	IBC 2018		LSC NFPA 101, 2018
PRIMARY STRUCTURAL FRAME	0		0
BEARING WALLS	0		0
EXTERIOR	0		0
INTERIOR	0		0
NONBEARING WALLS	0		0
EXTERIOR	0		0
INTERIOR	0		0
FLOOR CONSTRUCTION	0		0
ROOF CONSTRUCTION	0		0
EGRESS STAIR, 3 STORIES OR LESS	NA		NA
CORRIDOR WALLS	0		NA
EXIT PASSAGE	0		NA
SMOKE BARRIERS	NA		NA

**6. FIRE AND SMOKE PROTECTION**

**FIRE PROTECTION**  
 1. PORTABLE FIRE EXTINGUISHERS  
 2. FIRE ALARM SYSTEM

**7. INTERIOR FINISHES**

**NFPA 101 - CHAPTER 38 NEW BUSINESS OCCUPANCY**  
 EXITS CLASS A OR CLASS B  
 OTHER THAN EXITS CLASS A, B, OR C  
 INTERIOR FLOOR FINISH  
 IN EXIT ENCLOSURES CLASS I OR II

**8. MEANS OF EGRESS**

**OCCUPANT LOAD FACTORS** IBC TABLE 1004.1.2  
 ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT RM. 300 GSF  
 ASSEMBLY WITHOUT FIXED SEATS CONCENTRATED (CHAIRS ONLY - NOT FIXED) 7 NSF  
 STANDING SPACE 5 NSF  
 UNCONCENTRATED (TABLES AND CHAIRS) 15 NSF  
 BUSINESS AREAS 150 GSF  
 STORAGE, STOCK, SHIPPING 300 GSF

**OCCUPANT LOAD SUMMARY**

CODE CAPACITY (ACTUAL SF/OCCUPANT LOAD PER IBC)	BUSINESS (ADDITION)	TOTAL
74 OCCUPANTS	74 OCCUPANTS	74 OCCUPANTS

**NUMBER OF EXITS**

IBC TABLE 1006.3.2 2 EXITS  
 NFPA 101, 7.4.1.1 2 EXITS

**EGRESS CAPACITY FACTORS**

**STAIRWAYS**  
 IBC TABLE 1005.3.1 0.3" PER OCCUPANT  
 NFPA 101 TABLE 7.3.3.1 0.3" PER OCCUPANT  
**DOORS**  
 IBC TABLE 1005.3.2 0.2" PER OCCUPANT  
 NFPA 101 TABLE 7.3.3.1 0.2" PER OCCUPANT

**EGRESS WIDTH LIMITATIONS**

**DOORS**  
 IBC 1010.1.1 32" MIN / 48" MAX  
 NFPA 101, 7.2.1.2.3.1 32" MIN / 48" MAX  
**STAIRS**  
 IBC 1034.2 44" MIN / 36" (CL -<50)  
 NFPA 101, 7.2.2.2.1.2 44" MIN / 36" (CL -<50)  
 NFPA 101

**PATH OF EGRESS LIMITATIONS & EDUCATION**

**DEAD END LIMIT**  
 IBC TABLE 1020.2 GROUP B 44" MIN.  
 NFPA 101 38.2.3.2 44 INCHES  
 NFPA 101, 38.2.5.2.2 20'  
**COMMON PATH OF TRAVEL**  
 IBC TABLE 1006.2.1.4 75'  
 NFPA 101, 38.2.5.3.3 75'  
**MAXIMUM TRAVEL DISTANCE**  
 IBC TABLE 1017.2 200'  
 NFPA 101, 38.2.6.3 200'

**9. ACCESSIBILITY**

ACCESSIBLE MEANS OF EGRESS (IBC 1009)  
 ACCESSIBLE ROUTE (IBC 1104)

**10. STRUCTURAL LOADS**

RISK CATEGORY III (EMERGENCY SHELTER)  
 SBC-1 TABLE 1608.1 WIND SPEED = 136 MPH  
 SNOW LOAD = 30 PSF (RE: STRUCTURAL DRAWINGS)  
 IMPACT RESISTANT GLAZING IS REQUIRED

**11. ENERGY EFFICIENCY (CLIMATE ZONE 5)**

OPAQUE THERMAL REQUIREMENTS	REQUIRED	PROVIDED
ROOFS		
INSULATION ENTIRELY ABOVE DECK	R-30ci	R-30ci
WALLS, ABOVE GRADE		
MASS	R-11.4ci	R-26ci
METAL FRAMED	R-13 + R-13ci	
WALLS, BELOW GRADE	R-7.5ci	NA
SLAB-ON-GRADE FLOORS		
UNHEATED SLABS	R-10 FOR 24" BELOW	R-10 FOR 24" BELOW
OPAQUE DOORS		
SWINGING	U-0.37	R-13 + R-13ci

**FENESTRATION ASSEMBLY REQUIREMENTS** REQUIRED PROVIDED  
 U-0.38 U-0.38  
 FRAMING MATERIAL OTHER THAN METAL METAL FRAMING W/ OR W/O THERMAL BREAK  
 ENTRANCE DOOR ALL OTHER (OPERABLE & FIXED WINDOWS, AND NON-ENTRANCE DOORS)

**SHGC** ALL FRAME TYPES  
 SHGC: PF=0.2 U-0.40  
 SHGC: 0.24+PF=0.5 U-1.2  
 SHGC: PF=0.5 U-1.6

**WALL RATING LEGEND**

2-HR RATED PARTITION  
 NOTES:  
 1. ALL WALLS EXTEND TO UNDERSIDE OF DECK, U.N.O.  
 2. FIRE STOP AND SEAL, ALL FIRE RATED PARTITION WALLS AT DECK AND ALL PENETRATIONS, JOINTS, VOIDS, AND OPENINGS.  
 3. ALL DOORS IN FIRE RATED PARTITIONS TO BE SELF-CLOSING OR AUTOMATIC CLOSING IN ACCORDANCE WITH NFPA 101. REFER TO DOOR AND HARDWARE SCHEDULE.

**SYMBOLS LEGEND**

LOAD FACTOR: # SF = AREA TOTAL OCCUPANTS  
 # SF = ACTUAL OCCUPANT LOAD OF EGRESS COMPONENT  
 ALLOWABLE OCCUPANT LOAD OF EGRESS COMPONENT  
 EXIT SIGN

**OCCUPANCY DESIGNATIONS LEGEND**

BUSINESS  
 ASSEMBLY  
 ACCESSORY STORAGE



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 ARCHITECT / ENGINEER SEAL

PROJECT  
 TOWN OF EAST GREENWICH  
 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
 121 PERCE STREET  
 EAST GREENWICH, RI 02818

**REVISIONS**

MARK	DESCRIPTION	DATE

SHEET TITLE

CODE REVIEW

ISSUED FOR  
 BID  
 NOVEMBER 6, 2024

DRAWN - CHKD - PROJECT NO. 24065

SHEET NO.

GC-00

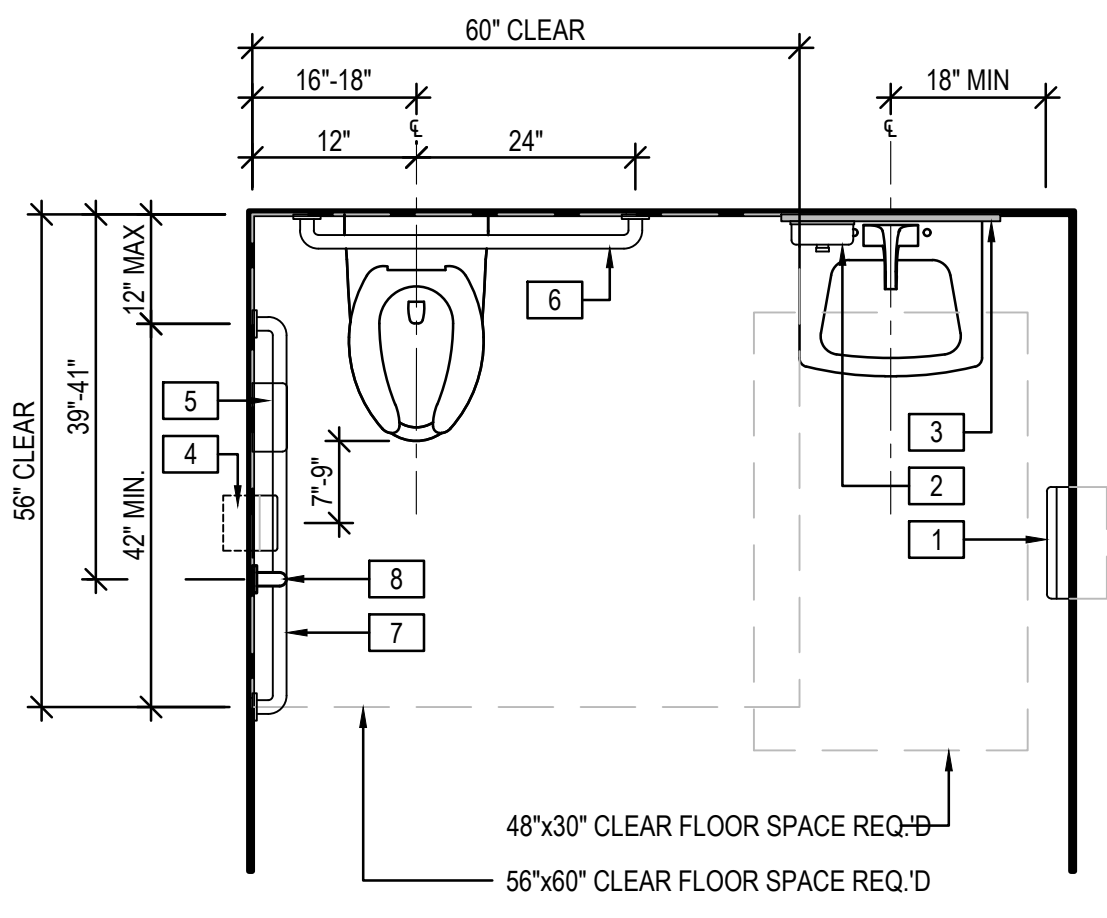


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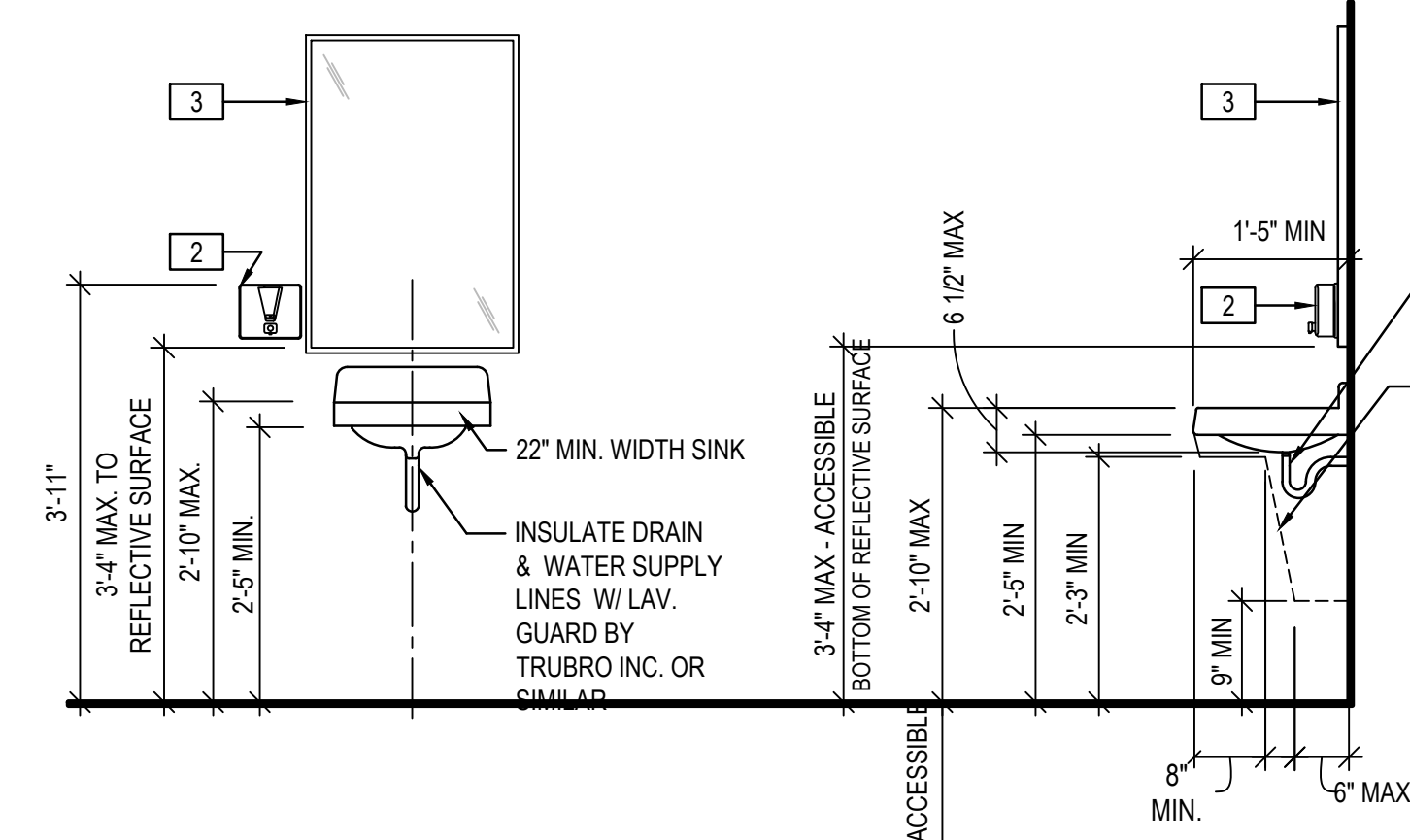
TOILET ACCESSORY SCHEDULE	
TAG	DESCRIPTION
1	ADA COMPLIANT RECESSED COMBINATION TRASH / PAPER TOWEL DISPENSER
2	SOAP DISPENSER
3	S.S. CHANNEL FRAME 24"x36" MIRROR
4	TOILET TISSUE DISPENSER
5	SANITARY NAPKIN RECEPTACLE (ADULT WOMENS AND UNISEX TLT. RM. ONLY)
6	1 1/2" O.D. 42" GRAB BAR
7	1 1/2" O.D. 36" GRAB BAR
8	1 1/2" O.D. 18" VERTICAL GRAB BAR

**GENERAL NOTES:**

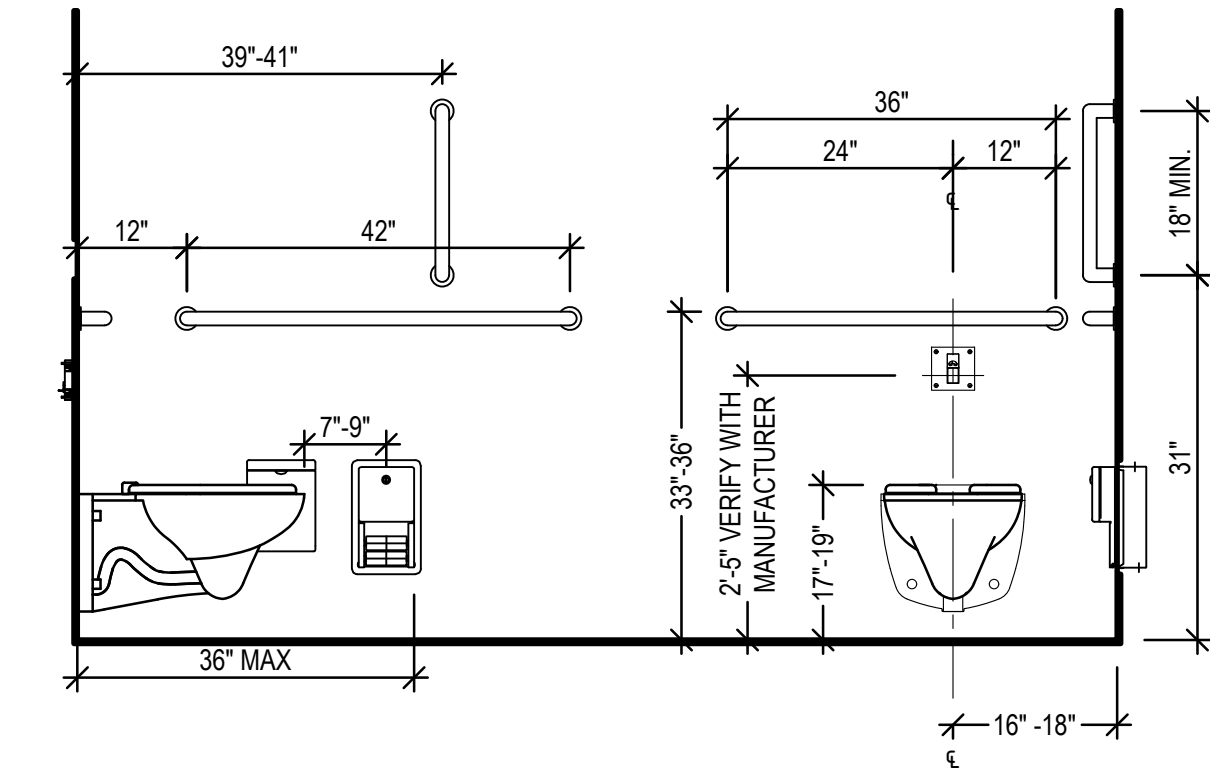
- CONTRACTOR TO FURNISH & INSTALL WOOD BLOCKING FOR ALL ACCESSORIES PER MANUFACTURER'S REQUIREMENTS.
- ALL DIMENSIONS ARE TAKEN FROM FINISH FLOOR.
- HEIGHTS OF ACCESSORIES AND FIXTURES DROP PER AGE GROUP. SEE AGE GROUP HEIGHTS AND ADJUST AS REQ'D.



**HC TOILET PLAN**



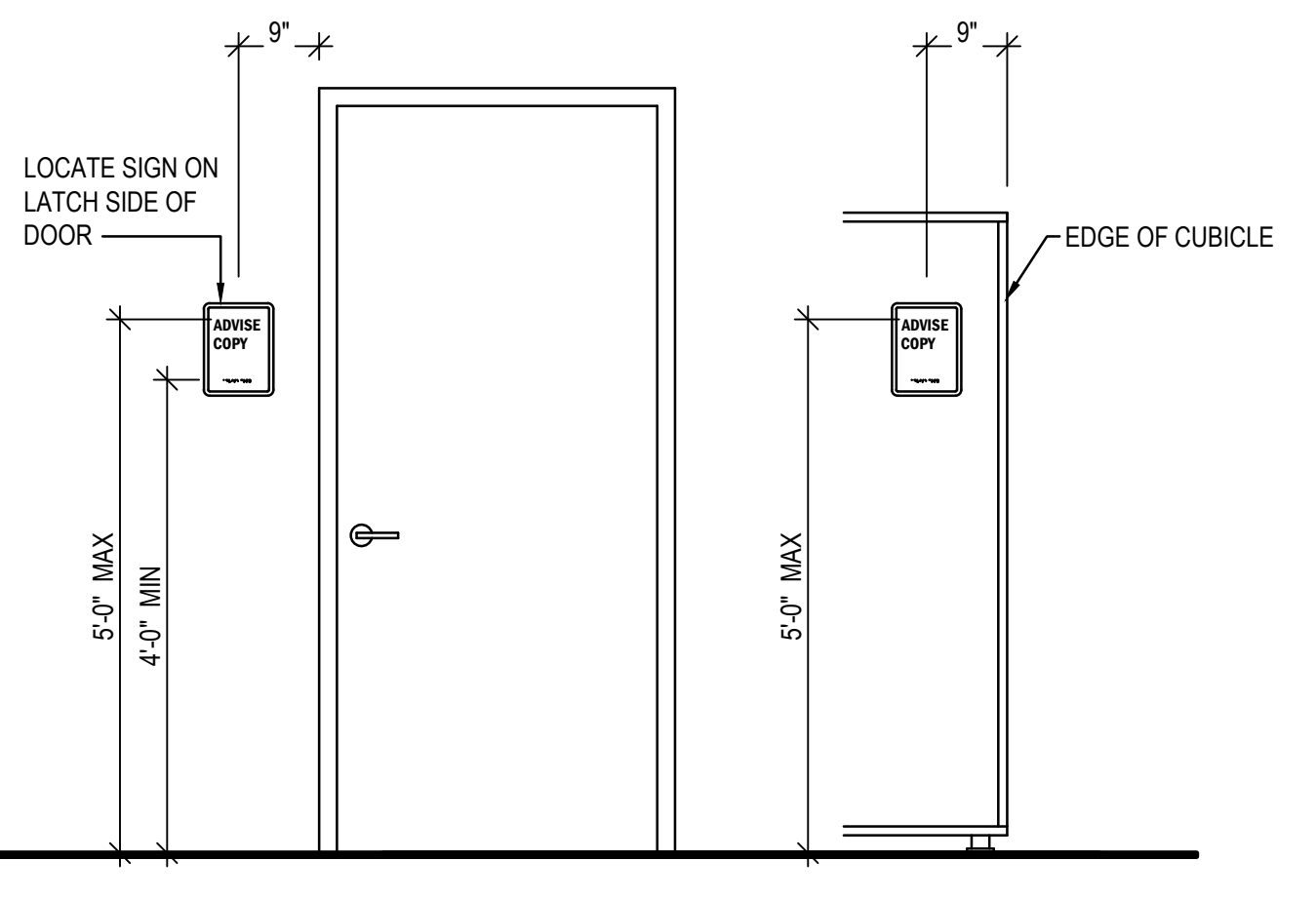
**TYP. LAV./MIRROR ELEVATION LAVATORY**



**HC TOILET STALL LAYOUT**

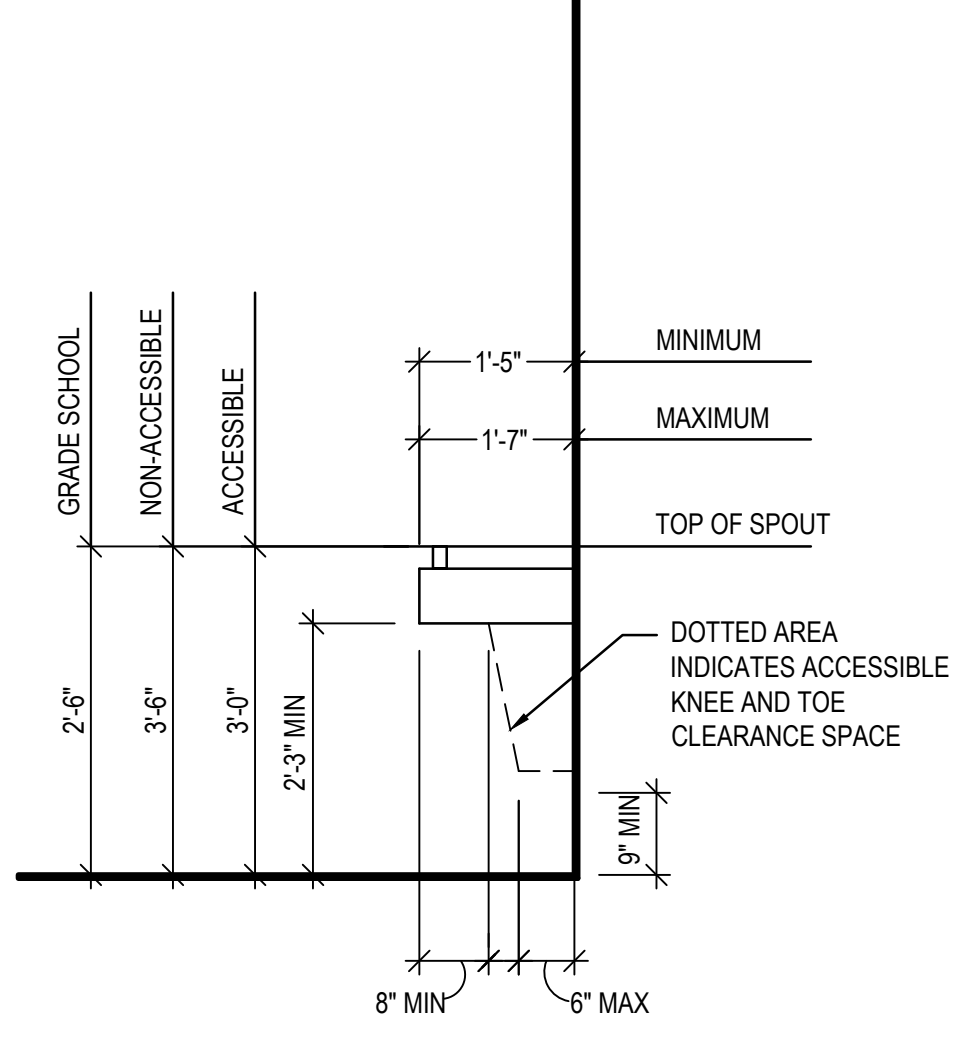
**TYPICAL TOILET ROOM MOUNTING HEIGHTS**

SCALE: N.T.S.



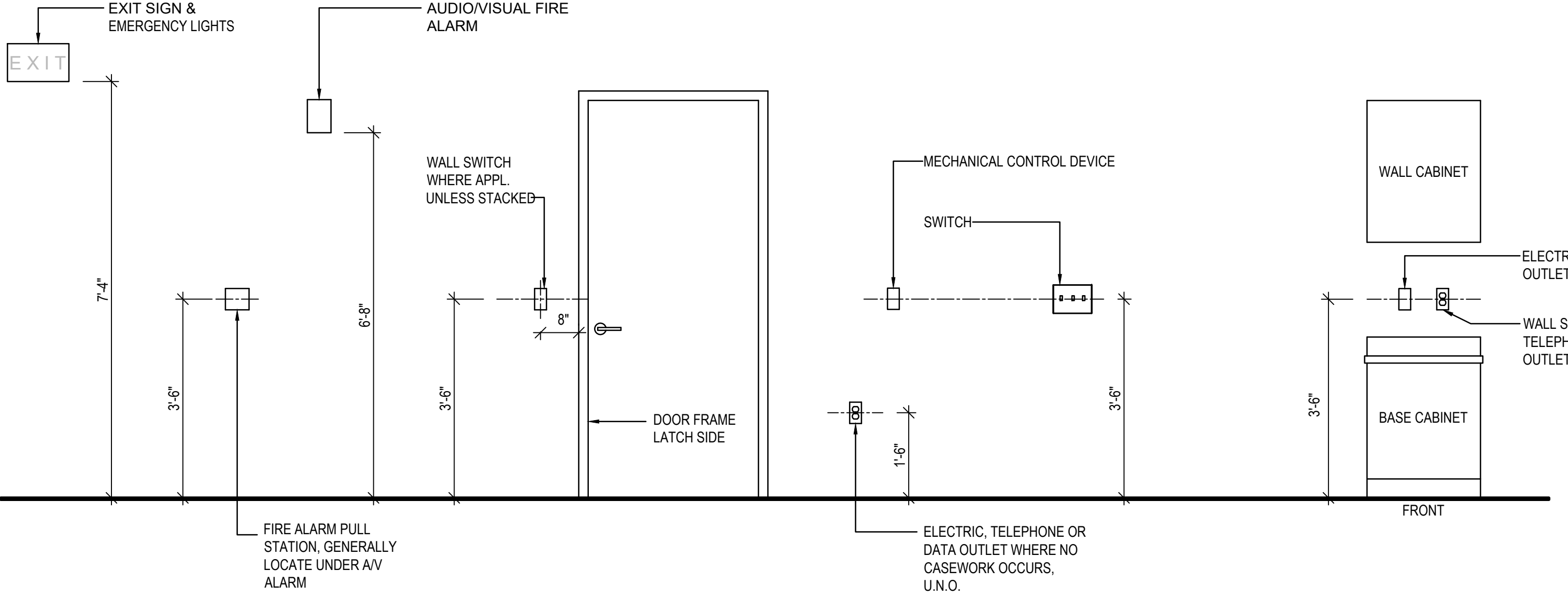
**ROOM AND SPACE SIGNAGE**

SCALE: N.T.S.



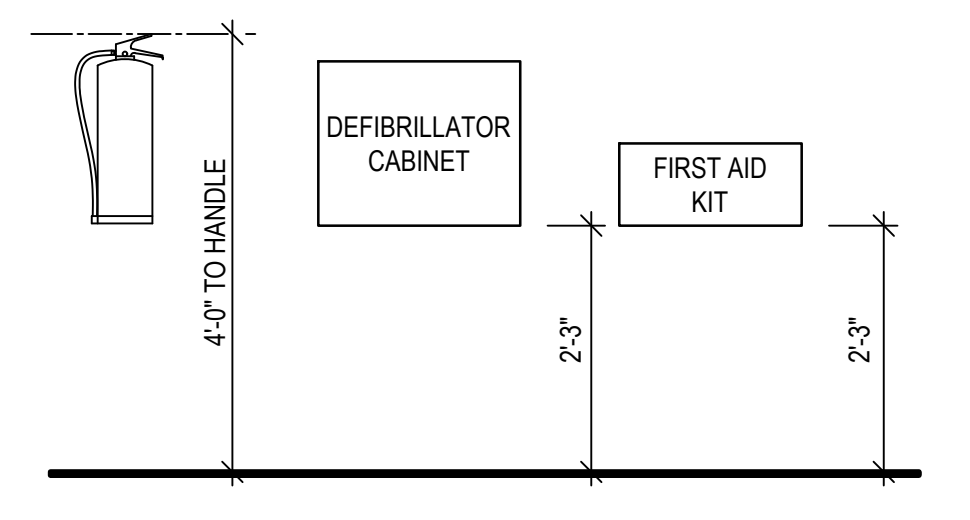
**WATER COOLER**

SCALE: N.T.S.



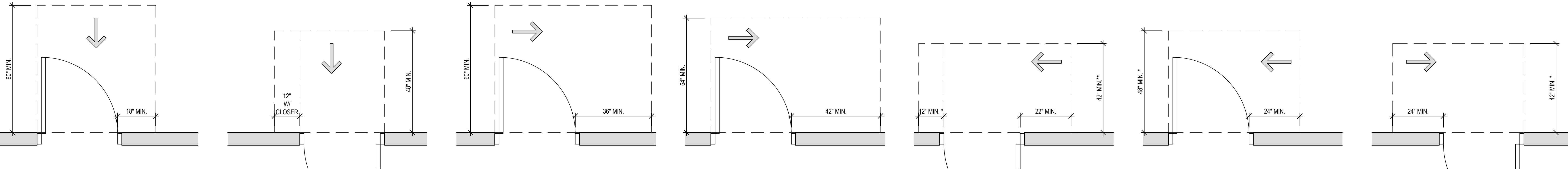
**ELECTRICAL DEVICE MOUNTING HEIGHTS**

SCALE: N.T.S.



**FIRE EXTINGUISHER AND FIRST AID**

SCALE: N.T.S.



**TYPICAL DOOR SWING CLEARANCE REQUIREMENTS**

SCALE: 1/2" = 1'-0"

**STUDIO JAED**  
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TOWN OF EAST GREENWICH  
 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
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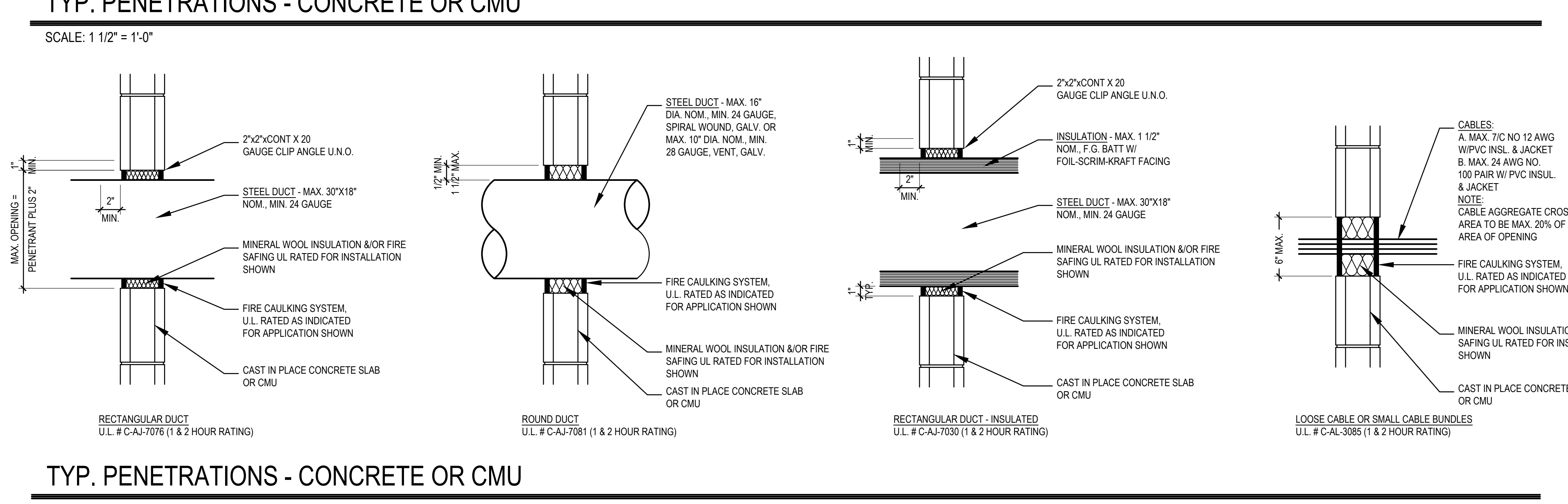
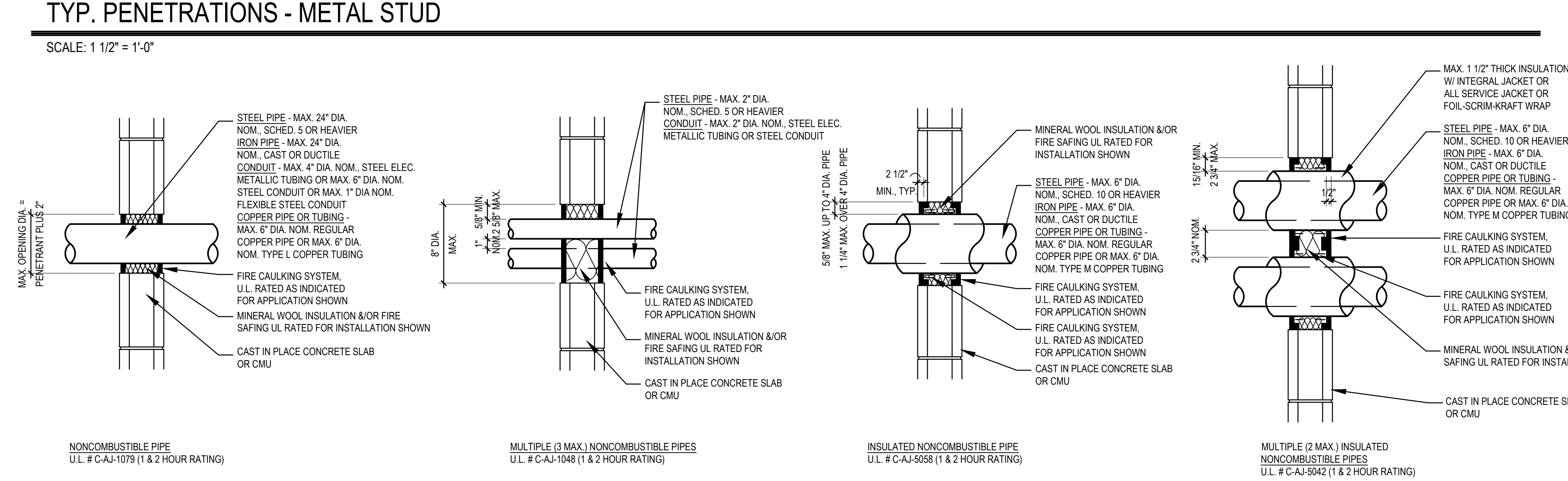
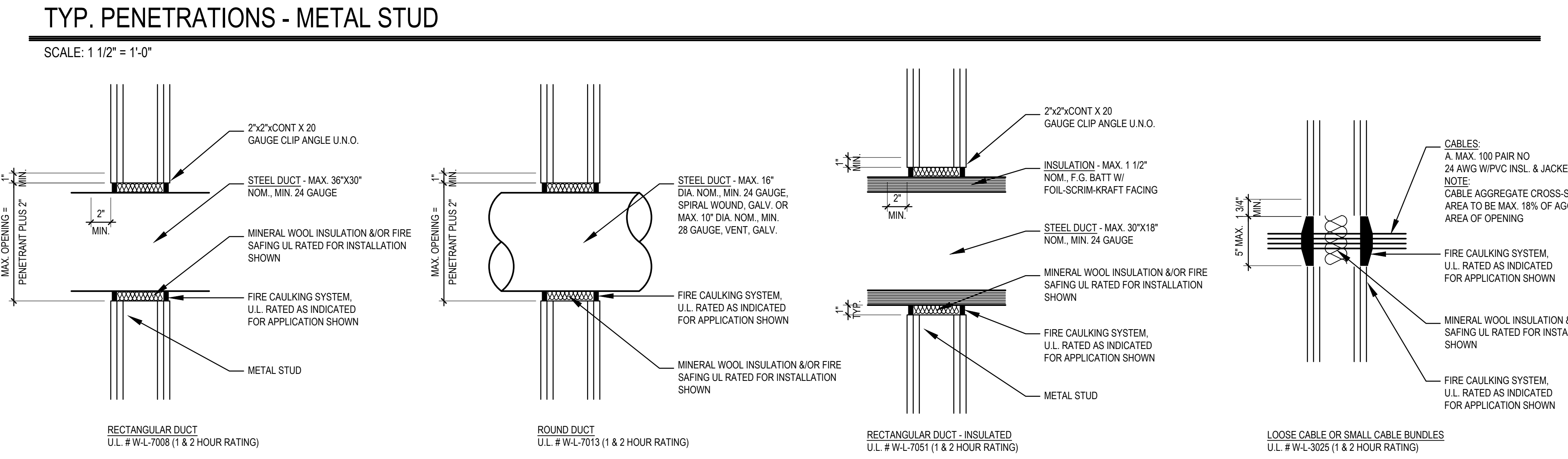
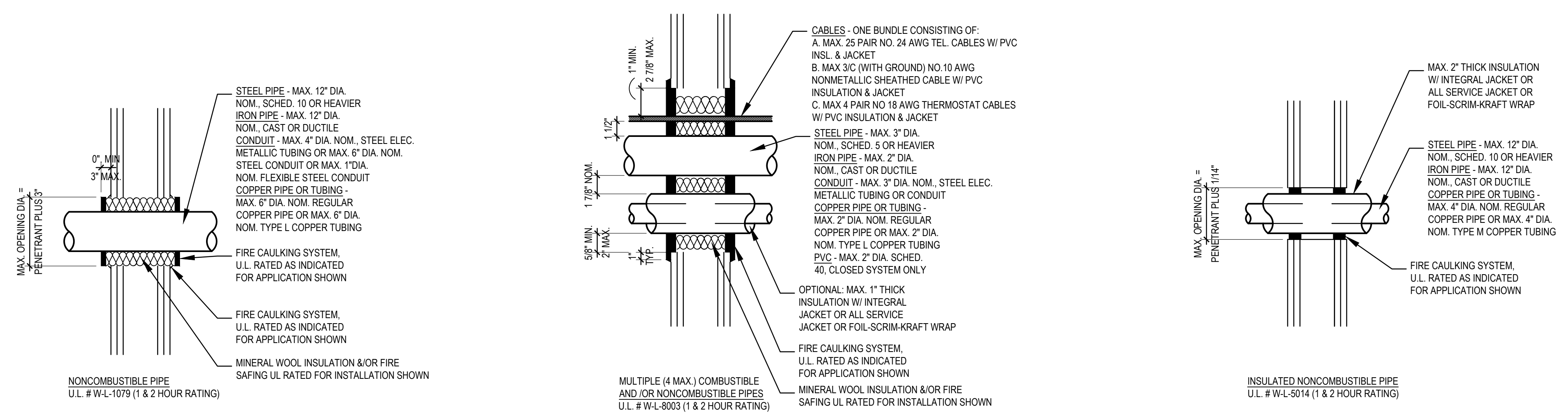
SHEET TITLE  
**TYPICAL MOUNTING HEIGHTS**

ISSUED FOR  
 BID  
 NOVEMBER 6, 2024

DRAWN	CHK'D	PROJECT NO.
CB	PC	24065

SHEET NO.  
**G-003**

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ARCHITECT / ENGINEER SEAL

PROJECT

TOWN OF EAST GREENWICH

SWIFT COMMUNITY CENTER EXPANSION

SWIFT COMMUNITY CENTER

121 PERCE STREET

EAST GREENWICH RI 02818

REVISIONS

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THE RECORDS OF THESE PLANS BE MADE BY THE CONTRACTOR AND SUBMITTALS BY THE ARCHITECT. THE RECORDS OF THESE PLANS BE MADE BY THE CONTRACTOR AND SUBMITTALS BY THE ARCHITECT. THE RECORDS OF THESE PLANS BE MADE BY THE CONTRACTOR AND SUBMITTALS BY THE ARCHITECT. THE RECORDS OF THESE PLANS BE MADE BY THE CONTRACTOR AND SUBMITTALS BY THE ARCHITECT. THE RECORDS OF THESE PLANS BE MADE BY THE CONTRACTOR AND SUBMITTALS BY THE ARCHITECT.

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ARCHITECT / ENGINEER SEAL

TOWN OF EAST GREENWICH SWIFT COMMUNITY CENTER ADDITIONS AT THE 121 PEIRCE STREET EAST GREENWICH, RI 02818

GENERAL CONSTRUCTION NOTES:

- 1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2. SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS FROM THE TOWN OF EAST GREENWICH HAVE BEEN SECURED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS OBTAINED FOR SITE WORK.
3. ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINE (ADAAG)'...

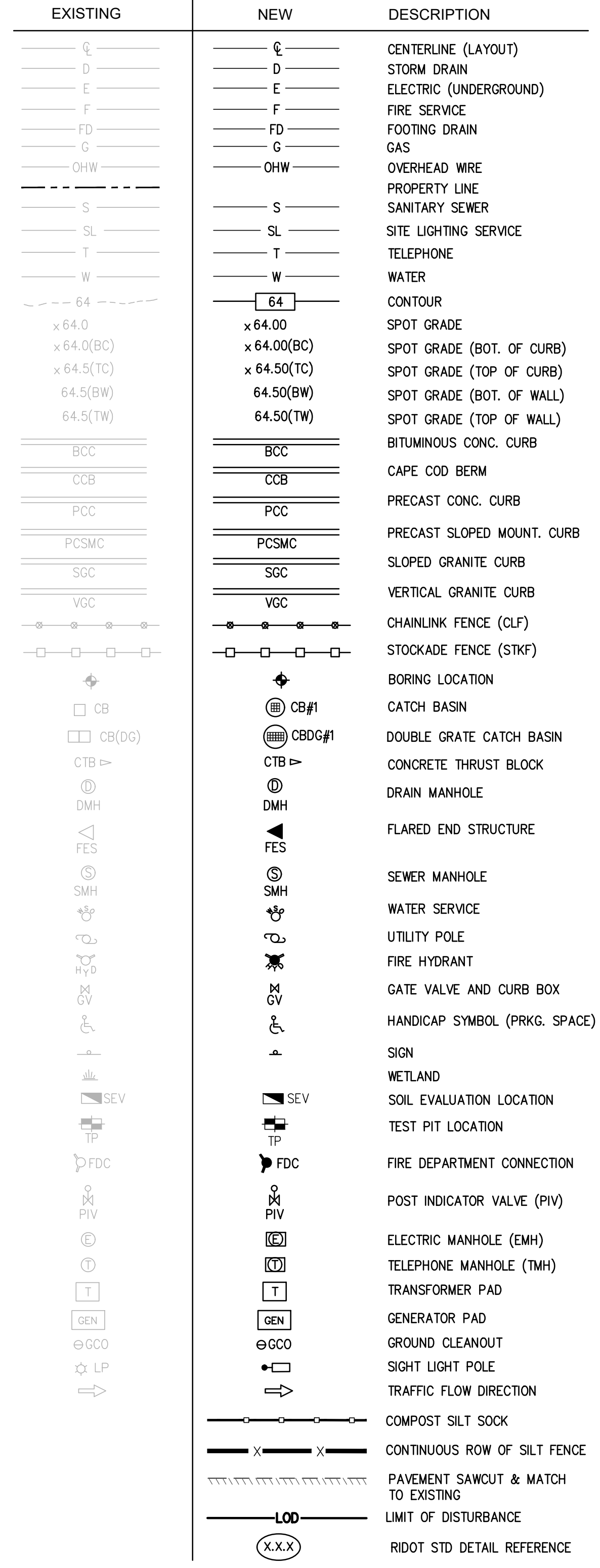
GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.

GENERAL DRAINAGE & GRADING NOTES:

- 1. THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
2. ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

SITE LEGEND



STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

- 1. SILT BARRIER: MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
2. PAVED AREAS: PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

- 1. PAVED AREAS: PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
2. CATCH BASINS / AREA DRAINS: ALL CATCH BASINS / AREA DRAINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATINGS ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE.

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- 1. THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
2. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
3. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.

ABBREVIATIONS

Table with columns for abbreviations and their corresponding descriptions: CI CAST IRON PIPE, CLDI CEMENT LINED DUCTILE IRON PIPE, CLF CHAINLINK FENCE, D.I. DUCTILE IRON PIPE, EX. EXISTING, F&I FURNISH AND INSTALL, INV. INVERT ELEVATION, LOD LIMIT OF DISTURBANCE, MTE MATCH TO EXISTING, NIC NOT IN CONTRACT, NTS NOT TO SCALE, PVC POLYVINYL CHLORIDE PIPE, RCP REINFORCED CONCRETE PIPE

SURVEY REFERENCE :

- 1. THE EXISTING CONDITIONS INDICATED HEREIN IS TAKEN FOR PLAN TITLE "EXISTING CONDITIONS AND TOPOGRAPHY SURVEY" FOR SWIFT GYM, AP. 85-1, PORTION LOT 297 SITUATED ON 121 PEIRCE STREET, EAST GREENWICH, RI. PREPARED BY STUDIO JAED. PREPARED BY GAROFALO & ASSOCIATES, INC. JOB NUMBER# 7512-00. DWG: 7512-00-ECS. DATED: JUNE, 2024.

REVISIONS

Table with columns: Mark, Date, Description. Multiple empty rows for revisions.

SHEET TITLE

GENERAL NOTES & LEGEND

FOR BID NOV. 6, 2024

Table with columns: DRAWN, CHK'D, PROJECT NO. Values: KJA, SSH, 7512.0

SHEET NO.

C-1

**SHEET NOTES:**  
 1. SEE SHEET C-1 FOR GENERAL NOTES & LEGEND.



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ARCHITECT / ENGINEER SEAL

TOWN OF EAST GREENWICH  
 SWIFT COMMUNITY CENTER  
 ADDITIONS  
 AT THE  
 121 PEIRCE STREET  
 EAST GREENWICH, RI 02818

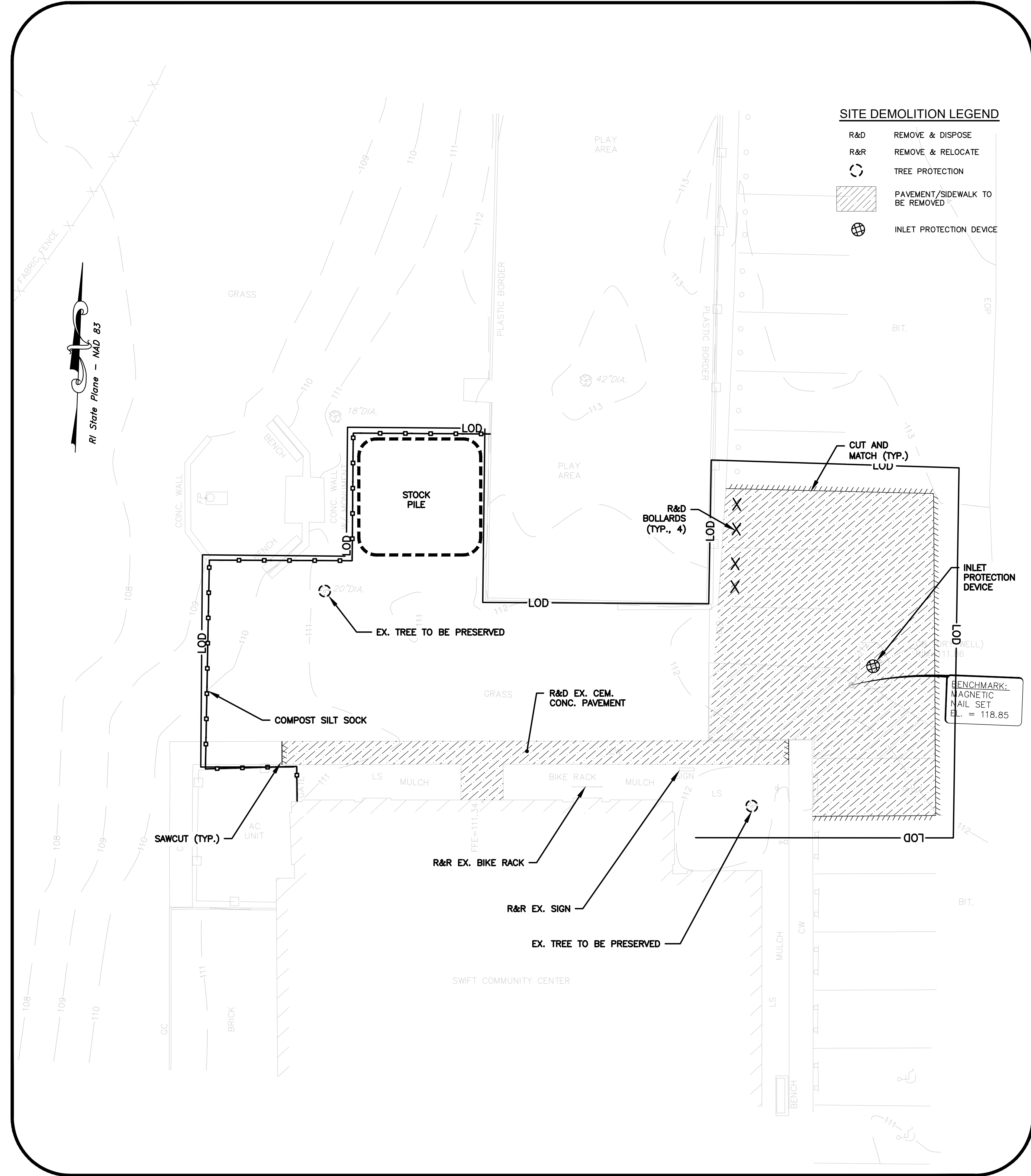
REVISIONS

Mark	Date	Description

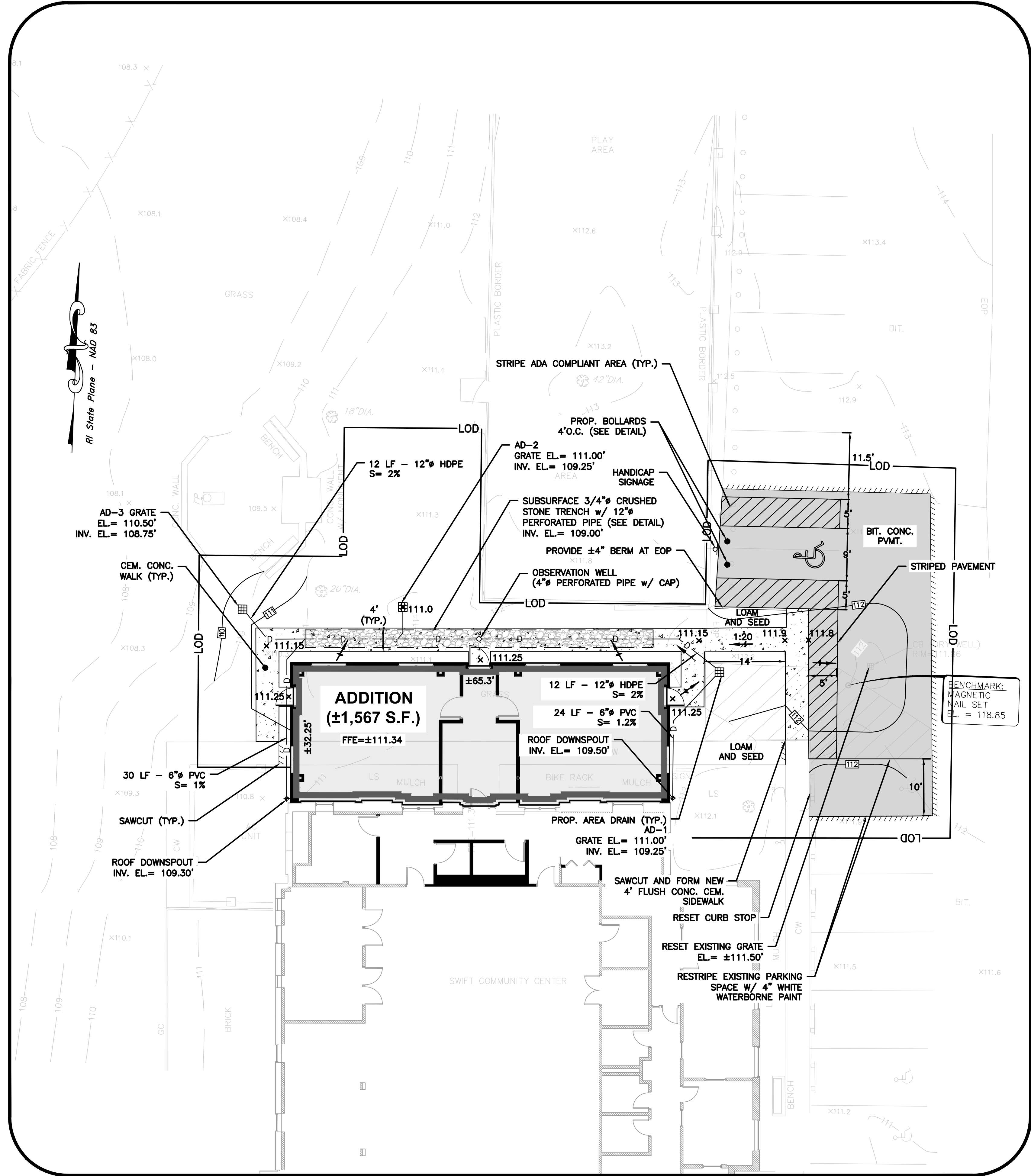
SHEET TITLE  
**DEMOLITION, SITE LAYOUT & GRADING PLAN**

FOR BID  
 NOV. 6, 2024  
 DRAWN: KJA  
 CHKD: SSH  
 PROJECT NO.: 7512.0

SHEET NO.  
**C-2**



**DEMOLITION PLAN**  
 SCALE: 1"=10'

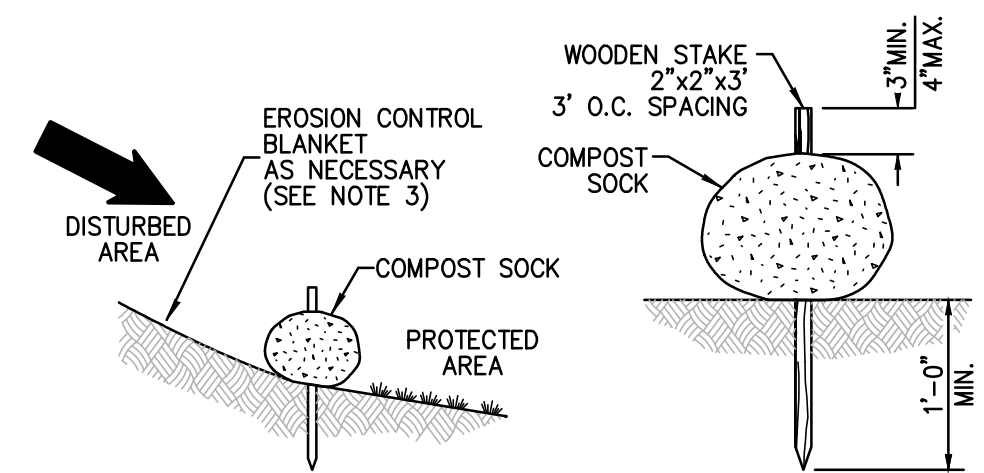


**SITE LAYOUT / GRADING PLAN**  
 SCALE: 1"=10'



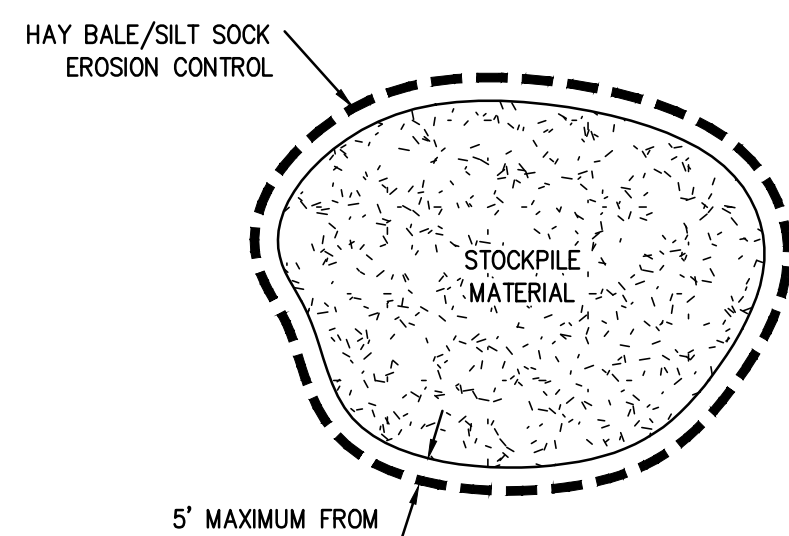
THE RECORDS OF THESE PLANS OR ANY PART THEREOF OR ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STUDIO JAED AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STUDIO JAED. THE RECORDS OF THESE PLANS OR ANY PART THEREOF OR ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STUDIO JAED AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STUDIO JAED.

THE DRAWING OF THESE PLANS IS THE PROPERTY OF STUDIO JAED AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF STUDIO JAED. THE USER OF THESE PLANS IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THESE PLANS IS TO BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION ON WHICH THESE PLANS ARE BASED. THE USER OF THESE PLANS IS TO BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION ON WHICH THESE PLANS ARE BASED. THE USER OF THESE PLANS IS TO BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AND INFORMATION ON WHICH THESE PLANS ARE BASED.

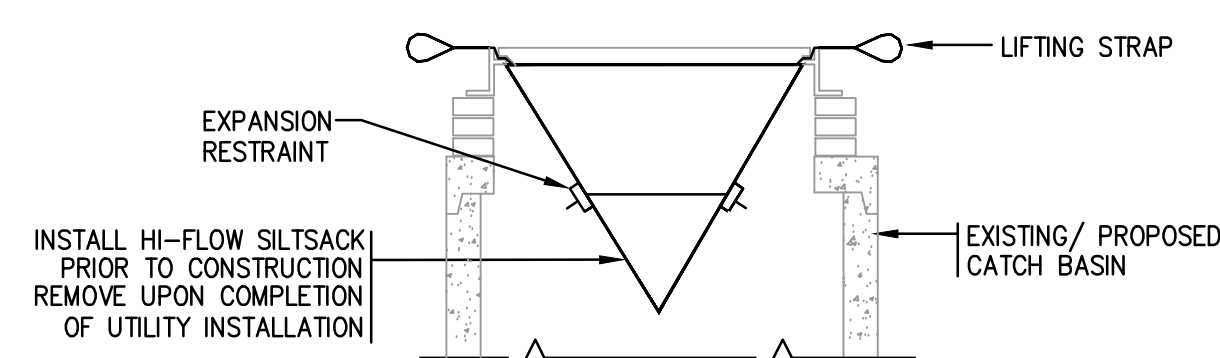


- NOTES:
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
  2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
  4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
  5. REMOVE SEDIMENT FROM THE UP-SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
  6. WHERE COMPOST SOCK IS INSTALLED ON PAVEMENT SHALL BE ADEQUATELY HIGH AT 8'-0" O.C. MIN.

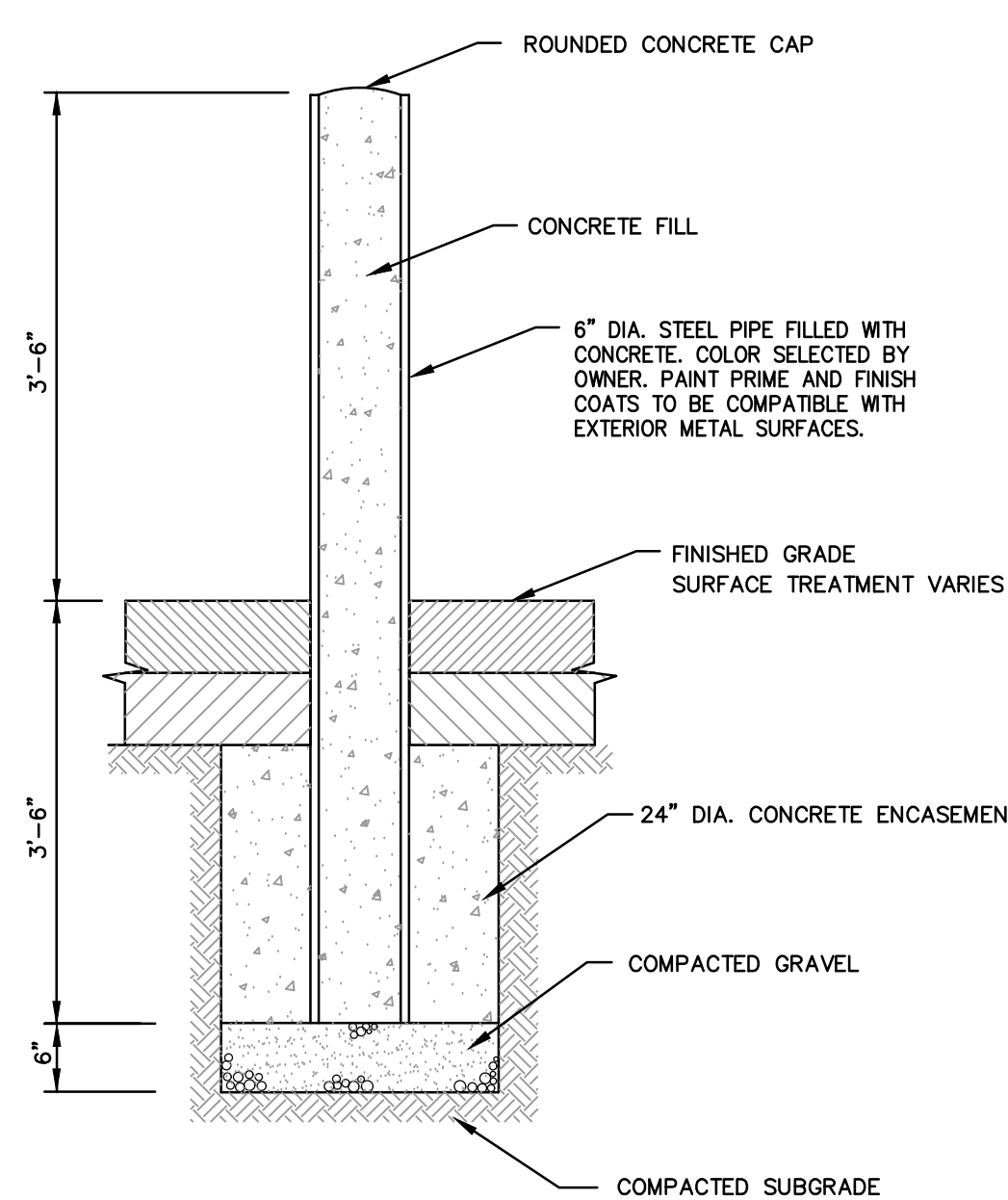
**COMPOST SILT SOCK DETAIL**  
NOT TO SCALE



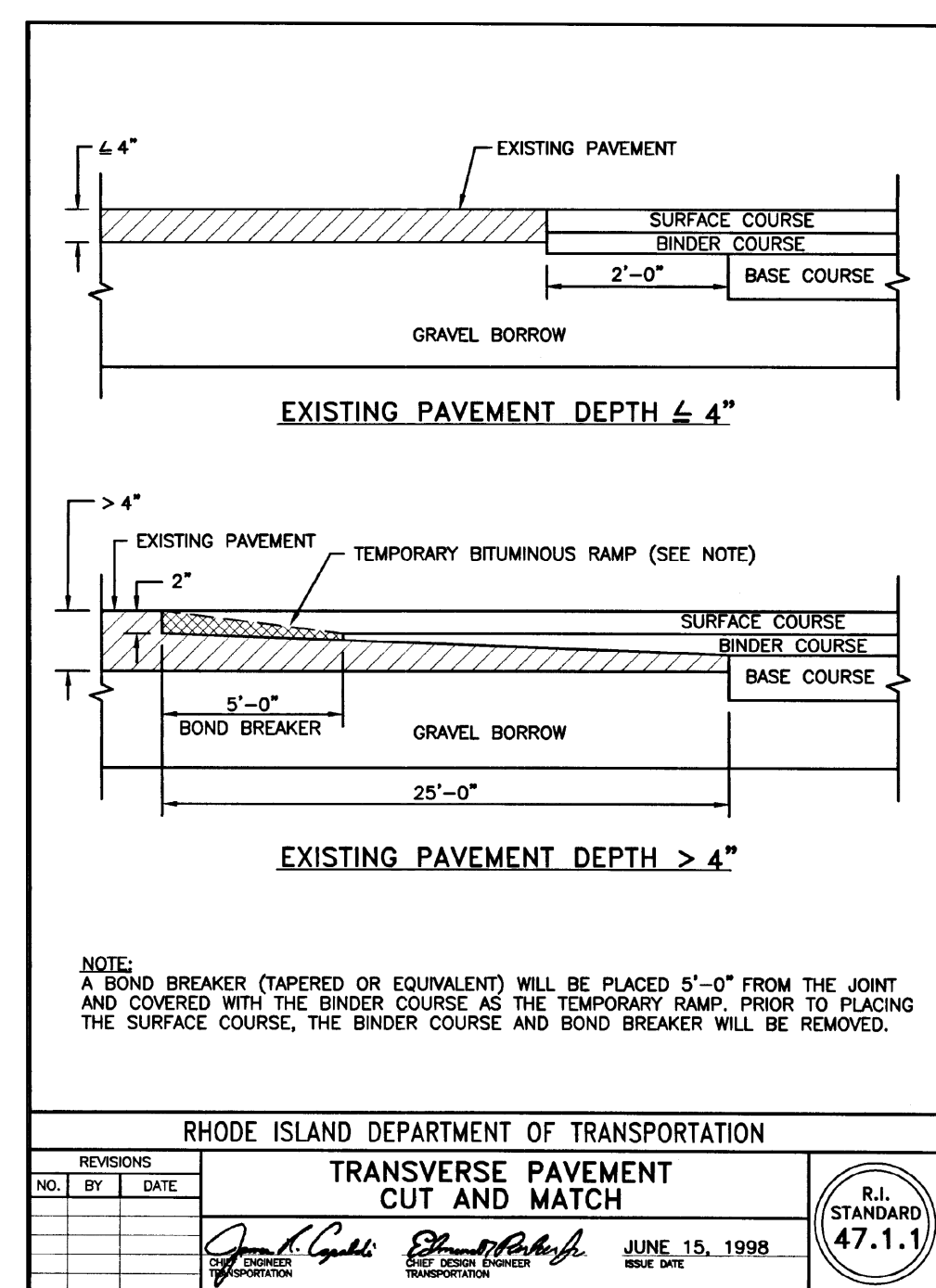
**STOCKPILE DETAIL**  
NOT TO SCALE



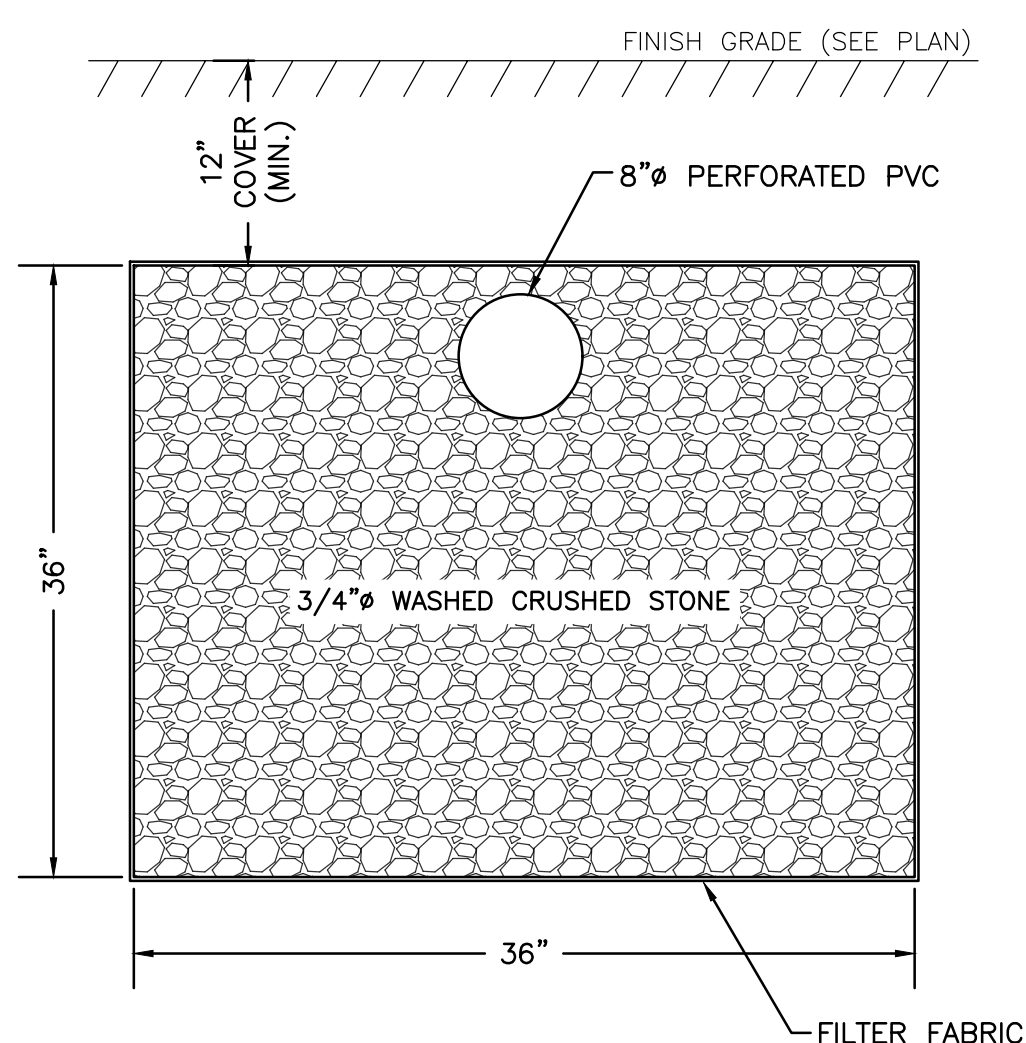
**SILTSACK AT CATCH BASIN**  
NOT TO SCALE



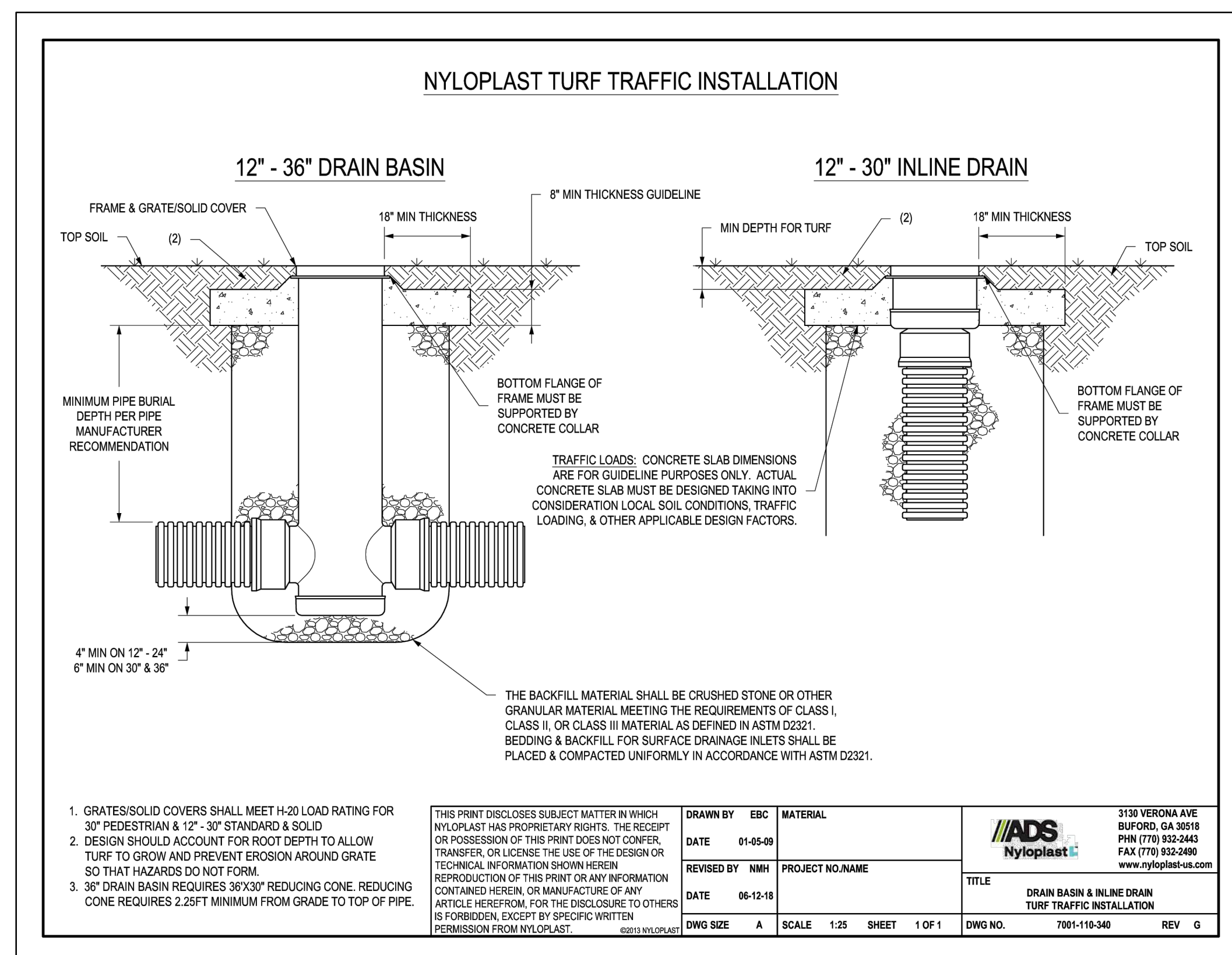
**BOLLARD**  
NOT TO SCALE



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
**TRANSVERSE PAVEMENT CUT AND MATCH**



**STONE TRENCH DETAIL**  
NOT TO SCALE



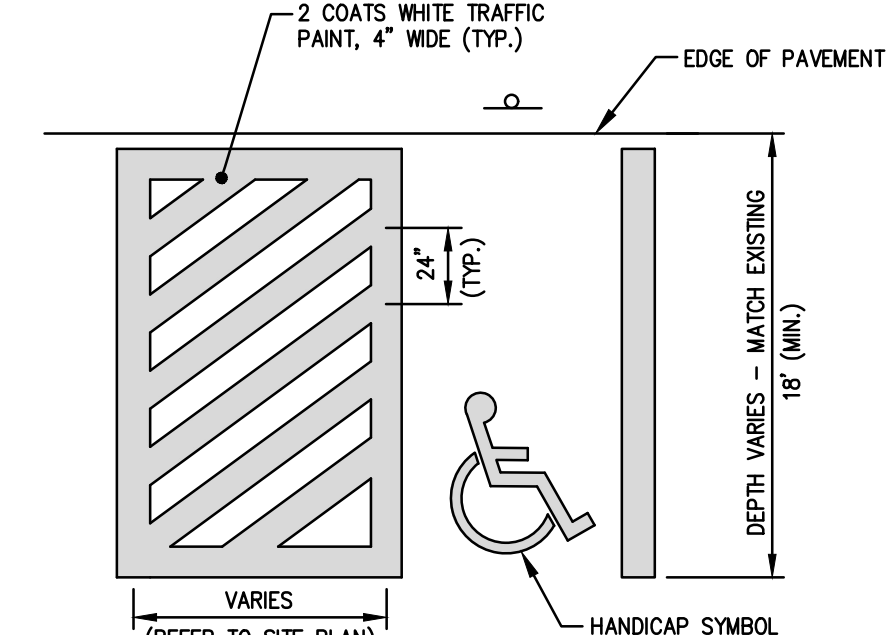
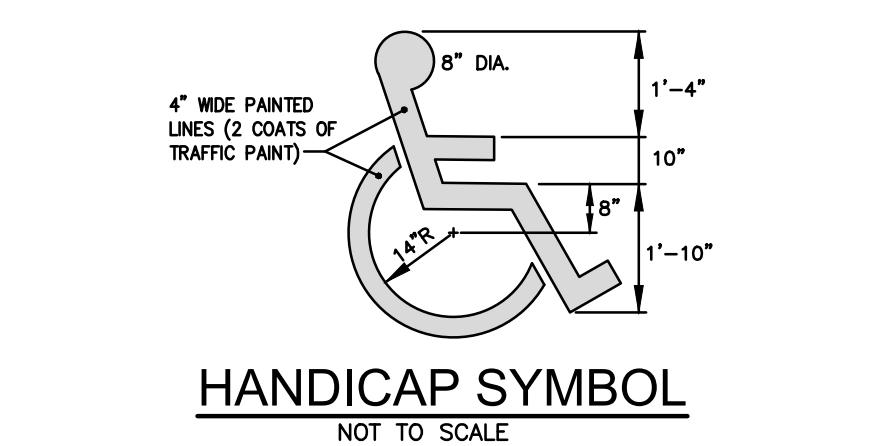
**AREA DRAIN**  
NOT TO SCALE

1. GRATESOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30' PEDESTRIAN & 12' - 30" STANDARD & SOLID	THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE TRANSFER OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.	DRAWN BY: BCB	MATERIAL:	3128 VERNON AVE BURLINGTON, MA 01803
2. DESIGN SHOULD ACCOUNT FOR ROOT DEPTH TO ALLOW TURF TO GROW AND PREVENT EROSION AROUND GRATE SO THAT HAZARDS DO NOT FORM.	REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	DATE: 01-20-09	PROJECT NO. NAME:	801.776.8034 801.776.8034 WWW.NYLOPLAST.COM
3. 30" DRAIN BASIN REQUIRES 3% SLOPE REDUCING CONE. REDUCING CONE REQUIRES 2.25FT MINIMUM FROM GRADE TO TOP OF PIPE.		DATE: 06-10-18	TITLE:	DRAIN BASIN & INLINE DRAIN TURF TRAFFIC INSTALLATION
		DWG NO. 781-110-240	SCALE 1:28	SHEET 1 OF 1

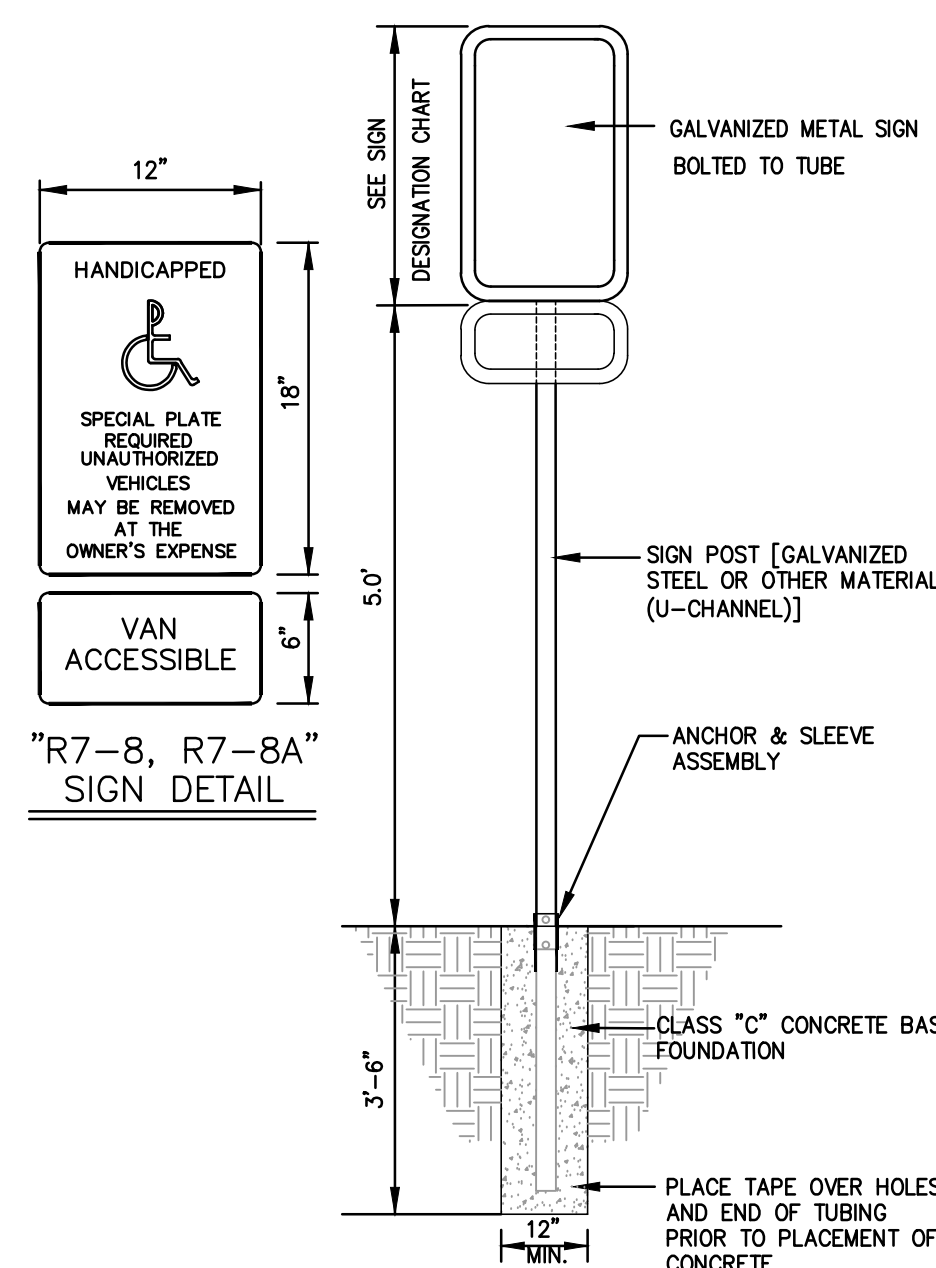
**STONE TRENCH SIZING CALCULATIONS:**

TOTAL STORAGE REQUIRED:  
 PROPOSED ADDITION: 1,567 SF  
 PROPOSED SIDEWALKS: ±500 SF  
 2,067 SF / 12 = 172.25 CU. FT. REQUIRED

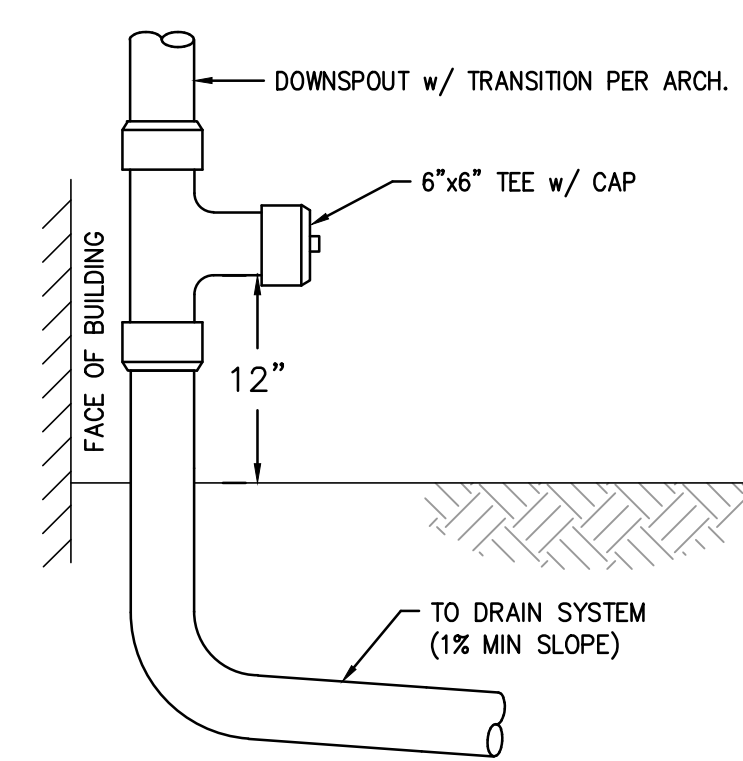
TOTAL STORAGE PROVIDED:  
 LENGTH = 60'  
 WIDTH = 3'  
 HEIGHT = 3'  
 TOTAL STORAGE: 60' x 3' x 3' x 33% (VOIDS) = 180 CU. FT. PROVIDED  
 180 CF > 172 CF O.K.



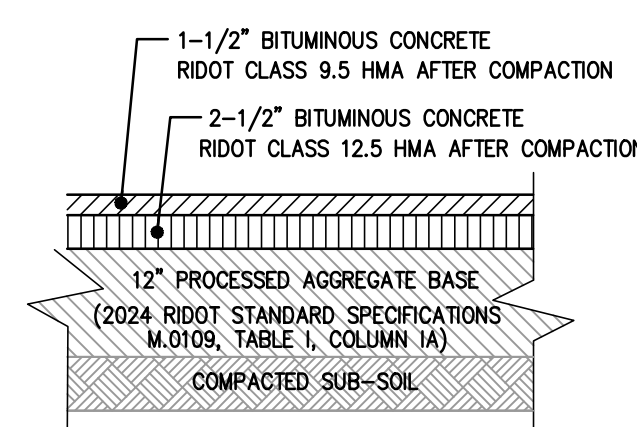
**PAVEMENT STRIPING**  
NOT TO SCALE



**SIGNAGE**  
NOT TO SCALE

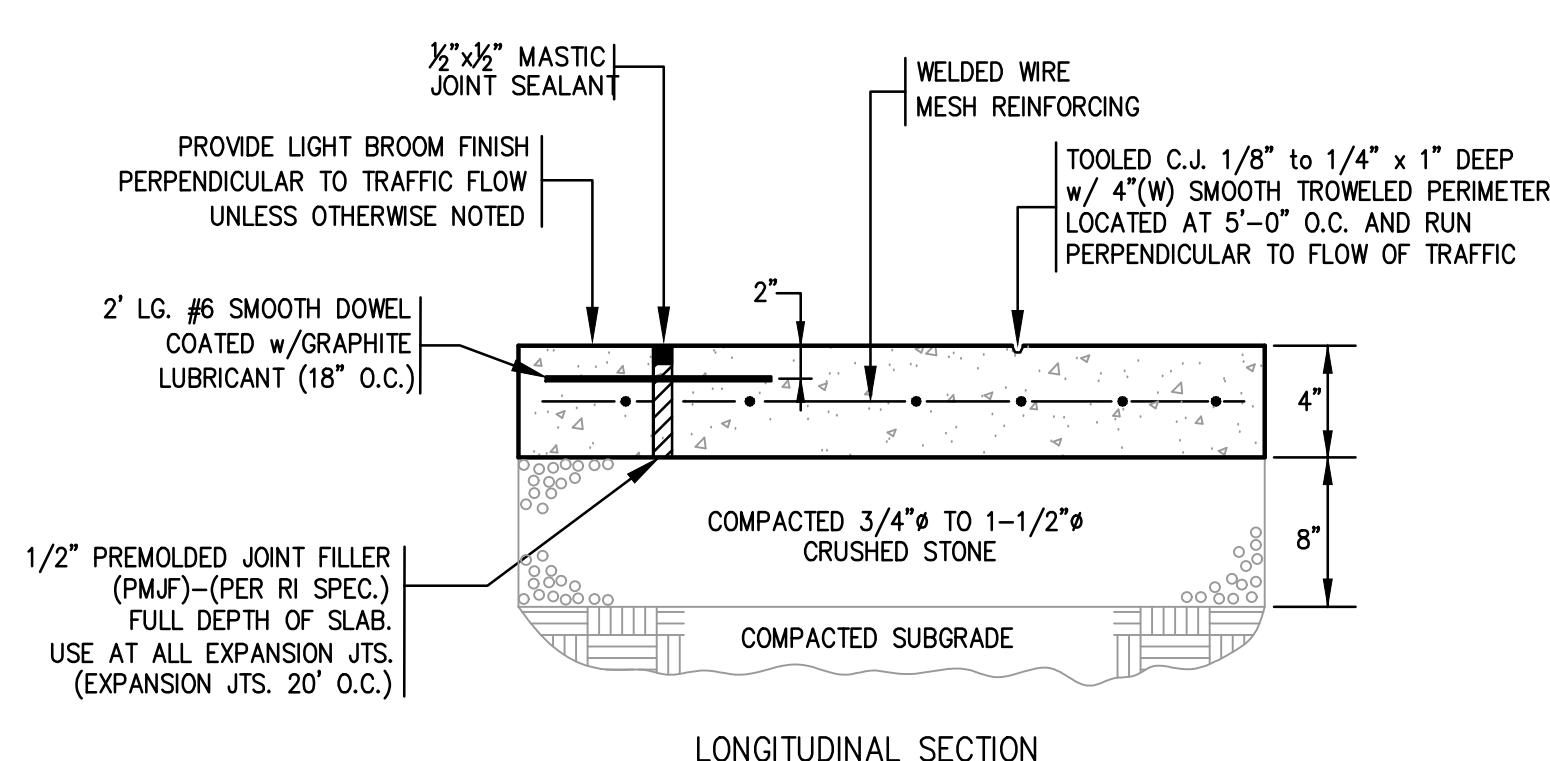


**DOWNSPOUT CONNECTION**  
NOT TO SCALE



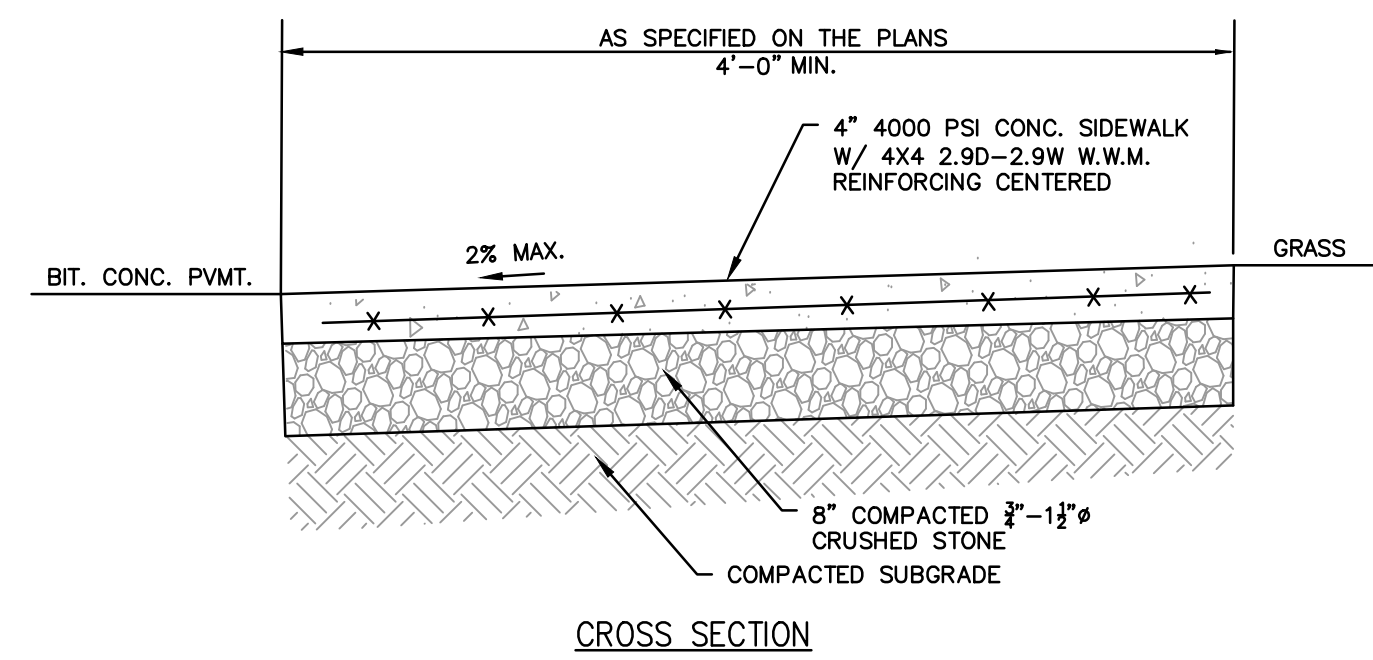
**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE

- NOTES:
1. THE SOIL MUST HAVE A MOISTURE CONTENT DRY OF OPTIMUM AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
  2. THE SOIL CAN BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D1557.
  3. THE SOIL SHALL NOT BE USED IF THE MATERIAL CONTAINS ORGANIC MATTER, RUBBLE, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.



**LONGITUDINAL SECTION**

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**CROSS SECTION**



CONSULTANT

**ARCHITECT & MEP ENGINEER**  
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PROVIDENCE OFFICE  
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PROVIDENCE, RHODE ISLAND 02903  
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ARCHITECT / ENGINEER SEAL

**TOWN OF EAST GREENWICH  
SWIFT COMMUNITY CENTER  
ADDITIONS  
AT THE  
121 PERCE STREET  
EAST GREENWICH, RI 02818**

REVISIONS

Mark	Date	Description

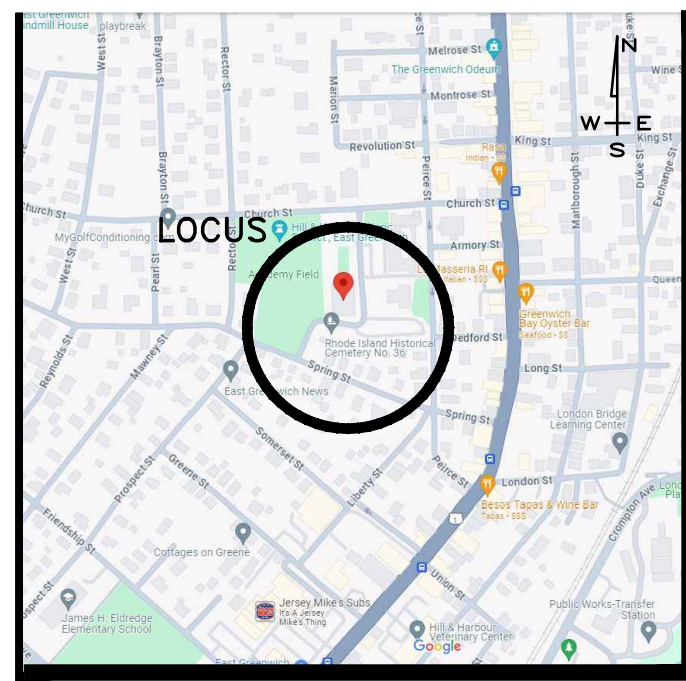
CONSTRUCTION DETAILS

FOR BID  
NOV. 6, 2024

DRAWN BY: KJA  
CHWD: SSS  
PROJECT NO.: 7512.0

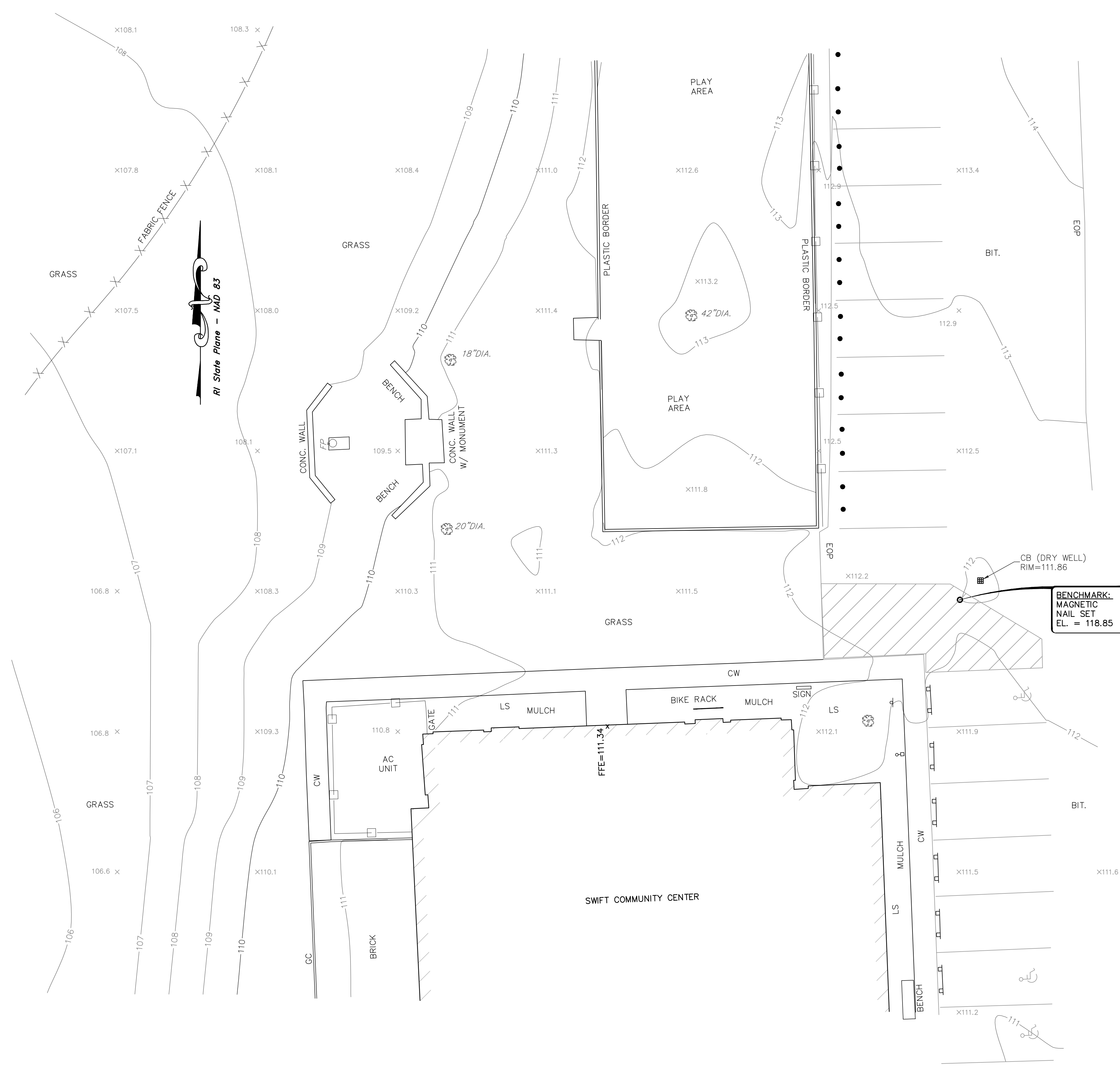
SHEET NO.:  
**C-3**





LOCUS MAP  
N.T.S.

PARCEL DATA
A.P. 85-1, LOT 297 N/F TOWN OF EAST GREENWICH DEED BK. 31 / PG. 11



**NOTES:**

1. THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF EAST GREENWICH, KENT COUNTY, RHODE ISLAND, COMMUNITY MAP NO. 44003C0137H, HAVING AN EFFECTIVE DATE OF SEPTEMBER 18, 2013.
2. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION ☎ 1-888-344-7233)
3. HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83  
VERTICAL DATUM: NAVD 88\*  
\*DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VARIATIONS BETWEEN LOCAL BENCHMARKS MAY APPLY.

BENCHMARK:  
MAGNETIC  
NAIL SET  
E.L. = 118.85  
CB (DRY WELL)  
RIM=111.86

**GENERAL LEGEND  
& ABBREVIATIONS**

- FENCE - FABRICK
- FENCE - STOCKADE
- GUARD RAIL - WOOD
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- DECIDUOUS TREE
- BOLLARD
- CATCH BASIN
- FLAG POLE
- LIGHT POLE
- SIGN
- BIT. BITUMINOUS
- CONC. CONCRETE
- CW CONCRETE WALK
- FFE FINISH FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- GC GRANITE CURB
- x164.5 SPOT GRADE ELEVATION
- w/ WITH

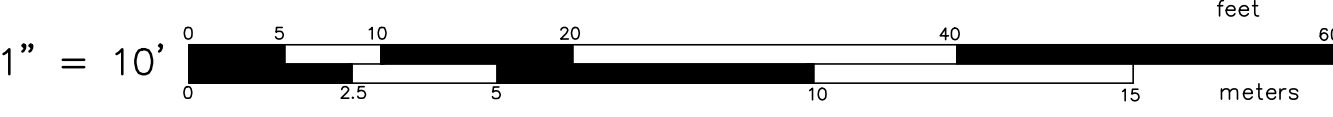
**CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: NOT A BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: CLASS III  
TOPOGRAPHIC SURVEY ACCURACY: CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE AN EXISTING CONDITIONS AND PARTIAL TOPOGRAPHY SURVEY FOR A PORTION OF ASSESSOR'S LOT 297, PLAT 85-1 IN EAST GREENWICH, RHODE ISLAND.

BY: SAMUEL A. WHITE LICENSE NO. 1781  
LS A59-CA



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ARCHITECT / ENGINEER SEAL

TOWN OF EAST GREENWICH  
SWIFT COMMUNITY CENTER  
ADDITIONS  
AT THE  
121 PEIRCE STREET  
EAST GREENWICH, RI 02818

REVISIONS

Mark	Date	Description

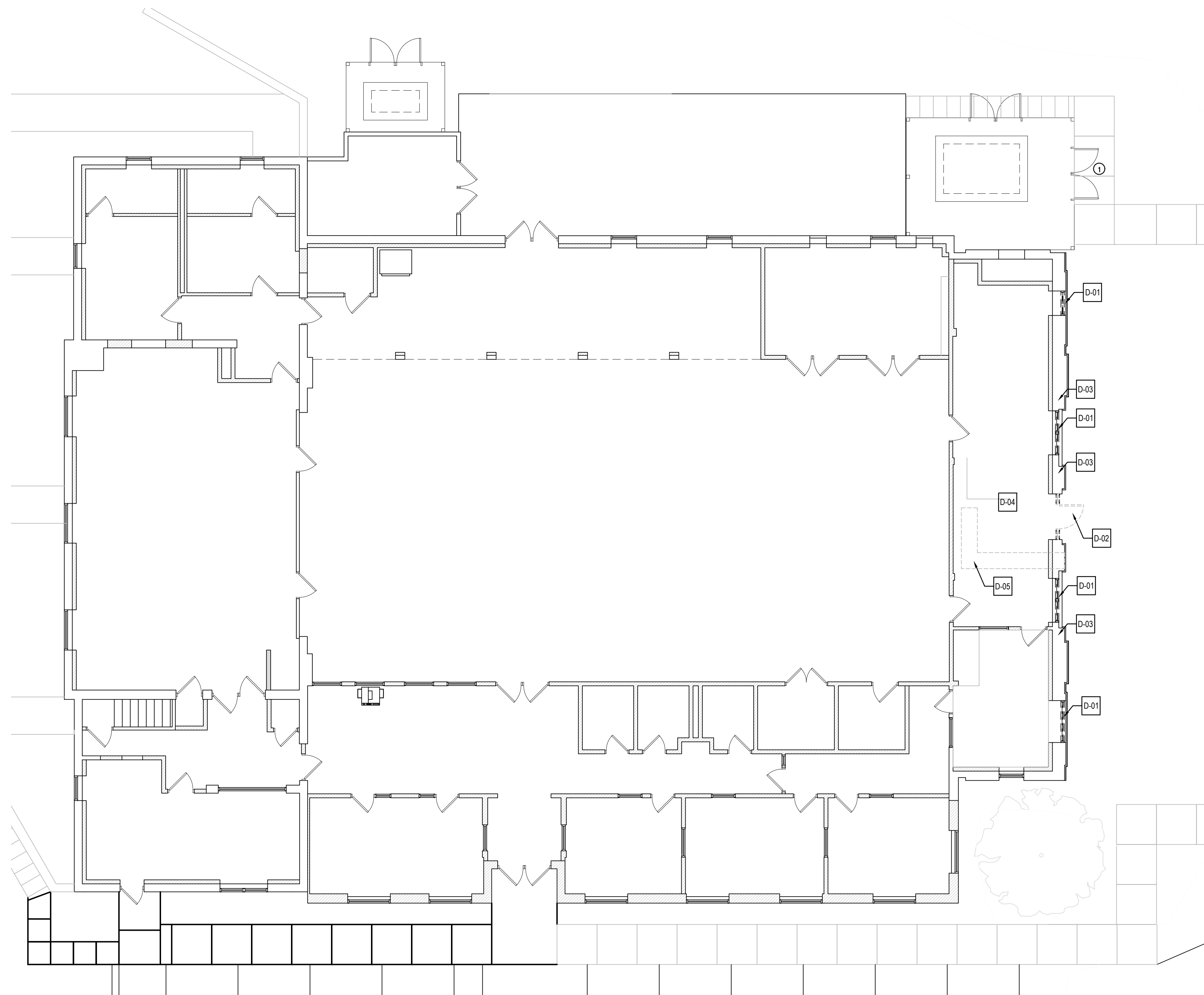
EXISTING  
CONDITIONS AND  
TOPOGRAPHY  
SURVEY

SCHEMATIC DESIGN  
NOV. 1, 2024

DRAWN: LFA CHKD: SAW PROJECT NO. 7512.0

SHEET NO. ECS

THE REGISTER OF PROFESSIONAL ENGINEERS AND ARCHITECTS HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE REGISTER ACT AND REGULATIONS. THE REGISTER WILL COMPARE THE DATA WITH ANY RECORDING OR OTHER INFORMATION IN THE PLANS. THE REGISTER WARRANTS THAT IT WILL NOT REPRODUCE OR OTHERWISE MAKE USE OF THE DATA OR PLANS IN ANY MANNER THAT WOULD BE UNFAIR TO THE REGISTER OR THAT WOULD BE IN VIOLATION OF THE REGISTER ACT OR REGULATIONS. THE REGISTER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE DATA OR THE REGISTER'S LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS ARISING FROM THE USE OF THE DATA OR PLANS. THE REGISTER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE DATA OR THE REGISTER'S LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS ARISING FROM THE USE OF THE DATA OR PLANS.



1 DEMOLITION FLOOR PLAN  
AD-100 SCALE: 1/8" = 1'-0"

DEMOLITION SYMBOL LEGEND	
D-XX	KEY NOTE TAG. SEE KEY NOTE INSTRUCTIONS / NARRATIVE FOR MORE INFORMATION
ETR	EXISTING TO REMAIN
(Solid line)	INDICATES EXISTING TO REMAIN
(Dashed line)	INDICATES EXISTING TO BE DEMOLISHED

- GENERAL DEMOLITION NOTES**
- ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL REMAIN INTACT. PATCH AND REPAIR EXISTING ADJACENT PARTITIONS AND FINISHES AS REQUIRED AFTER DEMOLITION TO MATCH EXISTING OR IN ACCORDANCE WITH PROPOSED RENOVATIONS.
  - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT EXISTING ELEMENTS TO REMAIN.
  - SELECTIVE DEMOLITION WORK INCLUDES REMOVAL OF NON-STRUCTURAL ITEMS INDICATED. REFER TO MECH. PLNG. ELEC. DEMOLITION DWGS FOR ADDITIONAL SCOPE. THIS DRAWING DOES NOT SHOW ELEC. WATER, HVAC, AND MOST OTHER SERVICES.
  - LOCATE AND IDENTIFY EXISTING UTILITIES, INCLUDING SANITARY SEWER SYSTEM, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
  - THE CONTRACTOR SHALL SAFELY SECURE ANY AND ALL PIPING, WIRING, CABLES, OR DEVICES THAT ARE NOT SCHEDULED FOR DEMOLITION THAT WERE SECURED BY ITEMS THAT HAVE BEEN OR ARE SCHEDULED FOR DEMOLITION.
  - UPON COMPLETION OF THE DEMOLITION WORK, ALL AREAS SHALL BE LEFT BROOM CLEAN TO THE SATISFACTION OF THE OWNER.
  - CONTRACTOR SHALL PROMPTLY PATCH AND REPAIR DAMAGE CAUSED TO ADJACENT CONSTRUCTION BY DEMOLITION WORK. RESTORE EXPOSED FINISHES IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
  - IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, NOTIFY OWNER IMMEDIATELY. COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.
  - COORDINATE ALL DEMOLITION WORK ON THE EXISTING BUILDING WITH THE OWNER BEFORE PROCEEDING.

- DEMOLITION KEY NOTES**
- D-01 REMOVE AND DISPOSE OF EXISTING WINDOWS IN ITS ENTIRETY AND ASSOCIATED WOOD TRIM.
  - D-02 REMOVE AND DISPOSE OF DOOR, FRAME, AND SIDELIGHT IN ITS ENTIRETY. EXISTING WOOD TRIM TO REMAIN.
  - D-03 REMOVE AND DISPOSE OF SECTION OF EXISTING SOLID WYTHE MASONRY WALL TO ALLOW FOR DUCTWORK PENETRATION. SEE MECH. DWGS FOR ADDITIONAL INFORMATION.
  - D-04 MODIFY EXISTING CEILING GRID AS REQUIRED FOR INSTALLATION OF STUD WALLS.
  - D-05 SAWCUT, REMOVE AND DISPOSE OF SLAB FOR UNDERGROUND PIPING REQUIRED IN ALTERNATE #1.

- EXTERIOR ELEVATION NOTES**
- W1 CLEAN MASONRY IN ACCORDANCE WITH HISTORIC MASONRY REQUIREMENTS IN SPECIFICATION.
  - W2 CUT OUT, REMOVE AND REPLACE INDIVIDUAL DAMAGED MASONRY UNITS IN ACCORDANCE WITH THE SPECIFICATION. QUANTITY OF 5 BRICK MASONRY UNITS.

**STUDIO JAED**  
ARCHITECTS & ENGINEERS & FACILITIES SOLUTIONS  
Est. 1988 | info@studiojaed.com | Website: www.studiojaed.com

MD/VA/DC OFFICE  
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PROVIDENCE, RHODE ISLAND 02908  
P: 401.648.0884

DELAWARE OFFICE  
1000 W. BROAD ST. #10  
SEASIDE, DELAWARE 19709  
P: 302.832.1622

CONSULTANT

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SIGNATURE: \_\_\_\_\_  
DATE OF SIGNATURE: \_\_\_\_\_  
DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_  
ARCHITECT / ENGINEER SEAL

PROJECT

TOWN OF EAST GREENWICH  
SWIFT COMMUNITY CENTER EXPANSION  
SWIFT COMMUNITY CENTER  
121 PERCE STREET  
EAST GREENWICH RI 02818

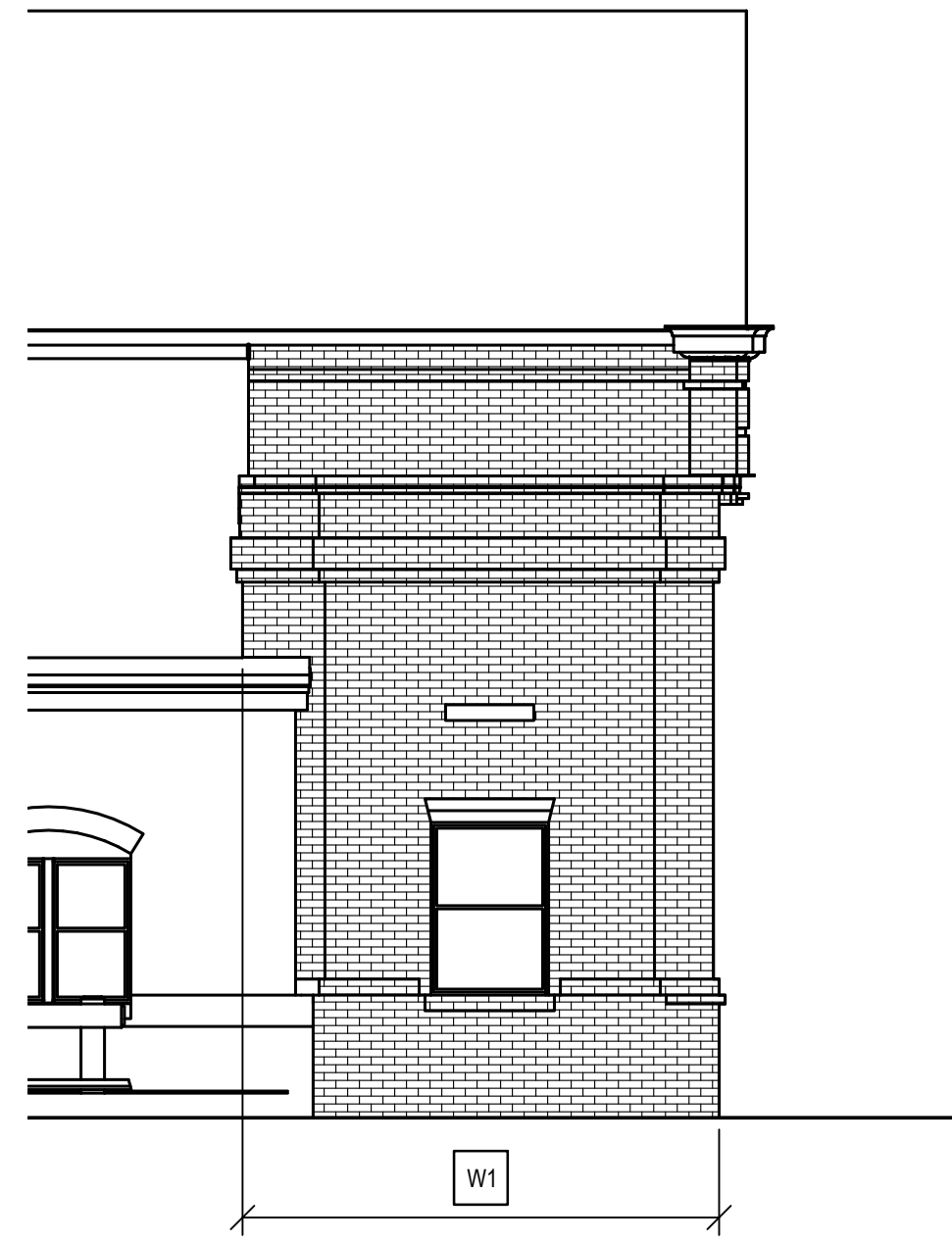
REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

DEMOLITION FLOOR PLAN

ISSUED FOR BID		
NOVEMBER 6, 2024		
DRAWN	CHKD	PROJECT NO.
CB	TAD	24065
SHEET NO.		

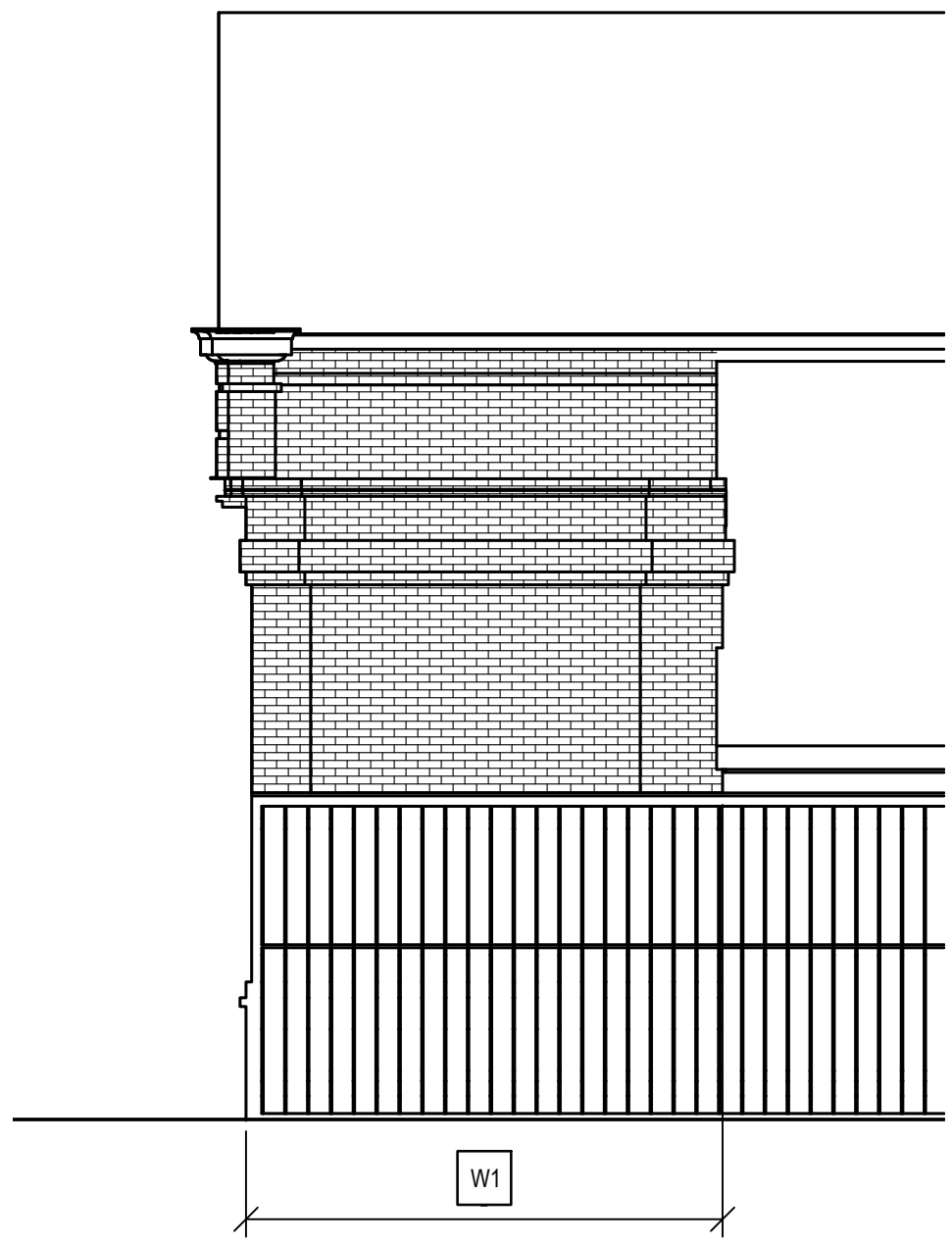
AD-100



2 EAST EXISTING ELEVATION  
AD-100 SCALE: 3/16" = 1'-0"



3 NORTH EXISTING ELEVATION  
AD-100 SCALE: 3/16" = 1'-0"

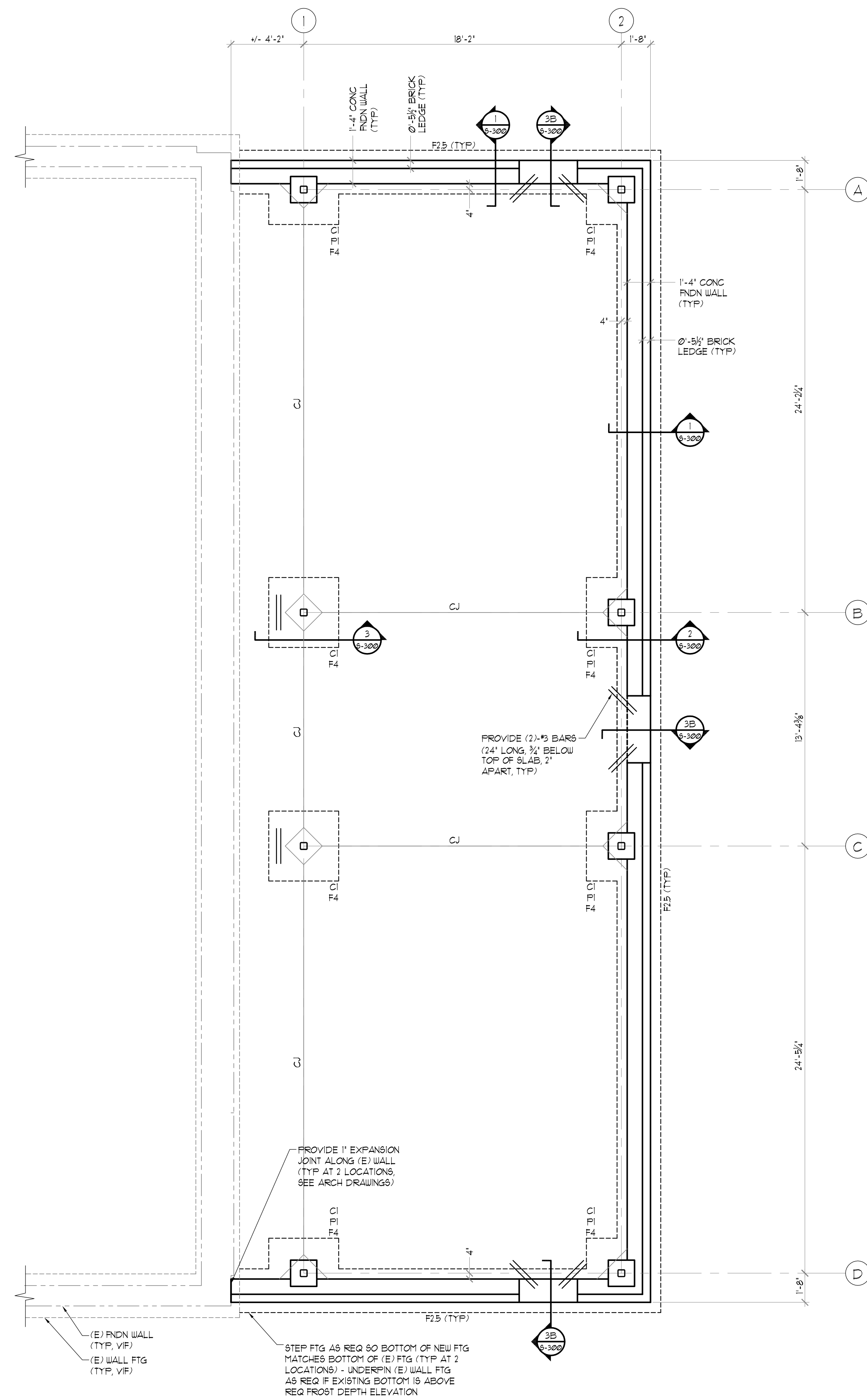


4 WEST EXISTING ELEVATION  
AD-100 SCALE: 3/16" = 1'-0"

11/15/2024 2:18 PM



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COLUMN SCHEDULE				
MARK	SIZE	BASE PLATE	ANCHOR BOLTS	REMARKS
C1	H655x8x3/8	3/4" x 12" x 12"	(4)-3/4" DIA. x 9" EMBEDMENT	

NOTES:  
 1. WELD BASE PLATE TO COLUMN WITH 1/2" FILLET WELD ALL AROUND.  
 2. ANCHOR BOLTS TO HAVE MINIMUM 3" HOOK.  
 3. SET COLUMNS AND BASE PLATES ON 1/2" LEVELING PLATES AND 3/4" NON-SHRINK, NON-METALLIC, HIGH EARLY STRENGTH GROUT.

PIER SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
F1	18" x 18"	(4)-#5 VERT	18" x 18" REINFORCING CAGE

NOTES:  
 1. PROVIDE CONCRETE PIERS AS SHOWN WITH TOP OF PIERS 8" BELOW TOP OF SLAB, UNLESS NOTED OTHERWISE.  
 2. CENTER PIERS UNDER COLUMNS, UNLESS NOTED OTHERWISE.  
 3. CENTER REINFORCING CAGES UNDER COLUMNS, UNLESS NOTED OTHERWISE.  
 4. PROVIDE #5 TIES TOP THREE AT 4" CENTERS, BALANCE AT 12" CENTERS, MAXIMUM.  
 5. DO NOT VERTICAL REINFORCING INTO FOOTING WITH STANDARD 90° HOOK.

FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
F2.5	2'-6" x 1'-0"	(4)-#4 LONG & #4 @ 18" TRANS	CONT STRIP/REF. 1/8-200
F4	4'-0" x 4'-0" x 1'-0"	(5)-#5 BOTTOM BARS	REF. 2 & 3/8-200

NOTES:  
 1. PLACE EXTERIOR FOOTINGS AT ELEVATIONS NOTED OR SO BOTTOM OF FOOTINGS ARE 4'-6" MINIMUM BELOW FINISH GRADE, WHICHEVER IS DEEPER.  
 2. PLACE HORIZONTAL REINFORCING 3" CLEAR ABOVE FOOTING BOTTOM UNO.  
 3. PLACE FOOTINGS IN FOOTINGS TO MATCH VERTICAL REINFORCING IN WALLS AND PIERS.  
 4. CENTER FOOTINGS UNDER COLUMNS OR WALLS, UNLESS NOTED OTHERWISE.  
 5. TOP OF FOOTING ELEVATION AT INTERIOR FOOTINGS + -0'-0" RELATIVE TO TOP OF SLAB-ON-GRADE ELEVATION UNO.  
 6. PRESUMPTIVE ALLOWABLE BEARING CAPACITY 12000 PSF.

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PROJECT  
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 EAST GREENWICH TOWN COUNCIL  
 CLASSROOM EXPANSIONS**  
 AT  
**SWIFT COMMUNITY CENTER**  
 121 PERCE STREET  
 EAST GREENWICH, RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

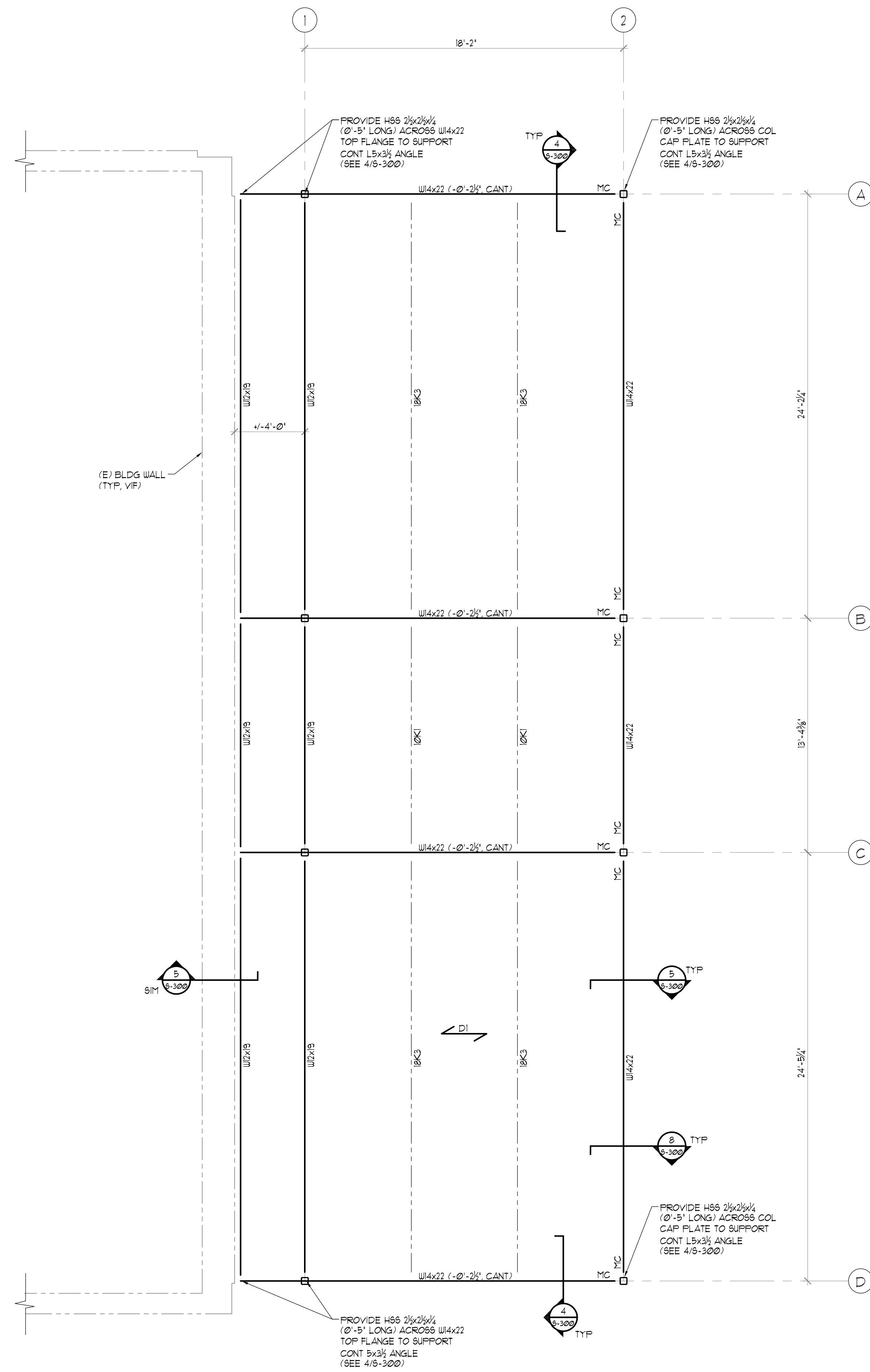
SHEET TITLE  
**FOUNDATION PLAN & SCHEDULES**

ISSUED FOR BIDDING  
 11/06/24

DRAWN	CHK'D	PROJECT NO.
SEH	SEH	24065

SHEET NO.  
**S-100**

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**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

- NOTES:
- 1) SEE STRUCTURAL NOTES SHEET S-000.
  - 2) DENOTES SPAN OF 3/8" DEEP 20 GA GALV. ROOF DECK.
  - 3) INDICATES MOMENT CONNECTION. SEE S-000 FOR TYPICAL DETAIL.
  - 4) SEE LOOSE LINTEL SCHEDULE THIS DRAWING. PROVIDE BRICK ARCH LINTELS AS REQUIRED.
  - 5) TYP TOP OF STEEL ELEVATION + 46'-2" ABOVE DATUM (FINISHED FLOOR ELEVATION + 0'-0"). ELEVATIONS NOTED AS (X'-X") ARE RELATIVE TO TYP TOP OF STEEL ELEVATION.
  - 6) 1/8" INDICATES SLOPING MEMBER.
  - 7) FRAMING MEMBERS ARE SPACED EQUALLY UNLESS NOTED OTHERWISE.
  - 8) SEE 1/8-300 FOR TYPICAL BEAM OVER COLUMN DETAIL.

LOOSE LINTEL SCHEDULE	
MAXIMUM OPENING WIDTH	MASONRY
3'-6"	L4x2 1/2x3/4
5'-0"	L5x3 1/2x3/4
6'-4"	L6x3 1/2x3/4

NOTES:  
 1. FOR MASONRY LINTELS, PROVIDE (1) LINTEL FOR EACH 4' WIDTH OF SUPPORTED MASONRY, MINIMUM 8" BEARING BOTH ENDS.  
 2. ALL STEEL LINTELS SHALL BE HOT-DIPPED GALVANIZED.

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REVISIONS

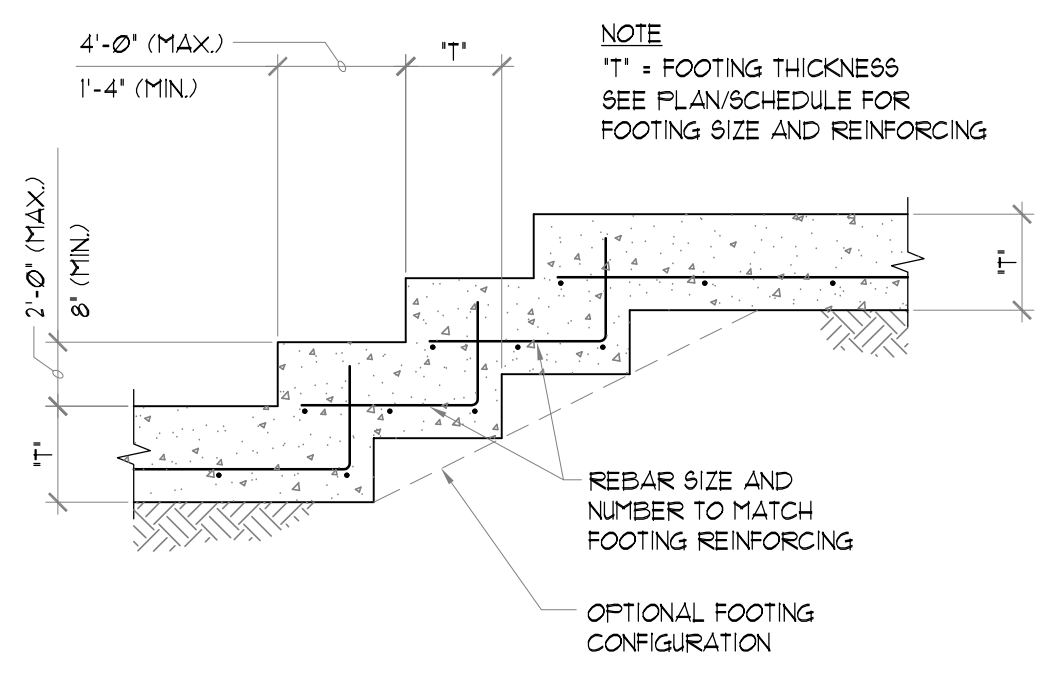
MARK	DESCRIPTION	DATE

ROOF FRAMING PLAN & SCHEDULES

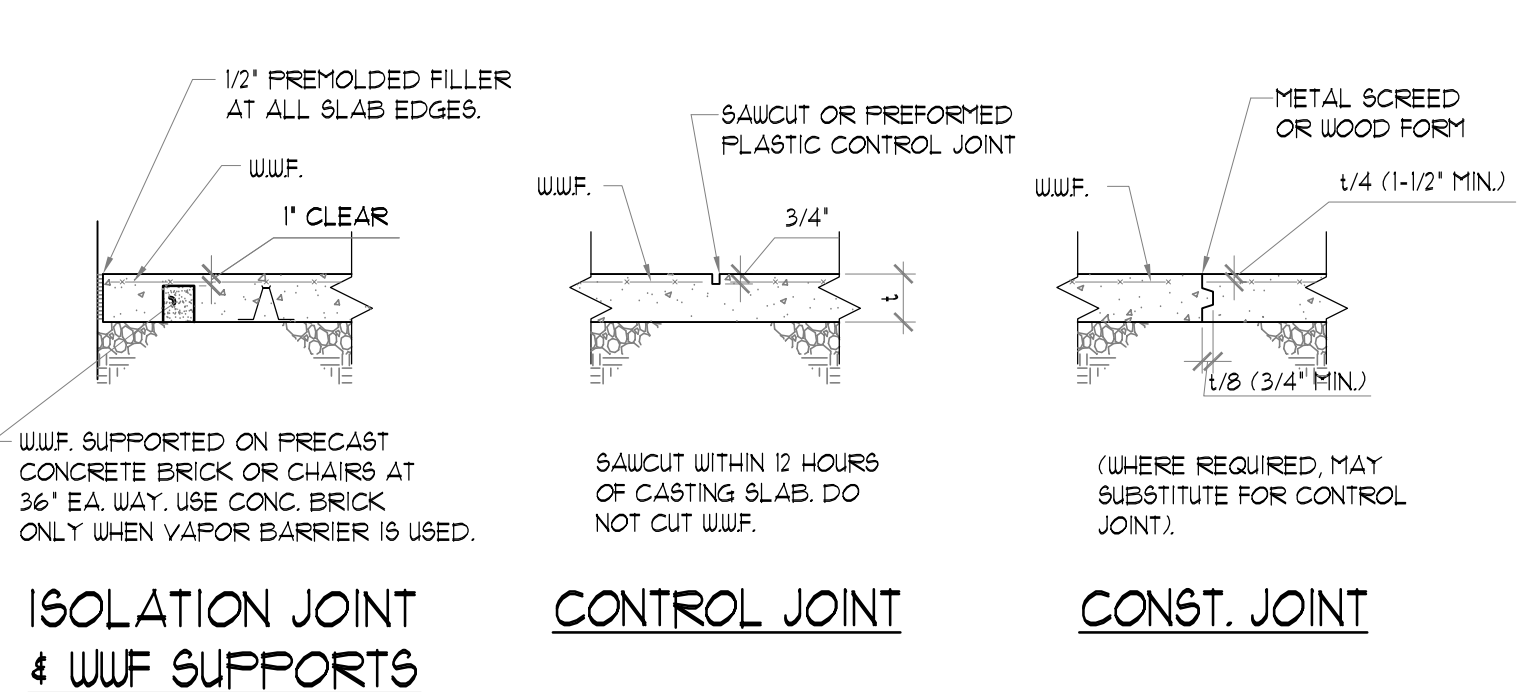
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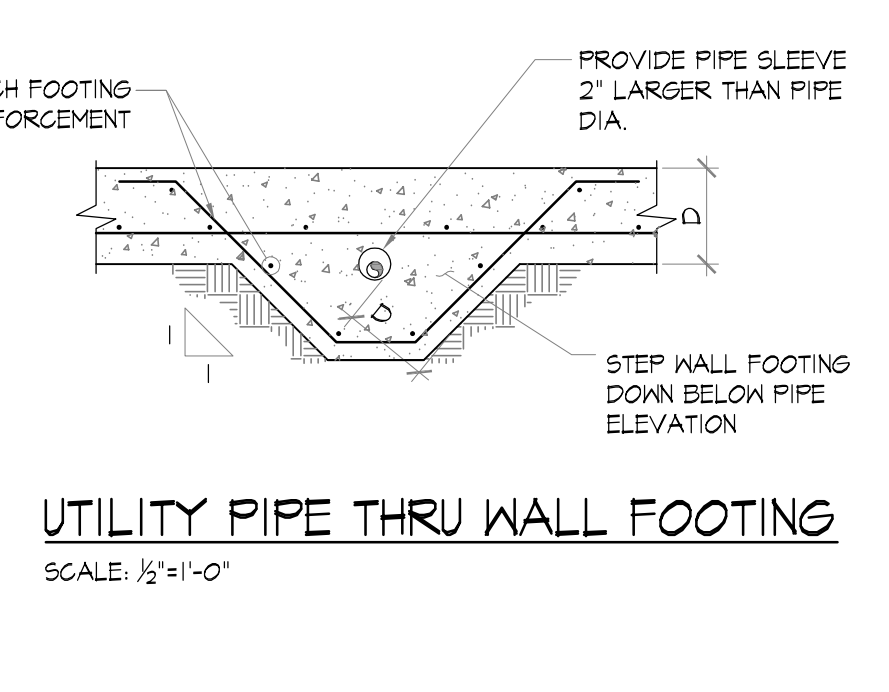
SHEET NO.  
**S-200**



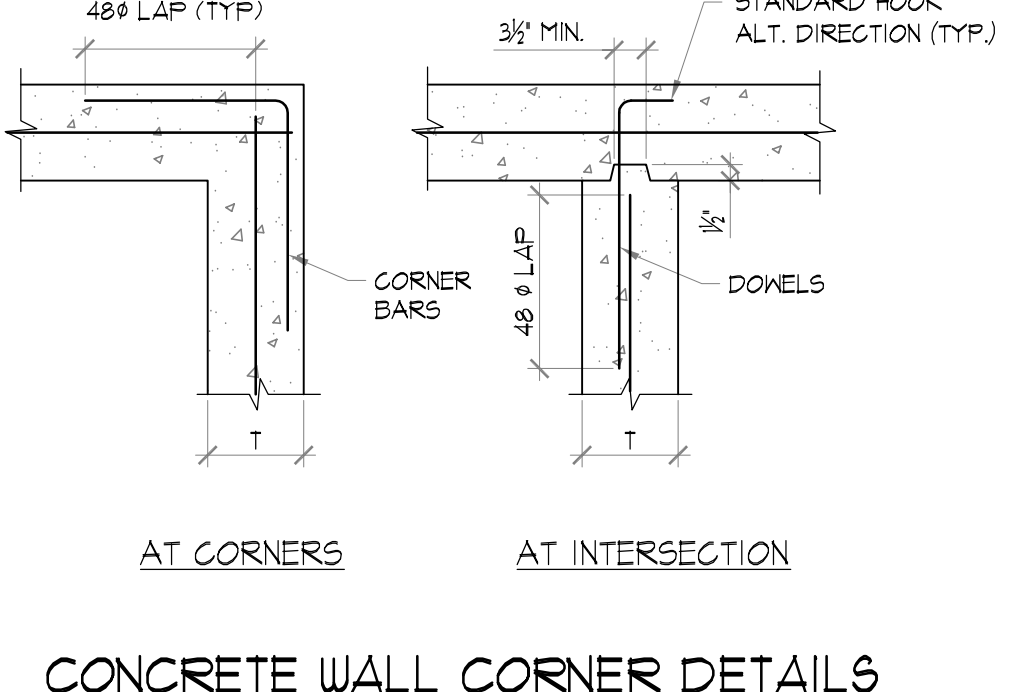
**TYPICAL STEPPED FOOTING DETAIL**  
SCALE: 1/2" = 1'-0"



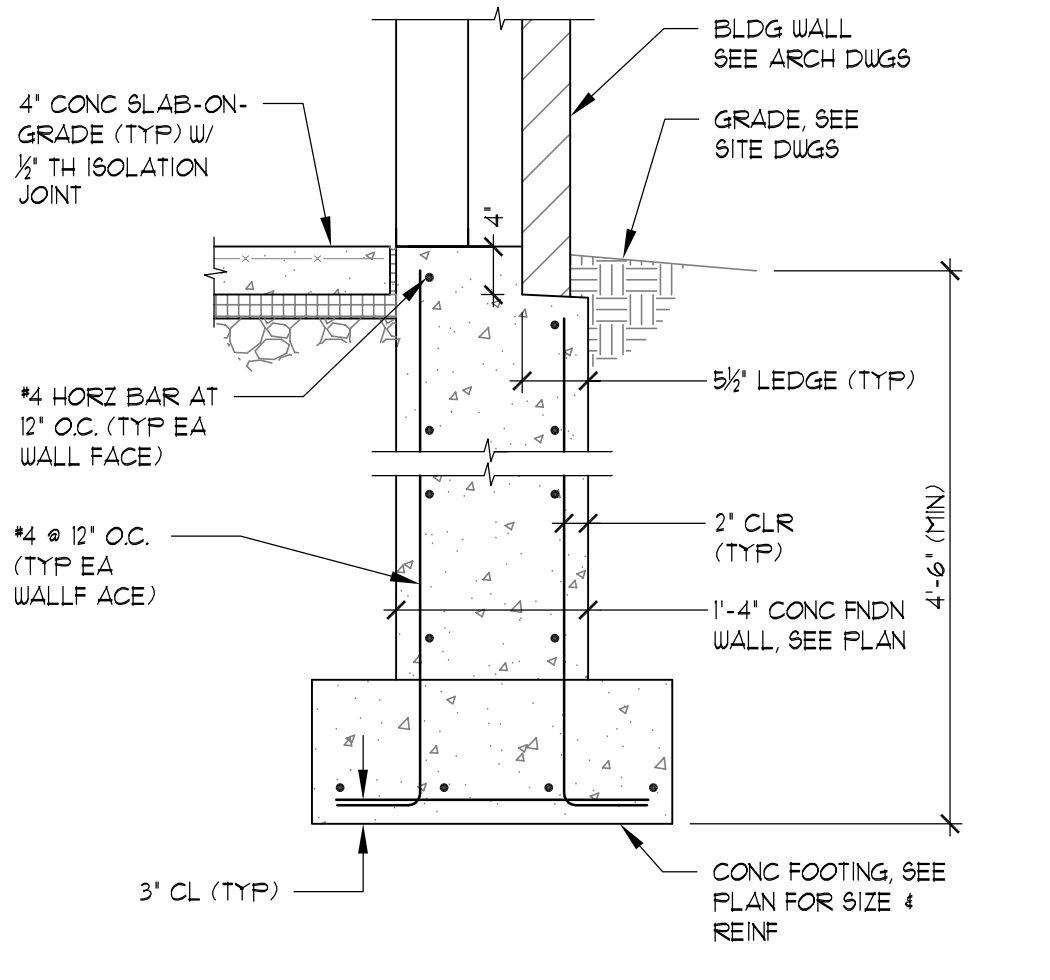
**TYPICAL SLAB-ON-GRADE JOINT DETAILS**  
SCALE: 1/2" = 1'-0"



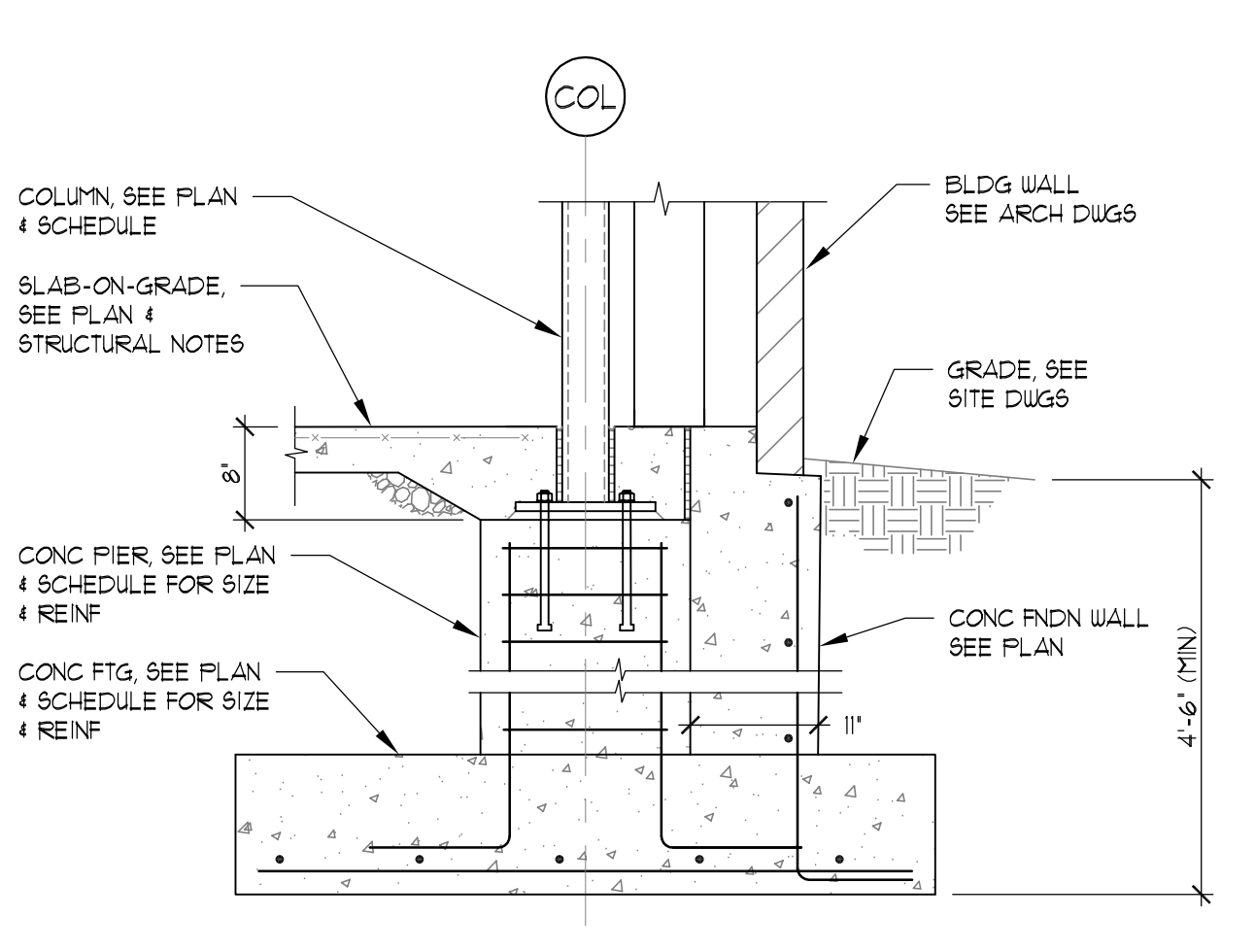
**UTILITY PIPE THRU WALL FOOTING**  
SCALE: 1/2" = 1'-0"



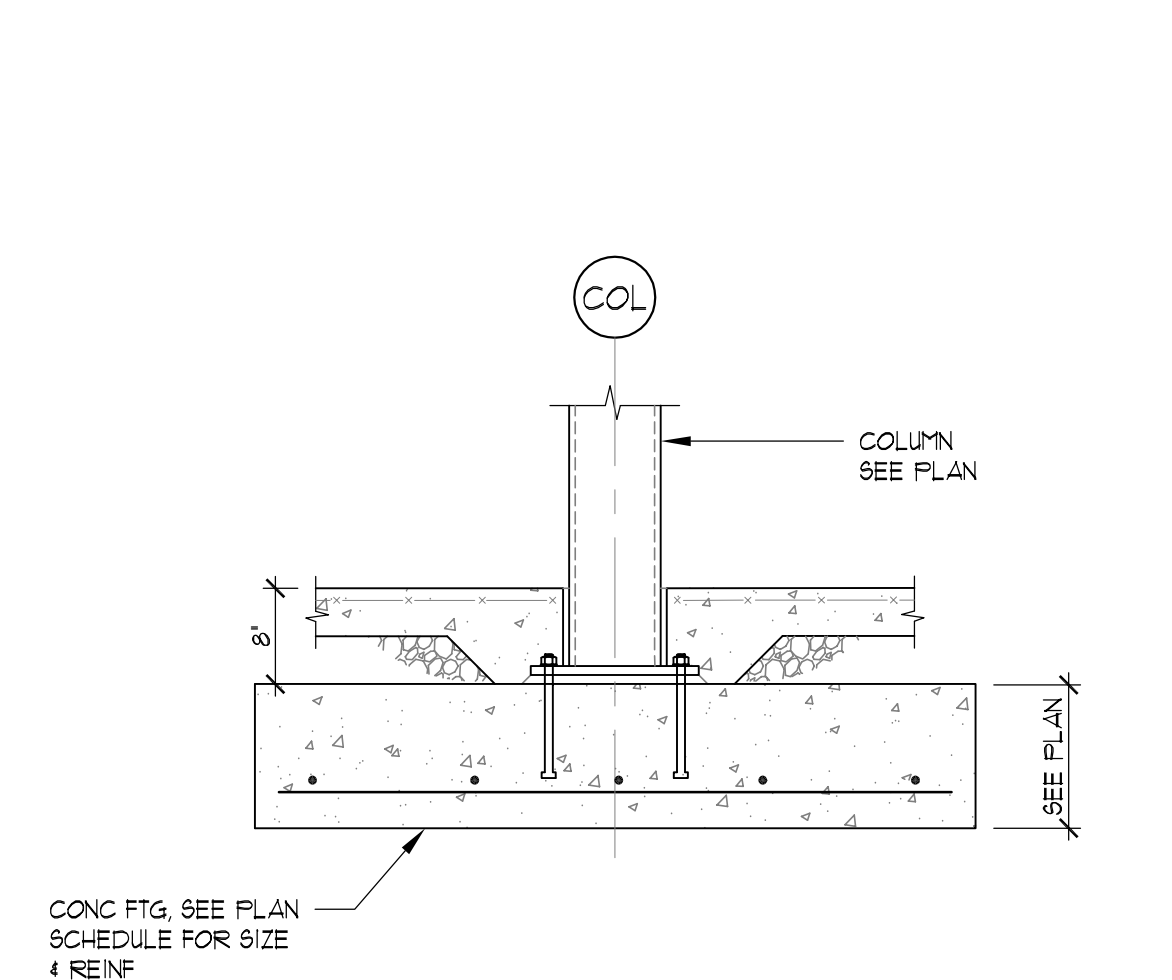
**CONCRETE WALL CORNER DETAILS**  
SCALE: 1/2" = 1'-0"



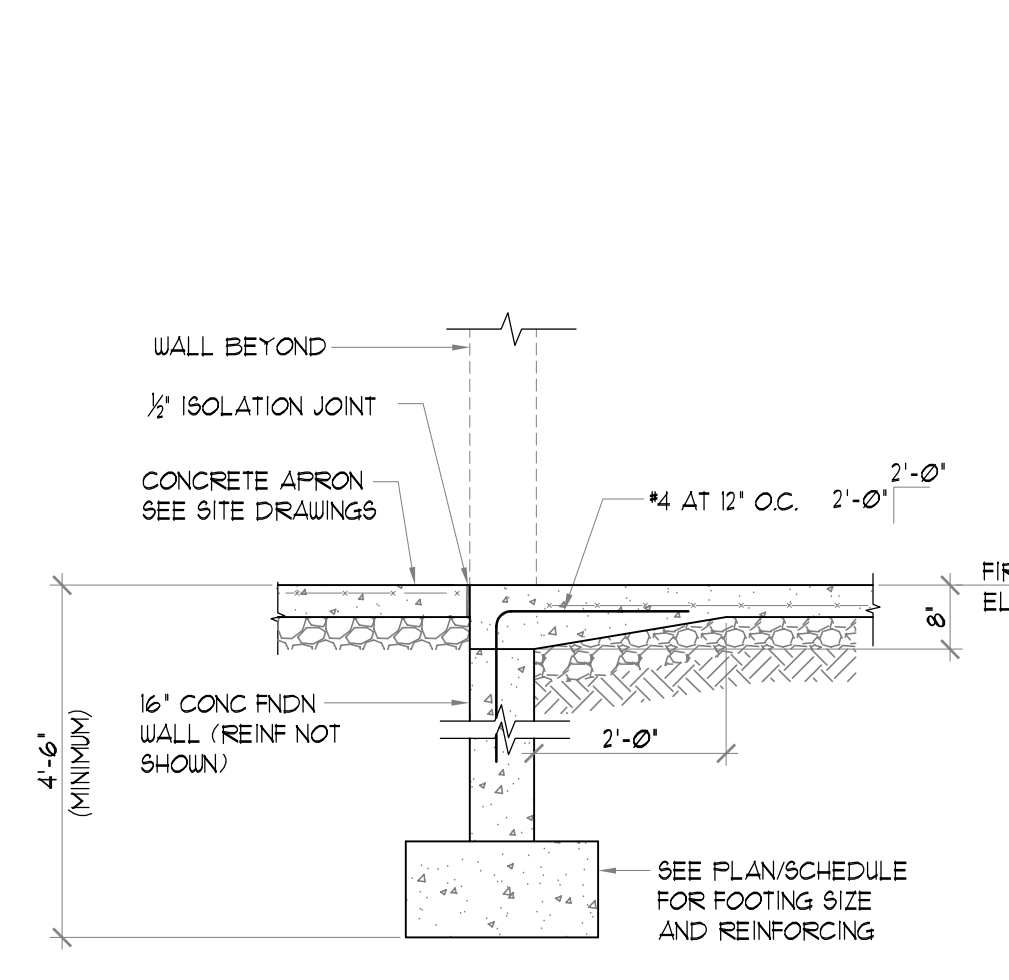
**1 TYP. WALL FOOTING**  
SCALE: 3/4" = 1'-0"



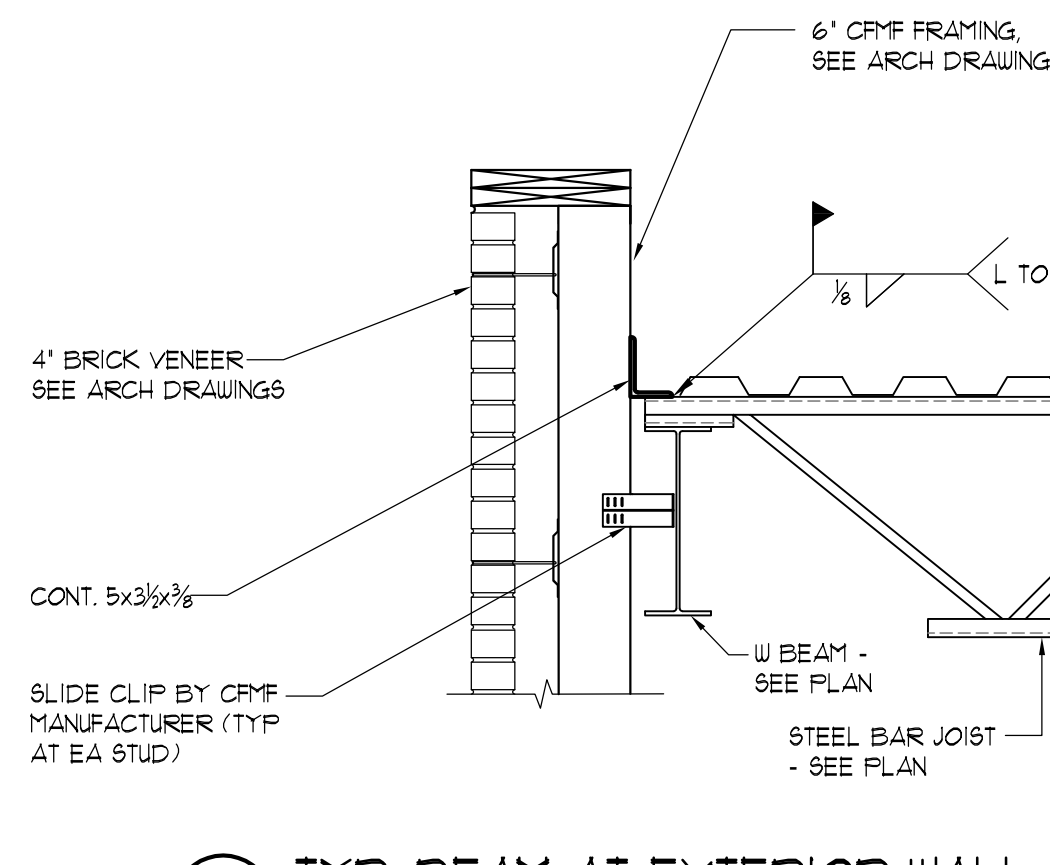
**2 TYP. CONCRETE PIER/FOOTING**  
SCALE: 3/4" = 1'-0"



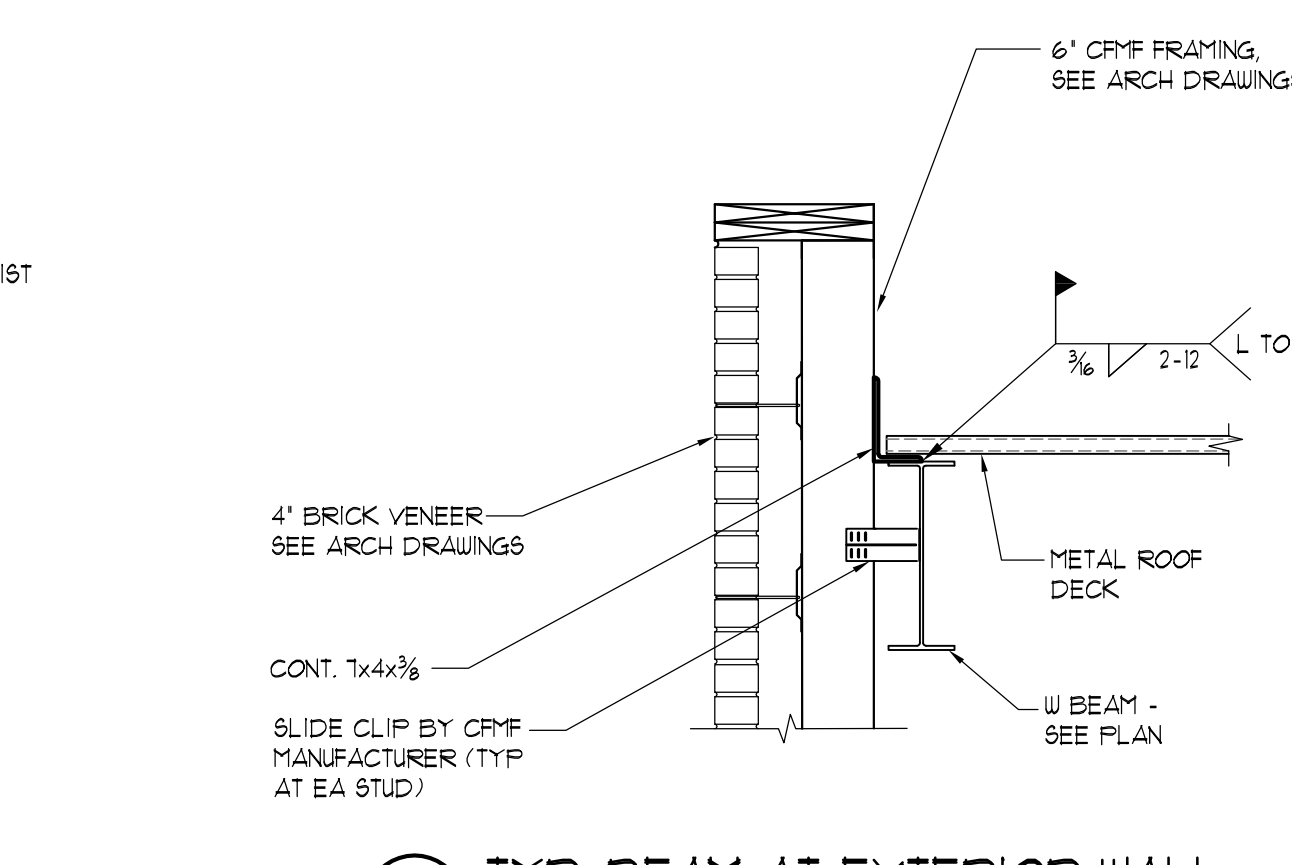
**3 TYP. INTERIOR CONCRETE FTG**  
SCALE: 3/4" = 1'-0"



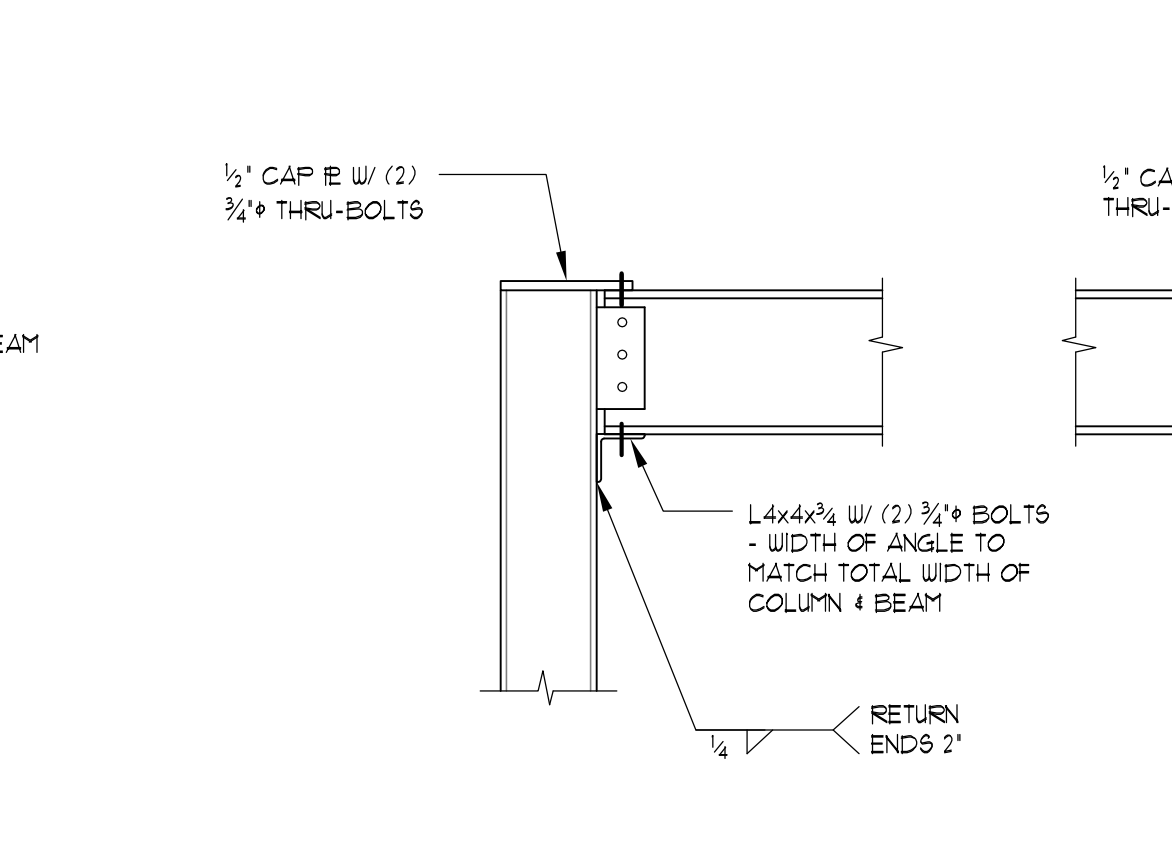
**3B TYP. SECTION AT DOOR OPENING**  
SCALE: 1/2" = 1'-0"



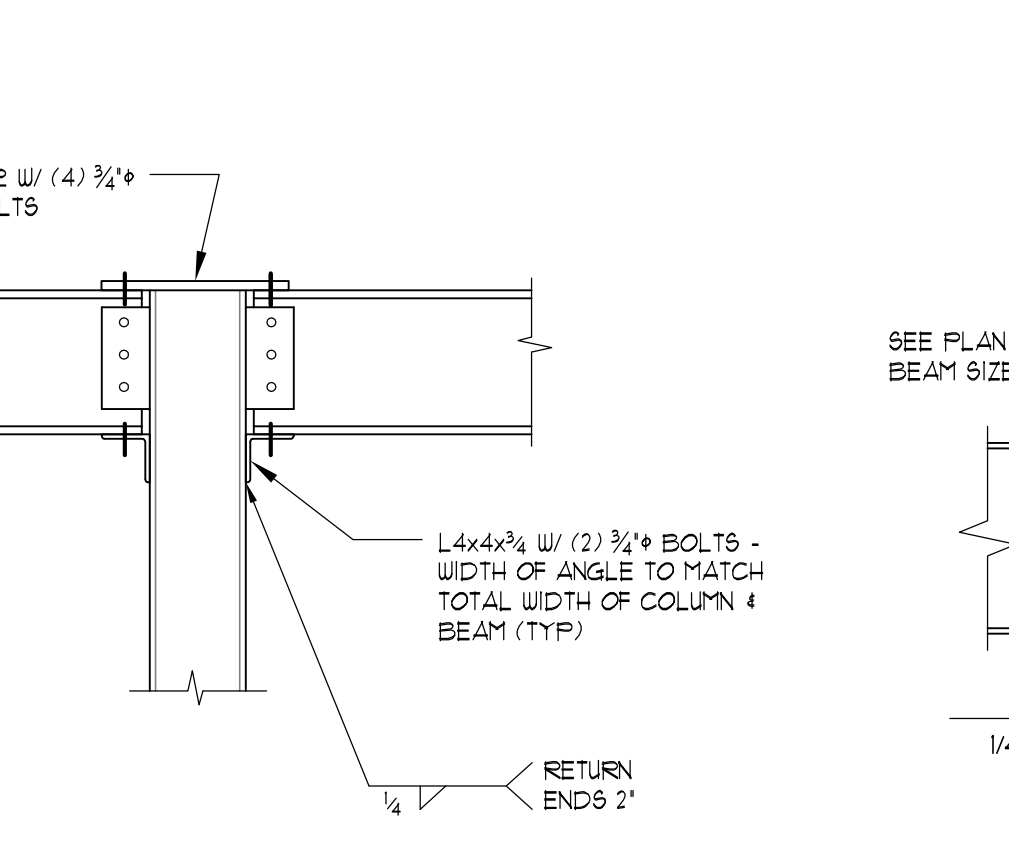
**4 TYP. BEAM AT EXTERIOR WALL**  
SCALE: 3/4" = 1'-0"



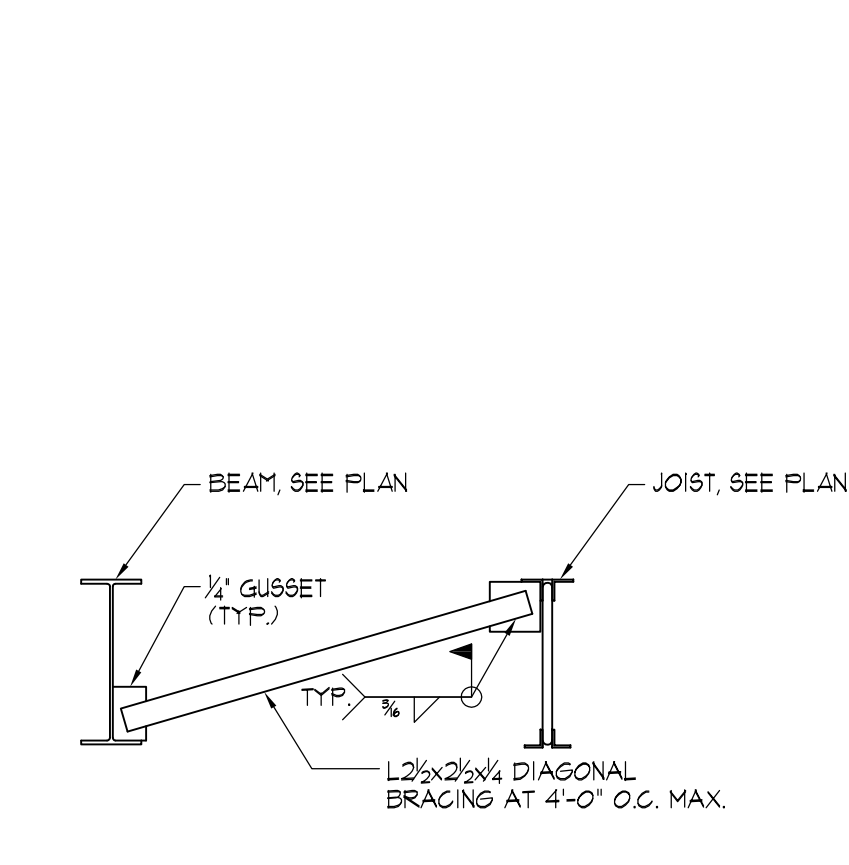
**5 TYP. BEAM AT EXTERIOR WALL**  
SCALE: 3/4" = 1'-0"



**6 TYP. MOMENT CONNECTION**  
SCALE: 3/4" = 1'-0"



**7 TYP. BEAM OVER POST**  
SCALE: 3/4" = 1'-0"



**8 TYP. KICKER AT BEAM**  
SCALE: 3/4" = 1'-0"

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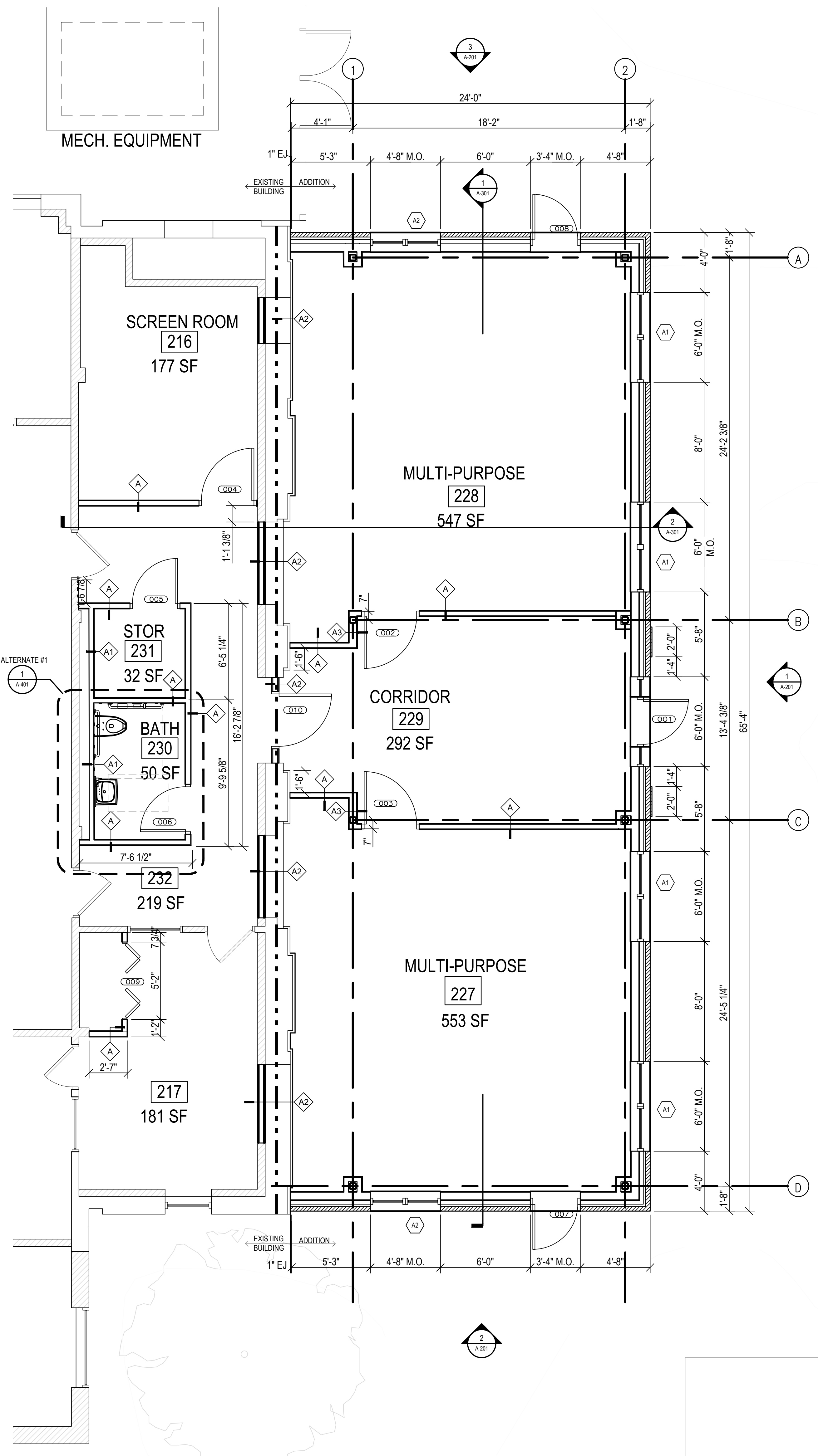
SHEET TITLE  
STRUCTURAL DETAILS

ISSUED FOR BIDDING  
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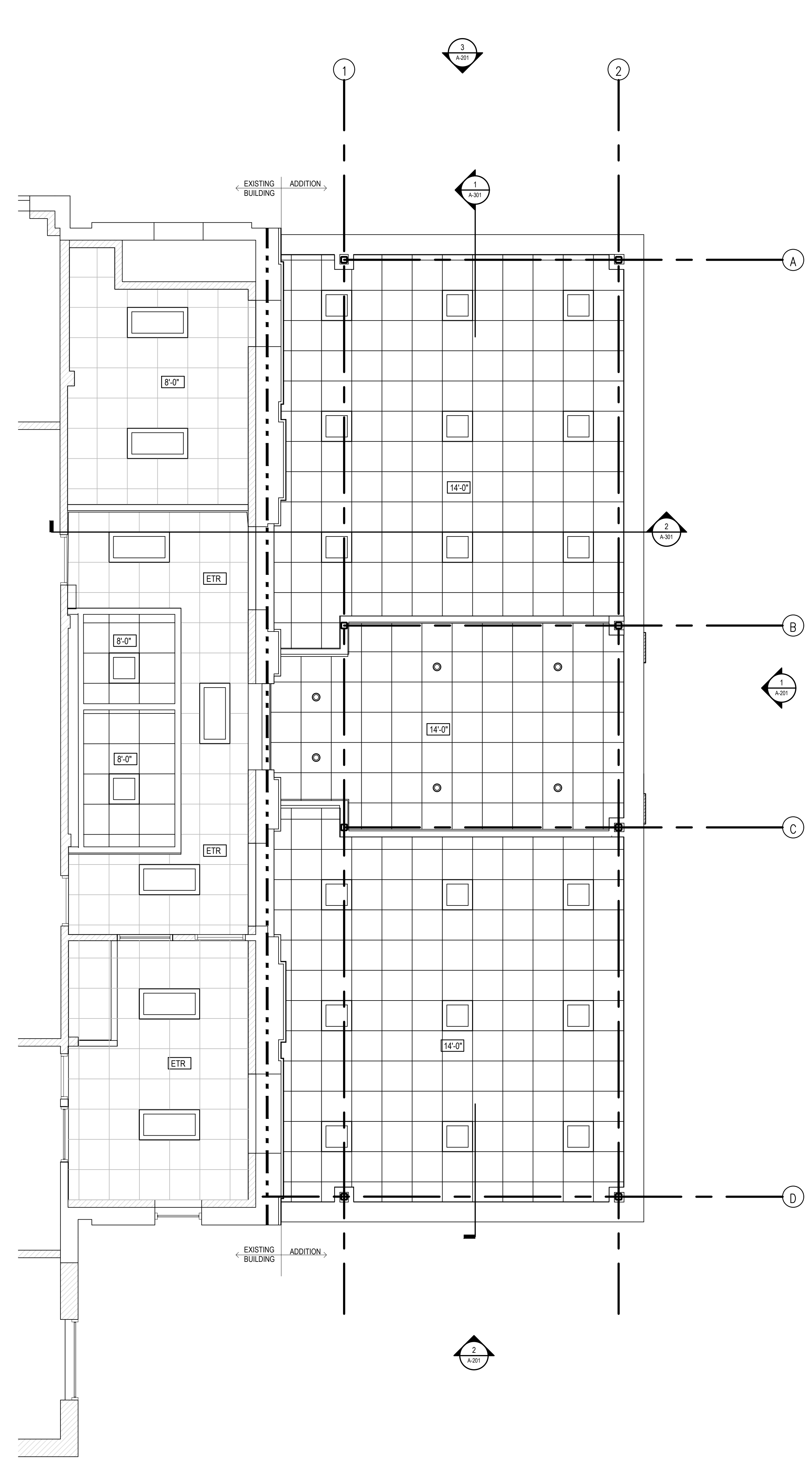
DRAWN	CHKD	PROJECT NO.
SEH	SEH	24065

SHEET NO.  
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1 FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



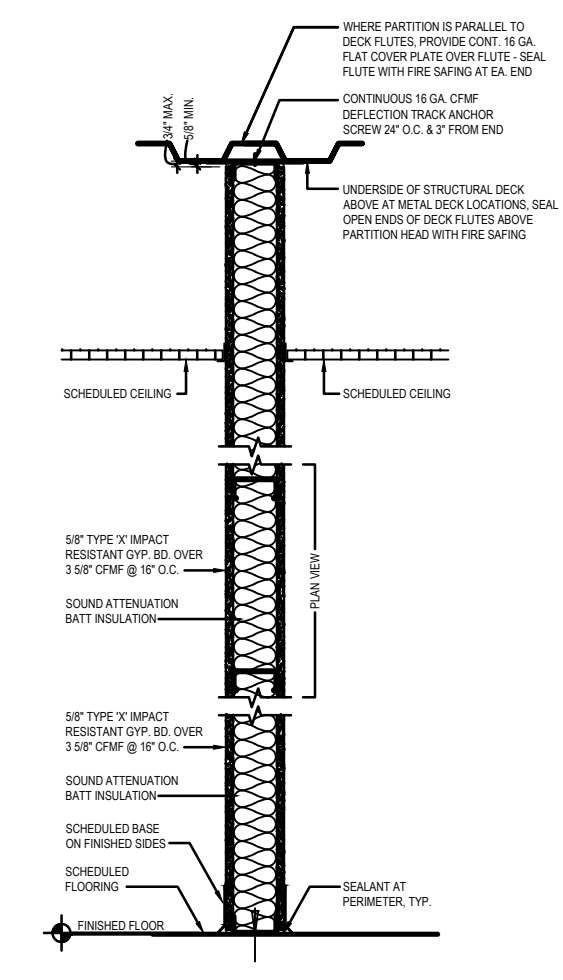
2 REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"

### GENERAL NOTES

- REFER TO G-002 FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- ALL NEW EXTERIOR WALLS ARE TYPE-U.N.O.
- ALL NEW INTERIOR WALLS ARE TYPE-U.N.O.
- ALL NEW DOOR FRAMES SHALL BE A MINIMUM 4" CLEAR FROM THE JAMB OF ADJACENT WALL TO DOOR FRAME U.N.O.

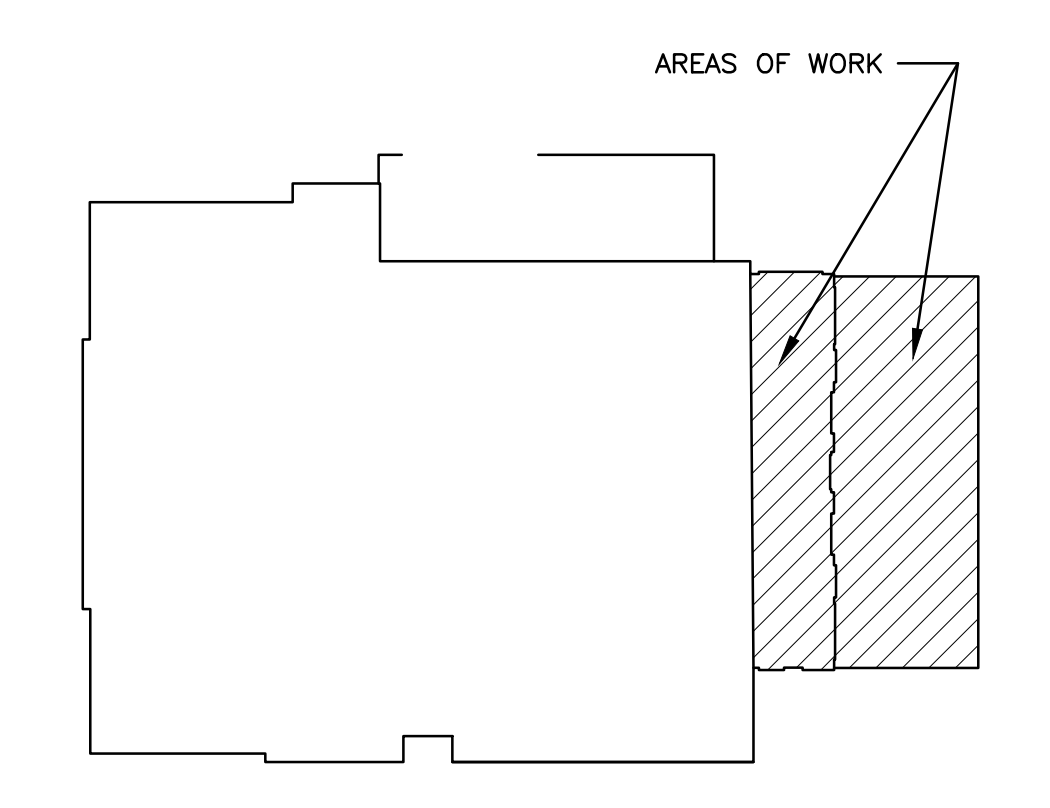
### NEW CEILING LEGEND

	ACT NEW 2X2 SUSPENDED ACOUSTIC CEILING TILE AND GRID		CEILING HEIGHT AS NOTED. VERIFY ETR IN FIELD
	ACT EXISTING 2X2 SUSPENDED ACOUSTIC CEILING TILE AND GRID		LIGHT NEW 2X2 LED GRID MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
	LIGHT NEW 2X4 LED GRID MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS		LIGHT NEW 2X2 LED GRID MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS



- 1 WALL TYPE (STC 47)
- 2 WALL TYPE (STC 34)
- 3 WALL TYPE (STC 53)
- 4 WALL TYPE (STC 34)

### INTERIOR WALL TYPES



KEY PLAN - NOT TO SCALE

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REVISIONS		
MARK	DESCRIPTION	DATE

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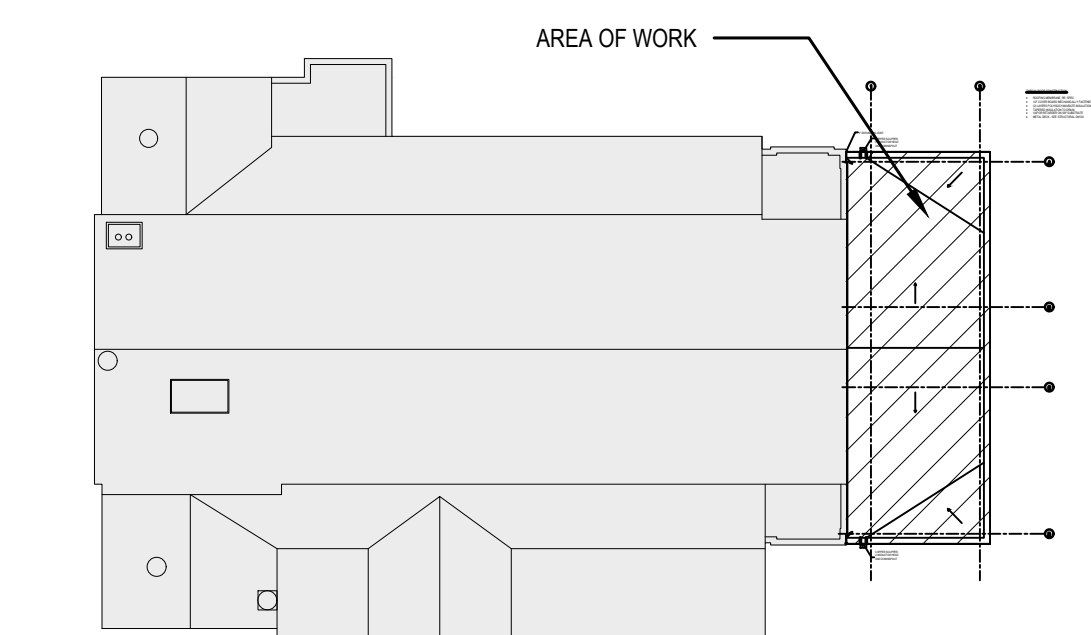
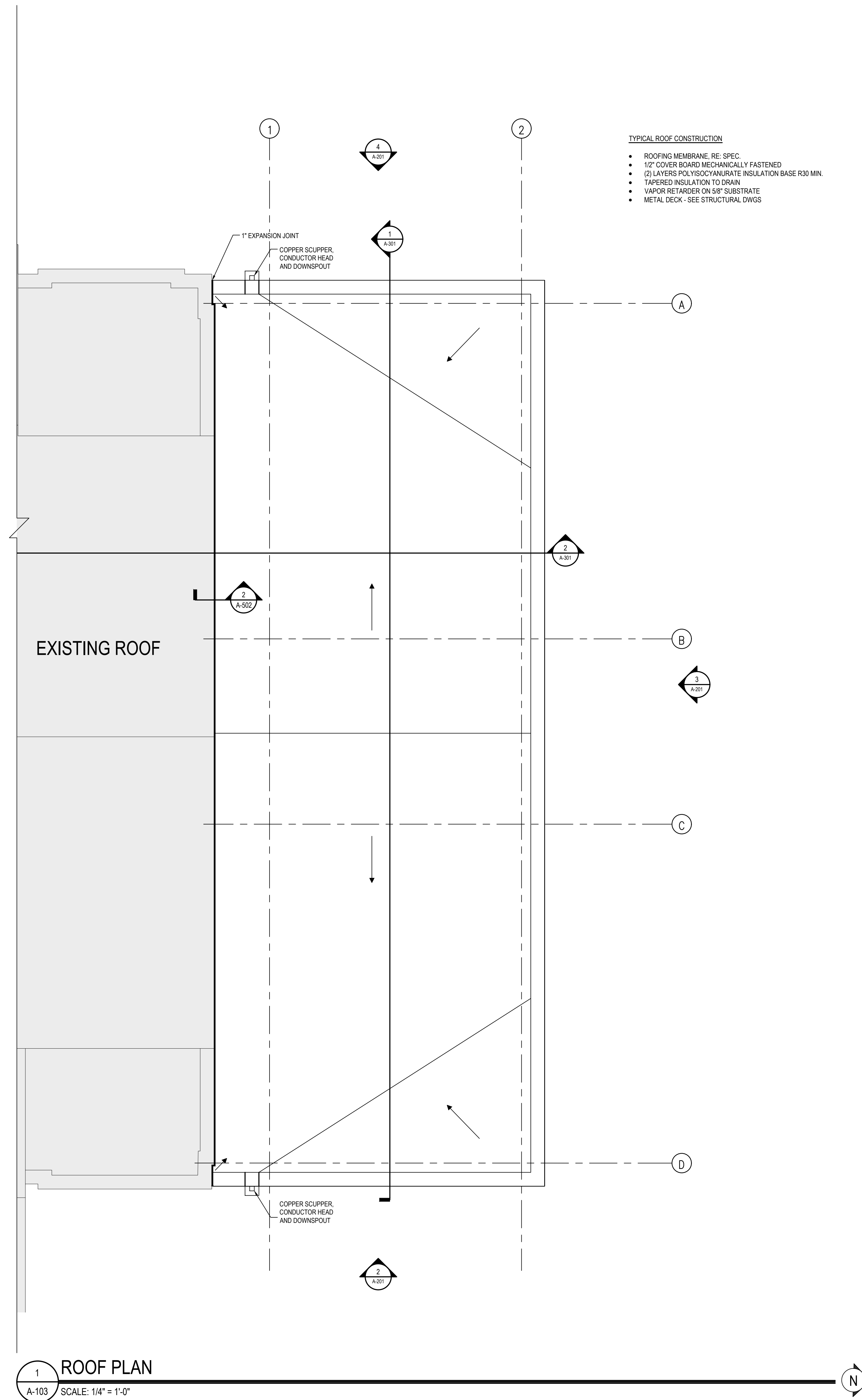
FLOOR PLAN AND REFLECTED CEILING PLAN

ISSUED FOR BID  
 NOVEMBER 6, 2024

DRAWN	CHKD	PROJECT NO.
HEG	TAD	24065

SHEET NO.  
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**REVISIONS**

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ROOF PLAN & DETAILS

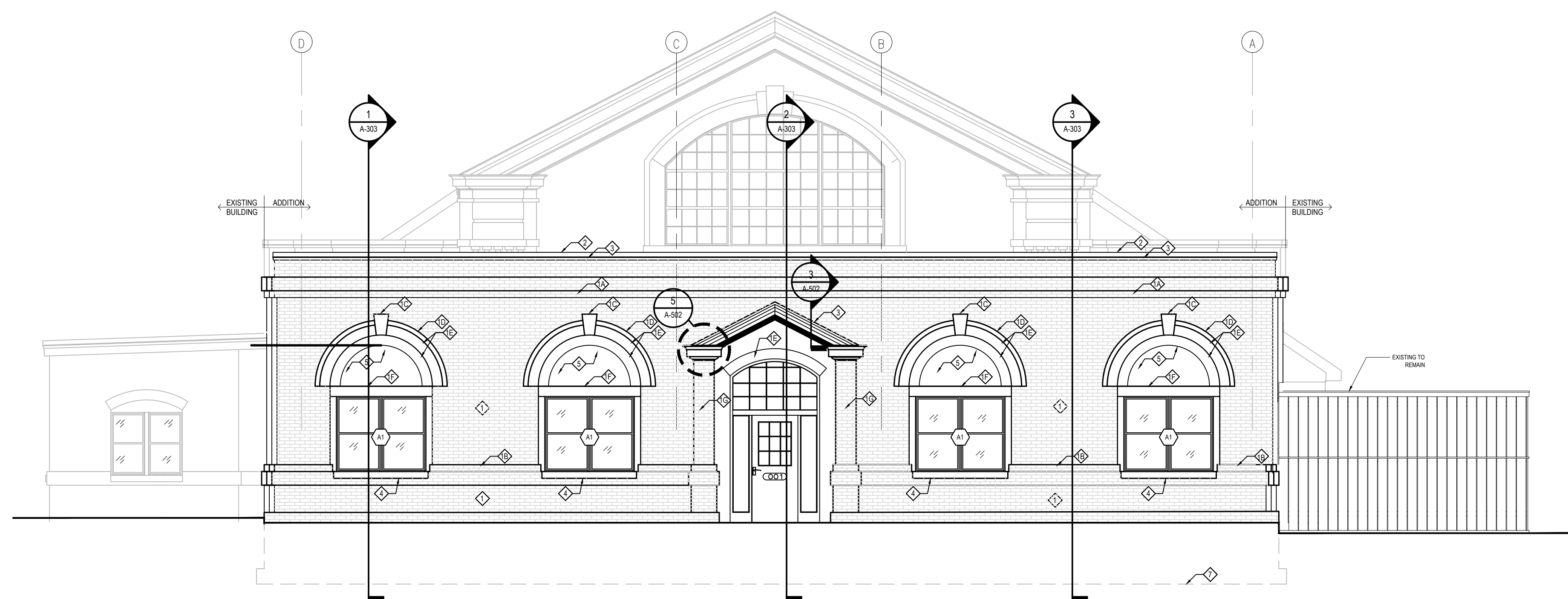
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DRAWN CB	CHKD PC	PROJECT NO. 24065
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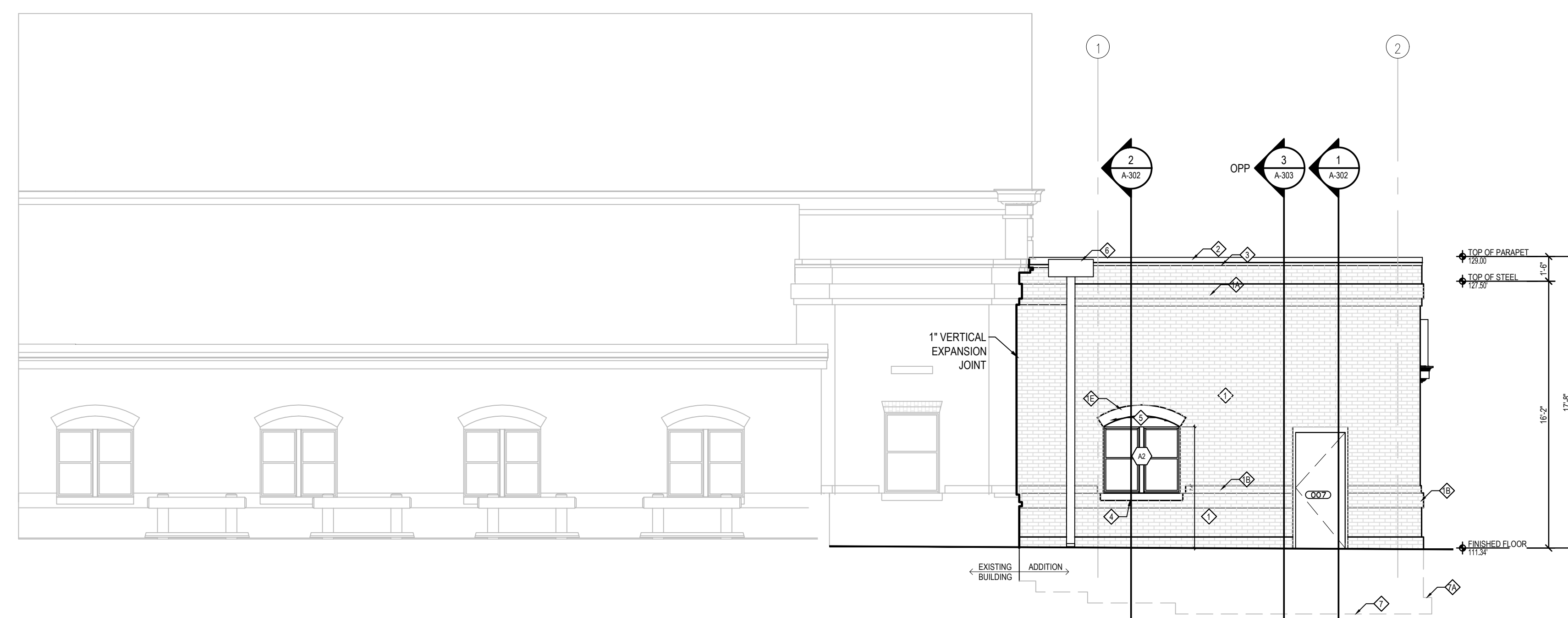
SHEET NO.  
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**1 NORTH ELEVATION**  
 A-201 SCALE: 3/16" = 1'-0"



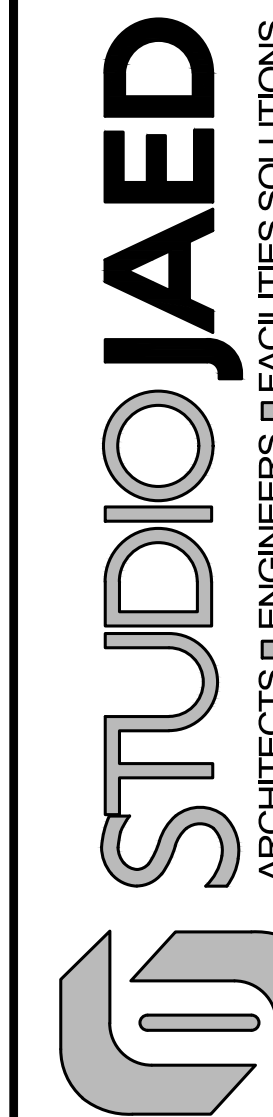
**2 EAST ELEVATION**  
 A-201 SCALE: 3/16" = 1'-0"



**3 WEST ELEVATION**  
 A-201 SCALE: 3/16" = 1'-0"

**EXTERIOR ELEVATION MATERIAL SCHEDULE**

- ◆ FACE BRICK VENEER, SIZE, COLOR, AND TEXTURE MATERIAL TO MATCH EXISTING. RE. SPEC.
- ◆ BRICK CORBEL. RE. DETAILS.
- ◆ PROTRUDING BRICK DETAILING. RE. DETAILS.
- ◆ BRICK KEY.
- ◆ BRICK STRETCHER COURSE.
- ◆ BRICK SOLDIER COURSE.
- ◆ BRICK PIER. RE. DETAIL.
- ◆ PRE-FINISHED ALUMINUM COPING, FASCIA, TRIM, AND FLASHING
- ◆ PLASTIC SIMULATED WOOD EXTERIOR TRIM
- ◆ PRECAST CONCRETE SILL.
- ◆ INSULATED METAL PANEL
- ◆ SCUPPER, CONDUCTOR HEAD AND DOWNSPOUT
- ◆ CONCRETE FOUNDATION FOOTING SHOWN DASHED. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- ◆ STEPPED FOOTING. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.



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 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
 121 PERCE STREET  
 EAST GREENWICH RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR ELEVATIONS

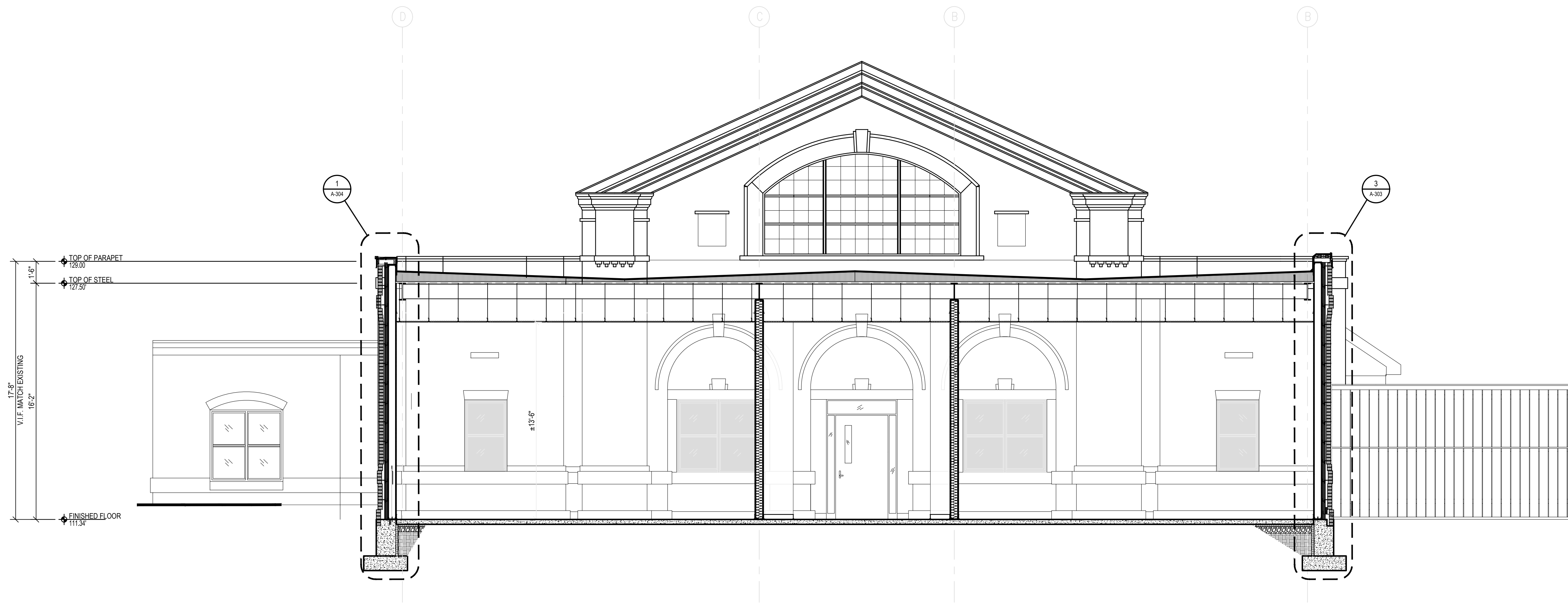
SCHEMATIC  
 DESIGN  
 NOVEMBER 6, 2024

DRAWN	CHKD	PROJECT NO.
HEG	TAD	24065

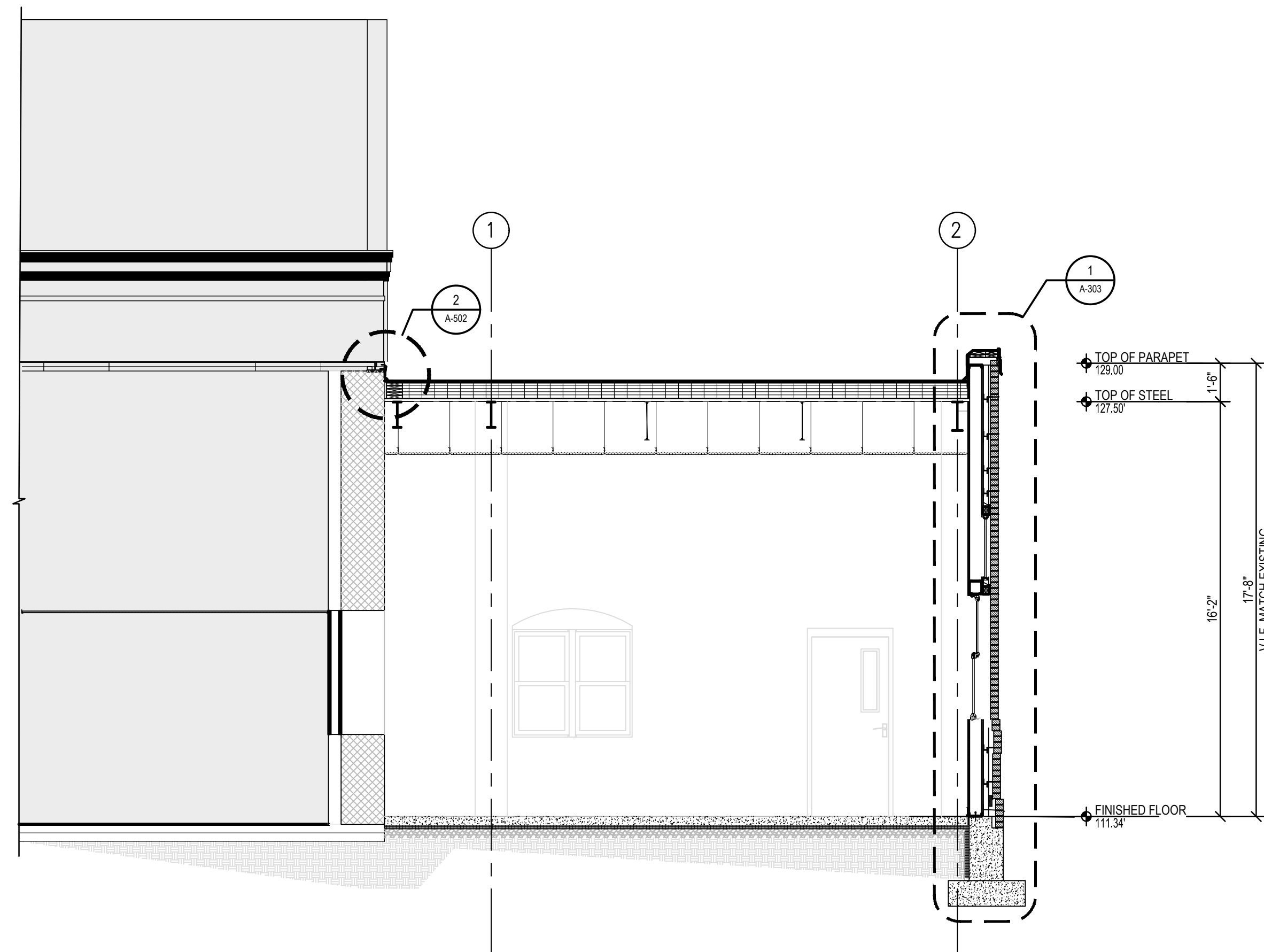
SHEET NO.

**A-201**

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**1 CONSTRUCTION BUILDING SECTION**  
A-301 SCALE: 1/4" = 1'-0"



**2 CONSTRUCTION BUILDING SECTION**  
A-301 SCALE: 1/4" = 1'-0"



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 DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_  
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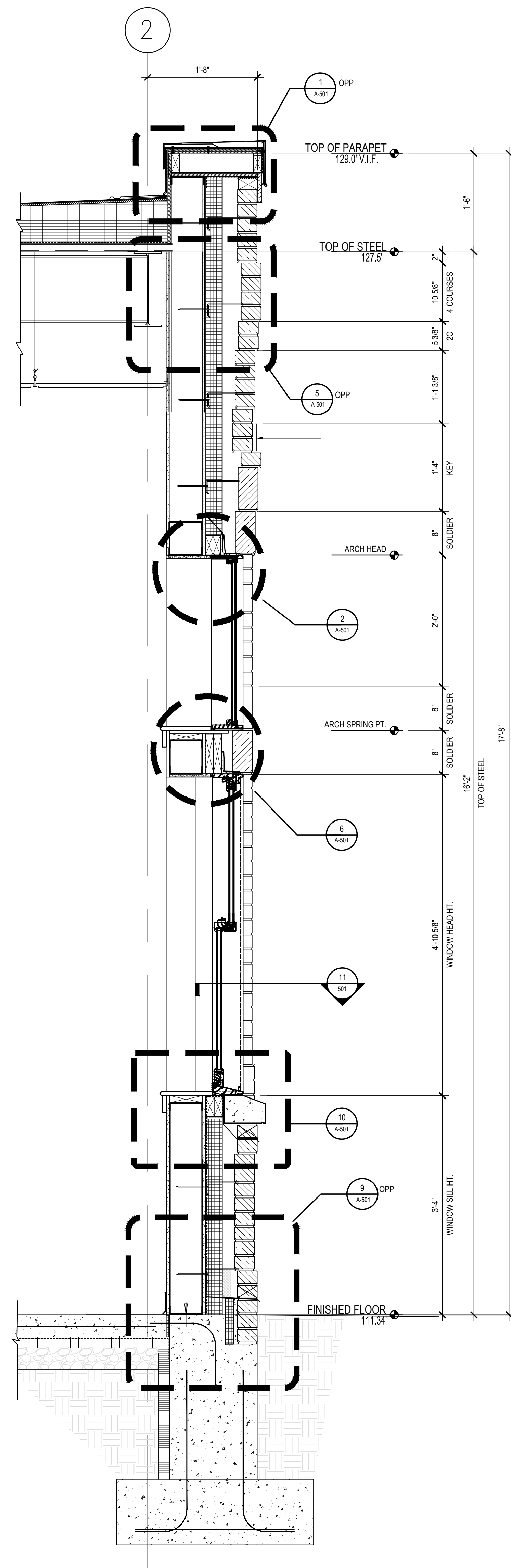
PROJECT  
**TOWN OF EAST GREENWICH**  
 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
 121 PERCE STREET  
 EAST GREENWICH RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

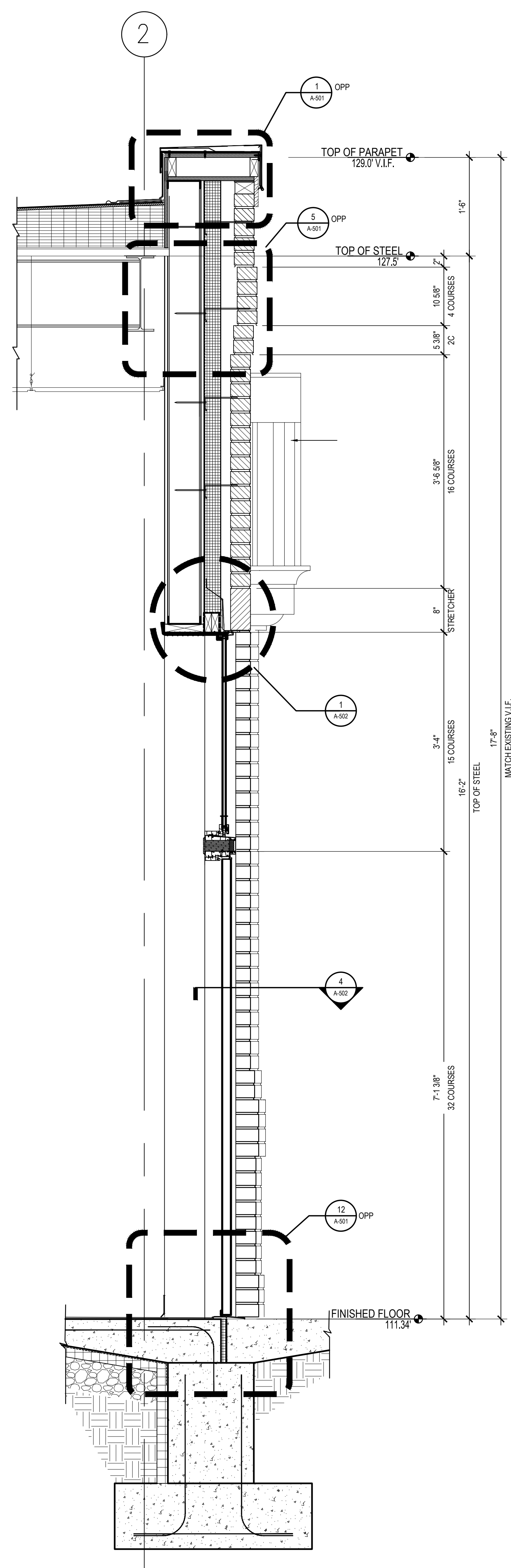
SHEET TITLE  
**BUILDING SECTIONS**  
 ISSUED FOR  
 BID  
 NOVEMBER 6, 2024  
 DRAWN: CB    CHKD: PC    PROJECT NO.: 24065  
 SHEET NO.: **A-301**



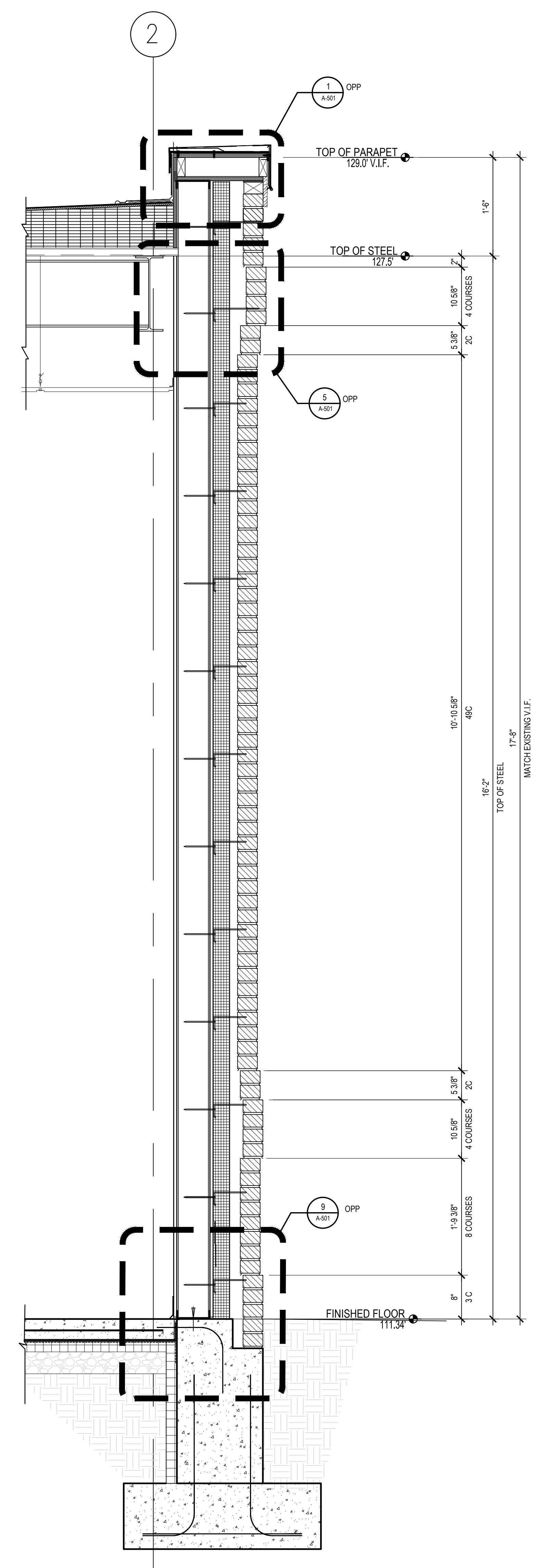
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1 WALL SECTION @ BRICK ARCH & WINDOW A1  
A-303 SCALE: 1" = 1'-0"



2 WALL SECTION @ DOOR 001  
A-303 SCALE: 1" = 1'-0"



3 WALL SECTION, TYPICAL EXTERIOR WALL  
A-303 SCALE: 1" = 1'-0"

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ARCHITECT / ENGINEER SEAL: \_\_\_\_\_

PROJECT  
TOWN OF EAST GREENWICH  
SWIFT COMMUNITY CENTER EXPANSION  
SWIFT COMMUNITY CENTER  
121 PERCE STREET  
EAST GREENWICH RI 02818

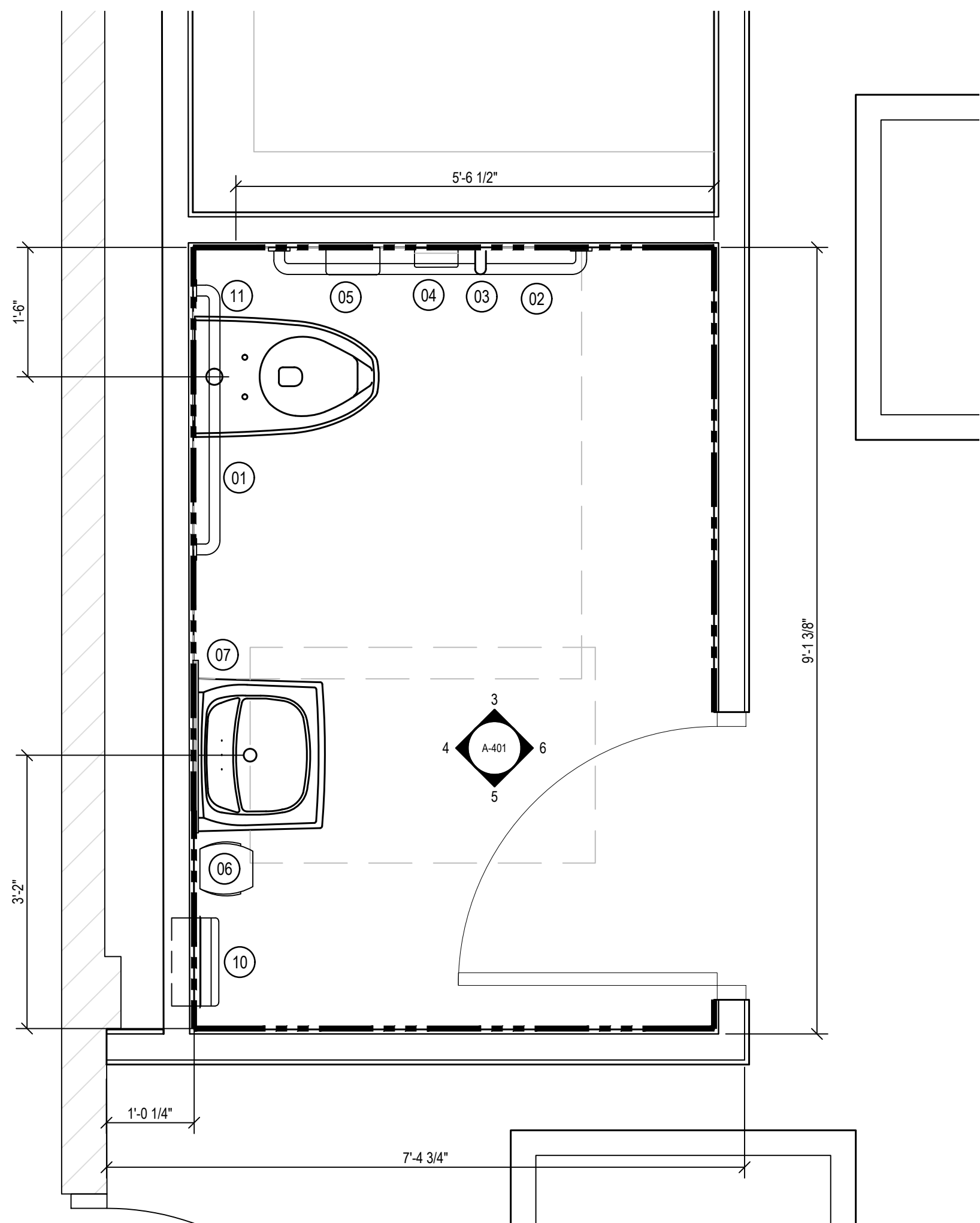
REVISIONS		
MARK	DESCRIPTION	DATE

ISSUED FOR  
BID  
NOVEMBER 6, 2024

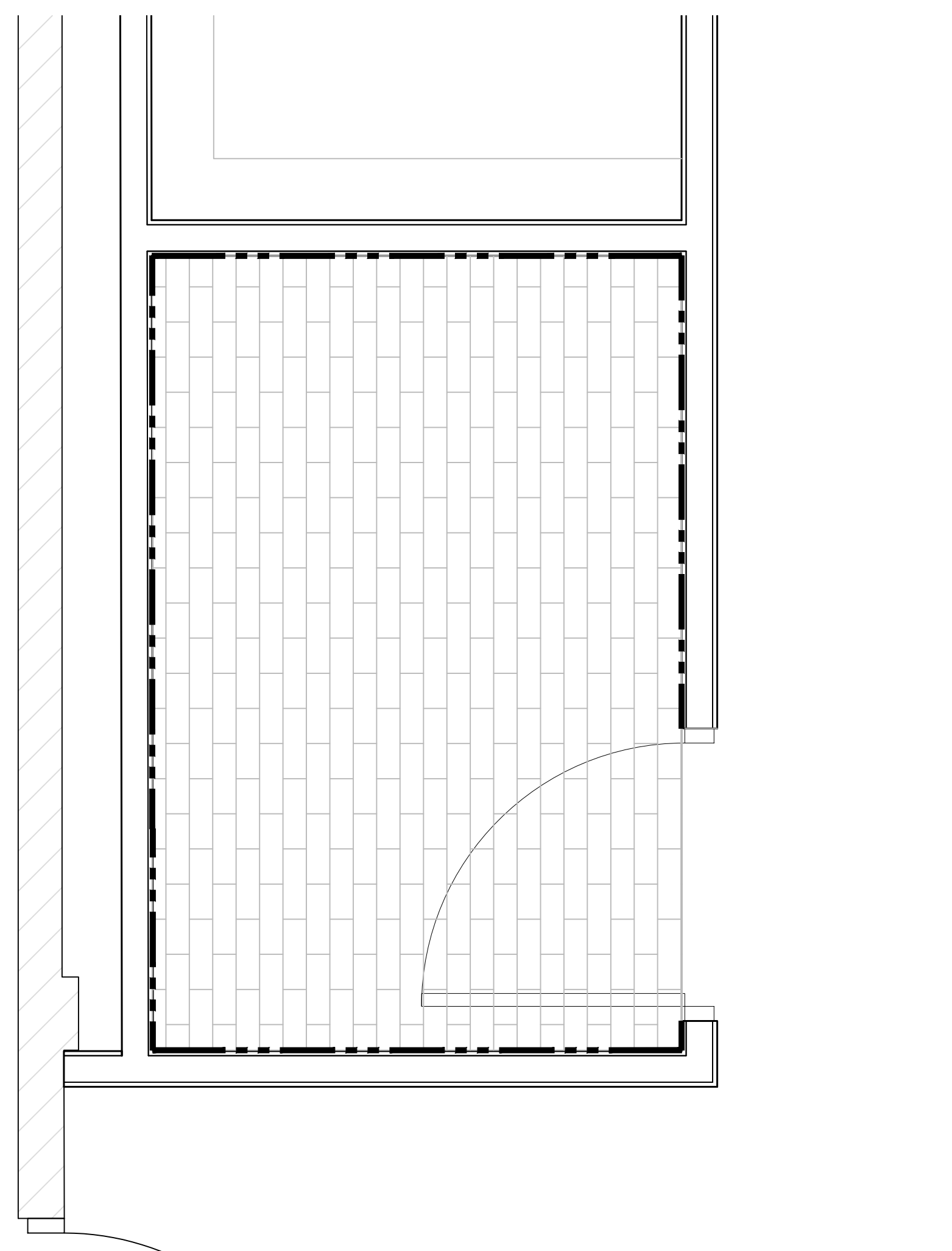
DRAWN CB	CHKD PC	PROJECT NO. 24065
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SHEET TITLE  
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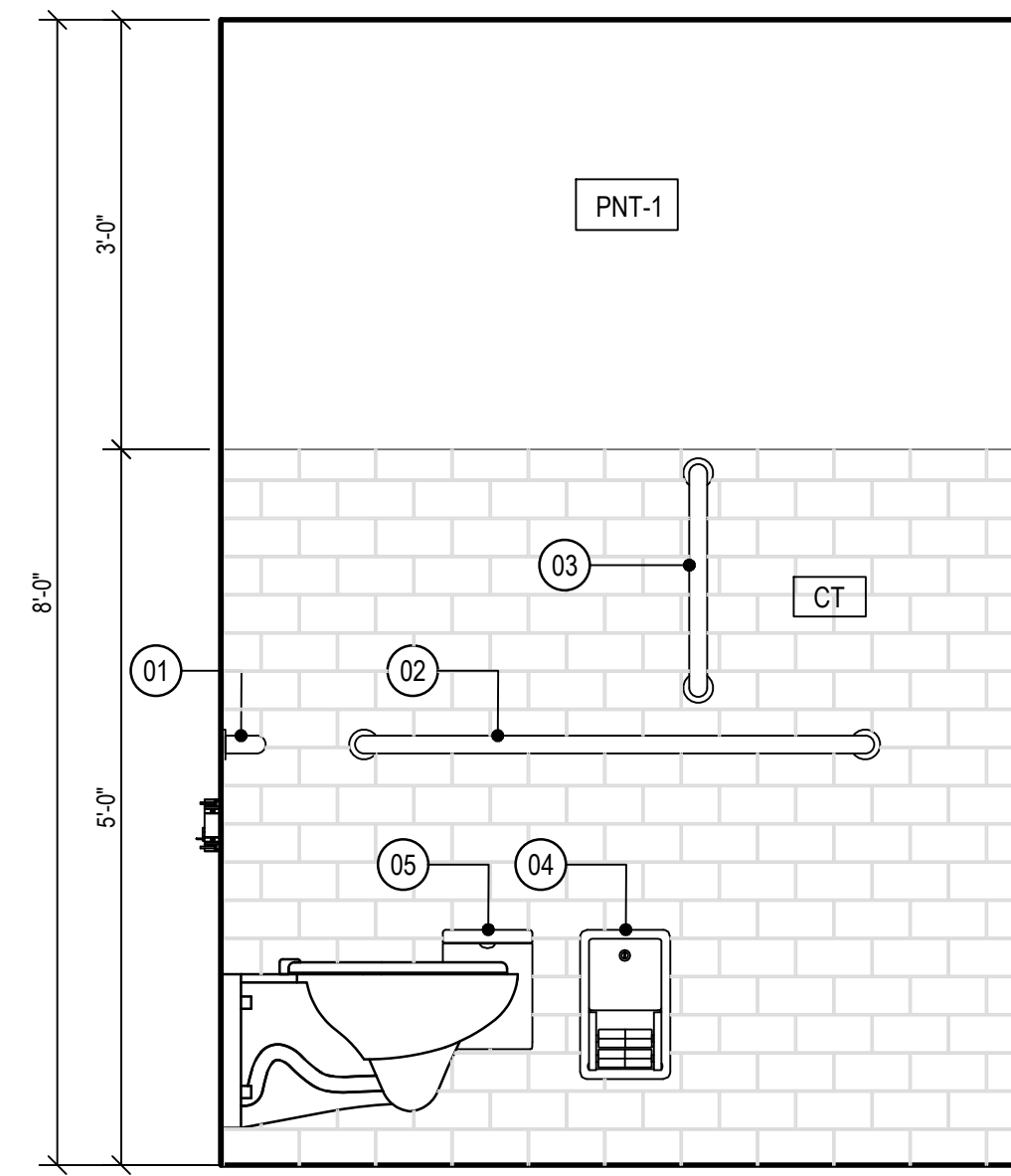
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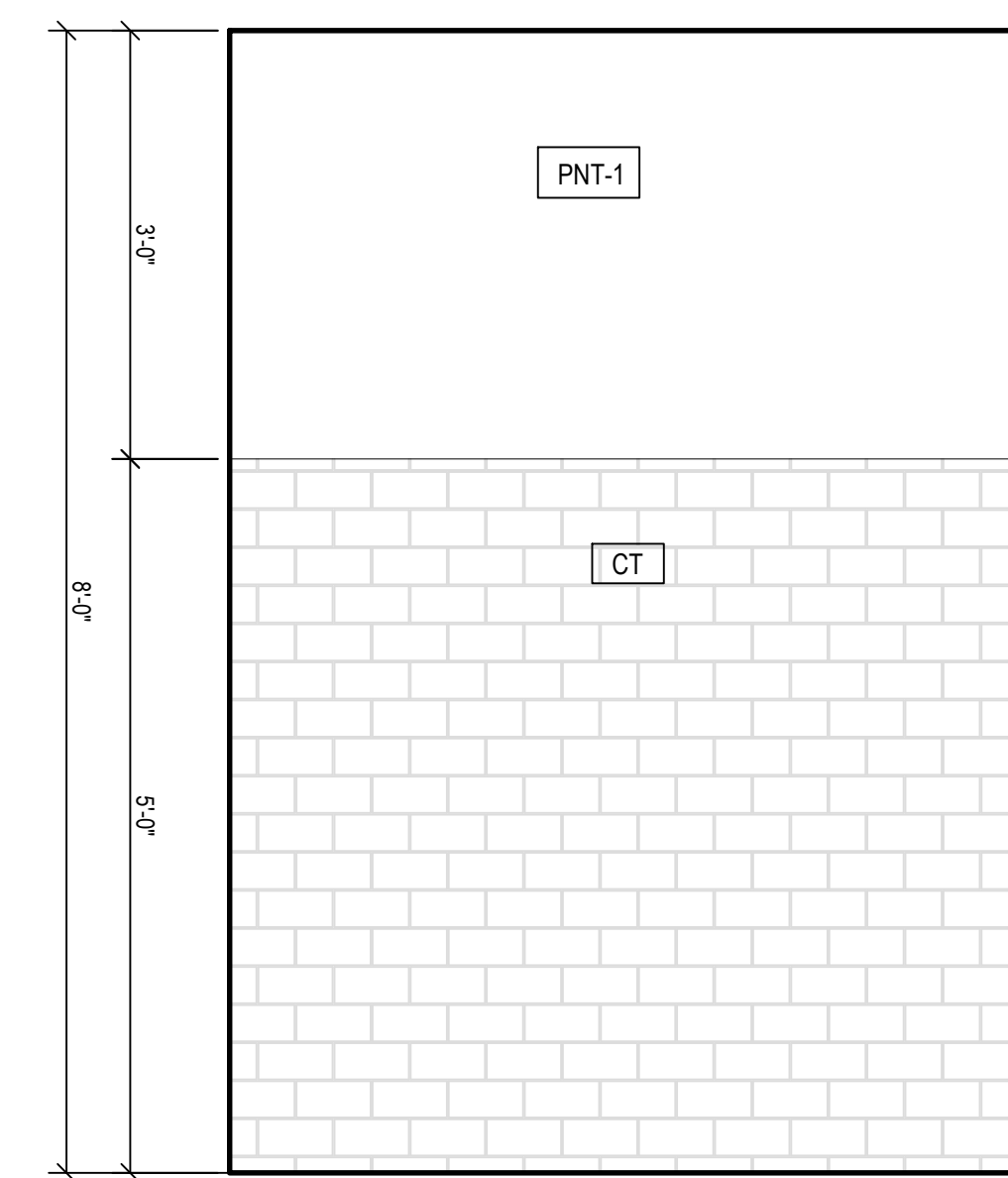
**1 ENLARGED RESTROOM FLOOR PLAN**  
A-401 SCALE: 3/4" = 1'-0"



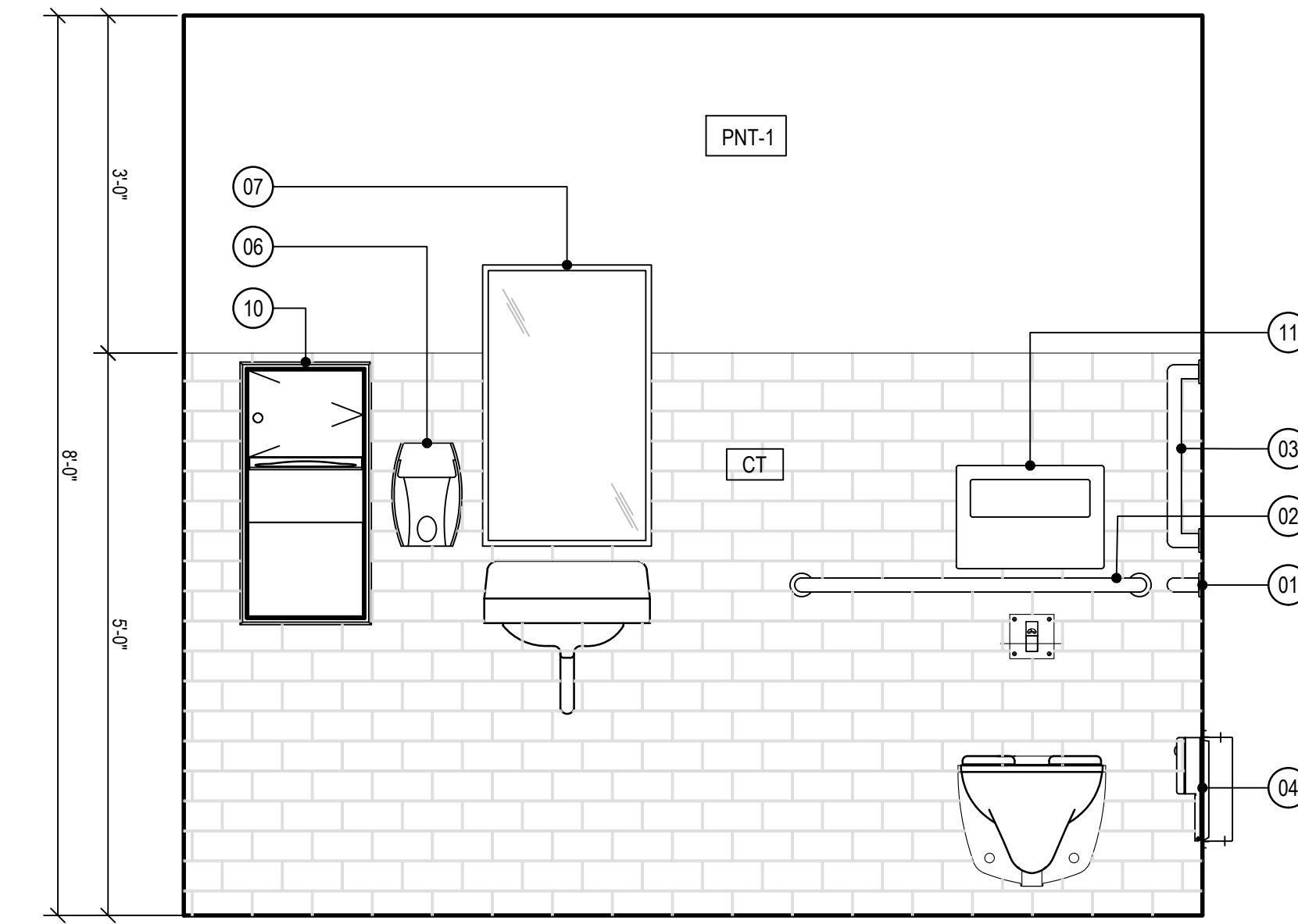
**2 ENLARGED RESTROOM - FINISH PLAN**  
A-401 SCALE: 3/4" = 1'-0"



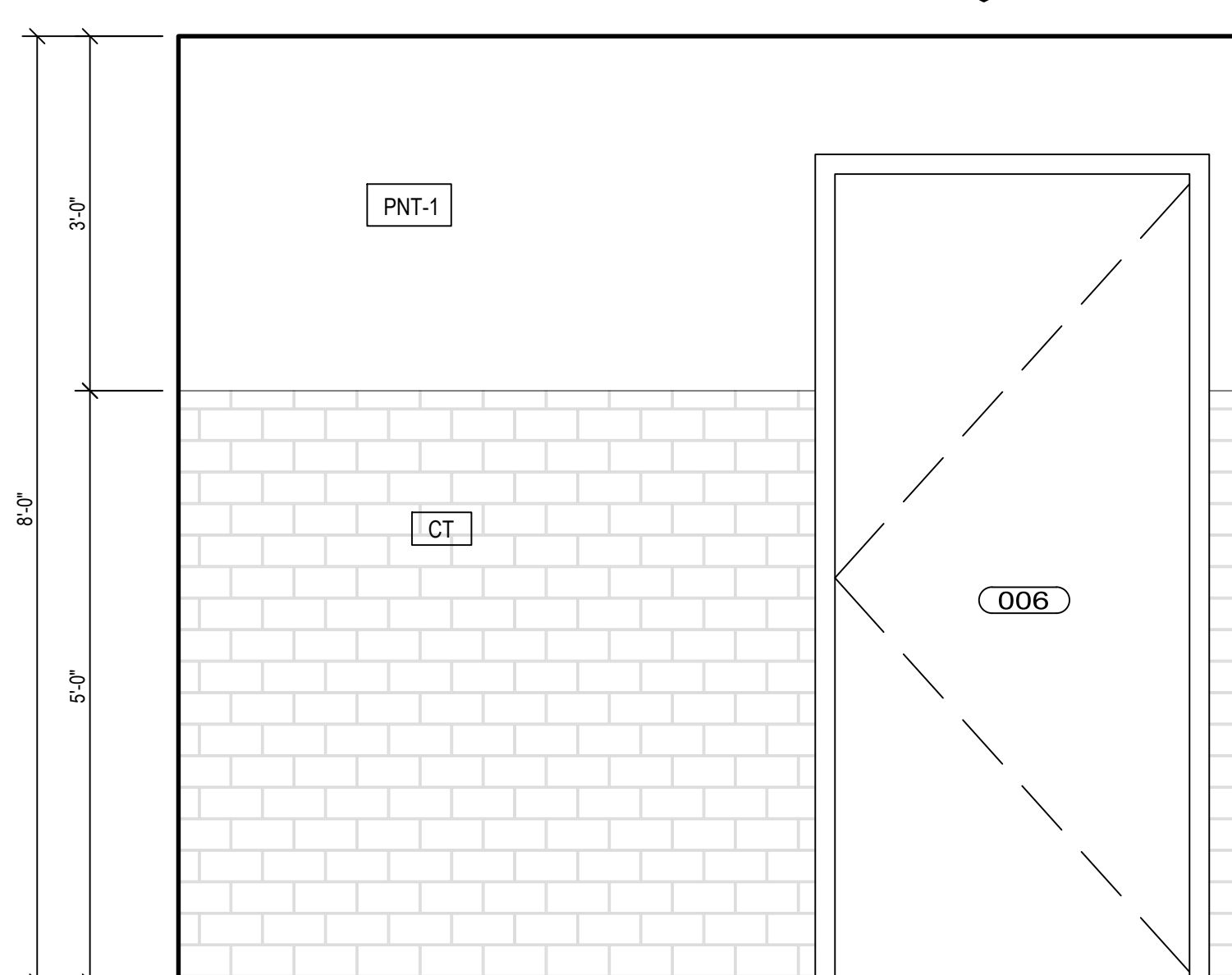
**3 INTERIOR ELEVATION - RESTROOM**  
A-401 SCALE: 3/4" = 1'-0"



**5 INTERIOR ELEVATION - RESTROOM**  
A-401 SCALE: 3/4" = 1'-0"



**4 INTERIOR ELEVATION - RESTROOM**  
A-401 SCALE: 3/4" = 1'-0"



**6 INTERIOR ELEVATION - RESTROOM**  
A-401 SCALE: 3/4" = 1'-0"

SYMBOL LEGEND	
	INDICATES NEW WALL. REFER TO WALL TYPE FOR MORE INFORMATION.
	KEY NOTE TAG. SEE KEY NOTE INSTRUCTIONS / NARRATIVE FOR MORE INFORMATION.
	INDICATES 9" HIGH TILE WAINGSCOT IN RESTROOM.
	INDICATES NEW WALL TYPE.
	INDICATES NEW 4x12 SUBWAY TILE.
	INDICATES NEW 12x24 PORCELAIN TILE FLOORING.

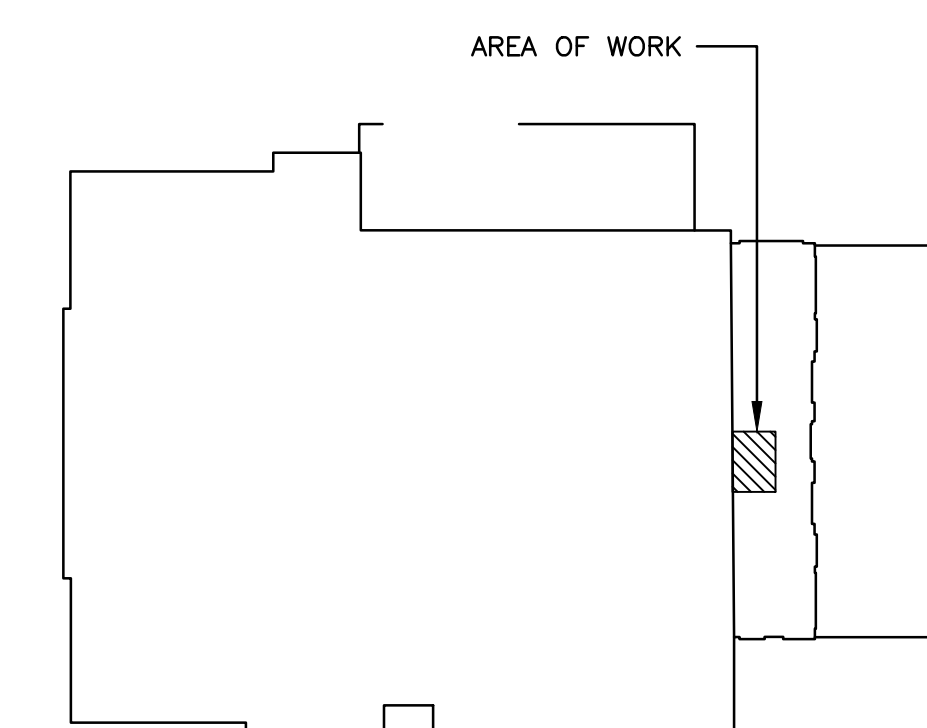
  

RESTROOM ACCESSORY SCHEDULE	
ACCESSORY TAG	DESCRIPTION
(01)	BOBRICK 42" GRAB BAR - B886
(02)	BOBRICK 36" GRAB BAR - B886
(03)	BOBRICK 18" GRAB BAR - B886
(04)	BOBRICK TOILET PAPER DISPENSER - B288
(05)	BOBRICK SURFACE MOUNTED SANITARY NAPKIN DISPOSAL - B-270
(06)	ULINE AUTOMATIC SOAP DISPENSER - H3415 GR
(07)	BOBRICK RECESSED PAPER TOWEL DISPENSER/WASTE RECEPTACLE - B-389
(08)	BOBRICK S.S. CHANNEL FRAME 18" x 20" IMPROV - B-200 1820
(09)	BOBRICK 8-221 SURFACE MOUNTED SEAT COVER DISPENSER

**GENERAL NOTES:**

- CONTRACTOR TO FURNISH & INSTALL WOOD BLOCKING FOR ALL ACCESSORIES PER MANUFACTURER'S REQUIREMENTS.
- ALL DIMENSIONS ARE TAKEN FROM FINISH FLOOR.
- MANUFACTURERS LISTED ARE BASIS OF DESIGN. SEE SPECIFICATION FOR LIST OF ACCEPTABLE MANUFACTURERS FOR SUBSTITUTION PROCEDURES.



SWIFT COMMUNITY CENTER  
KEY PLAN - SCALE: 1/32" = 1'-0"

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DATE OF SIGNATURE:  
DATE OF REGISTRATION EXPIRATION:  
ARCHITECT / ENGINEER SEAL

PROJECT  
 TOWN OF EAST GREENWICH  
 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
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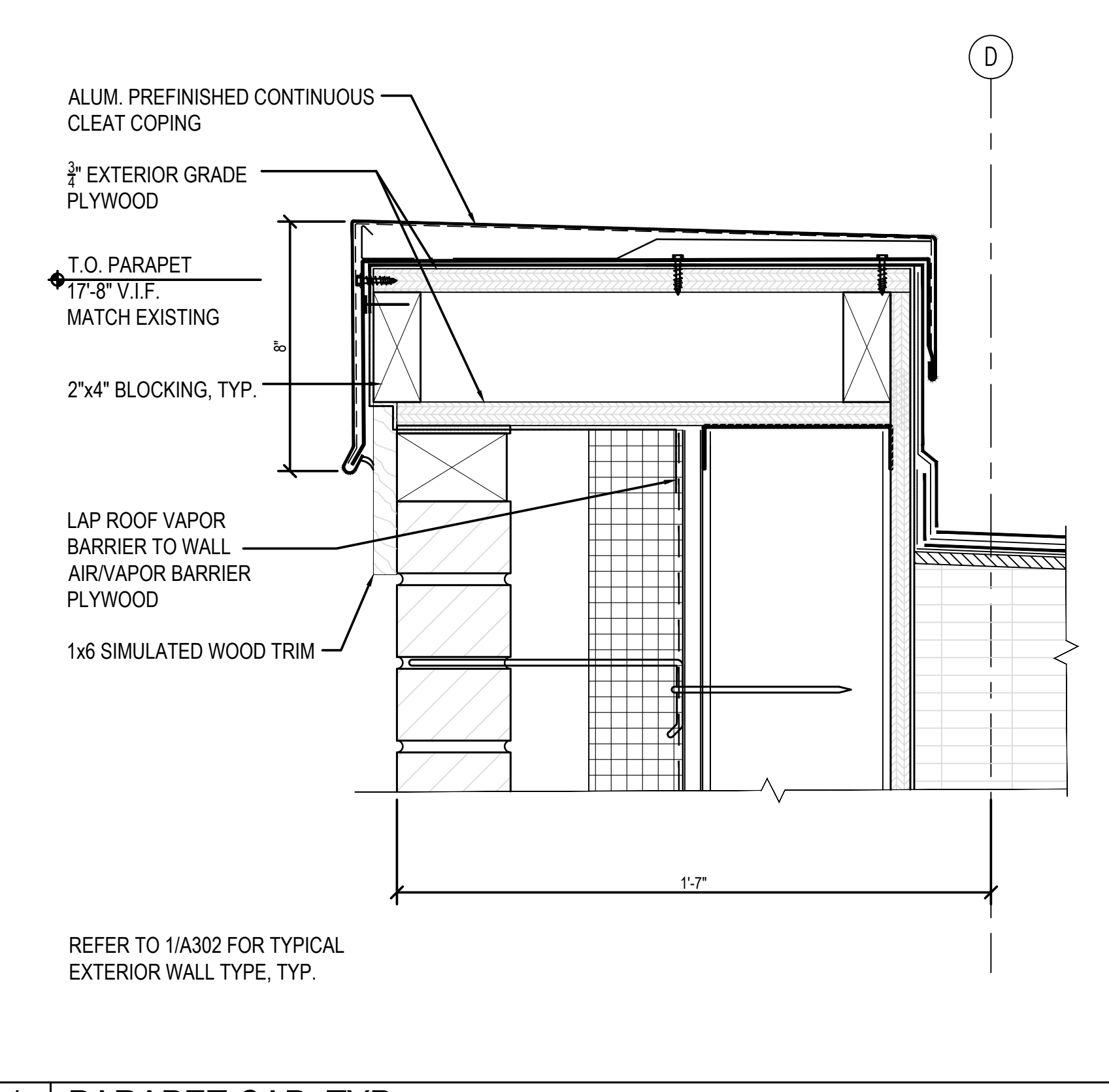
REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
 ENLARGED RESTROOM  
 FLOOR PLAN AND  
 INTERIOR ELEVATIONS

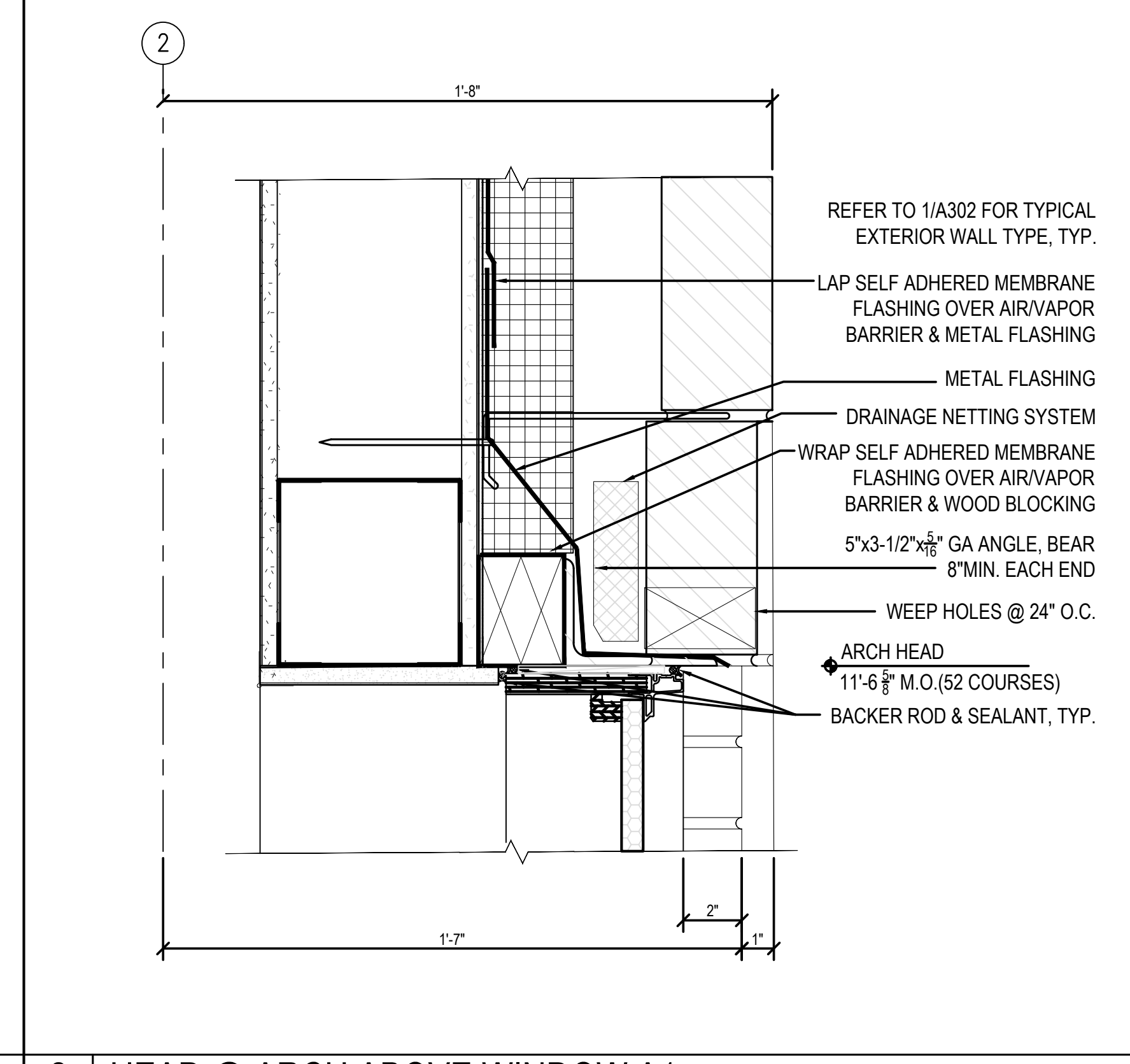
ISSUED FOR  
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 NOVEMBER 6, 2024  
 DRAWN: CB  
 CHKD: TAD  
 PROJECT NO.: 24065  
 SHEET NO.:

**A-401**

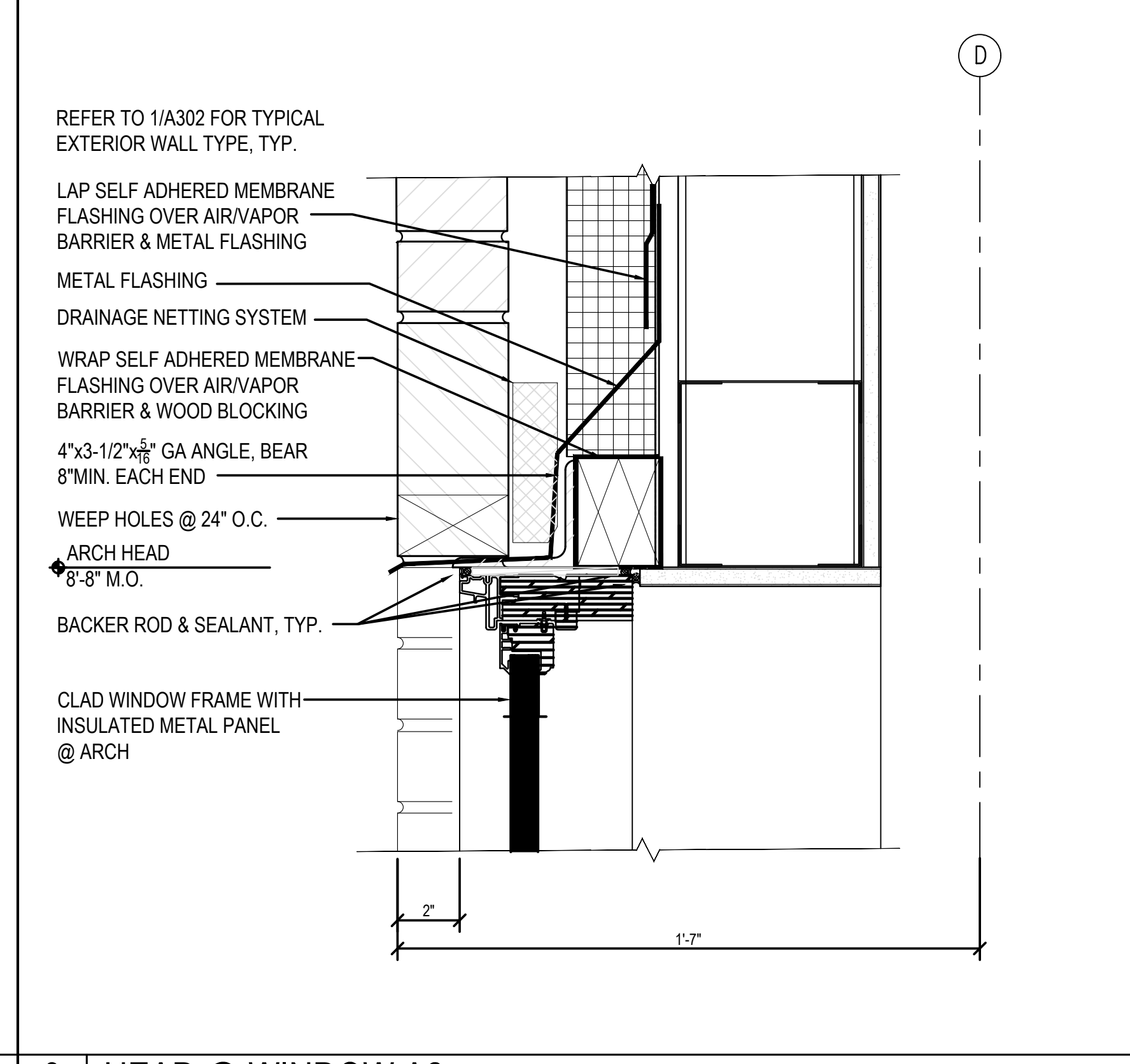
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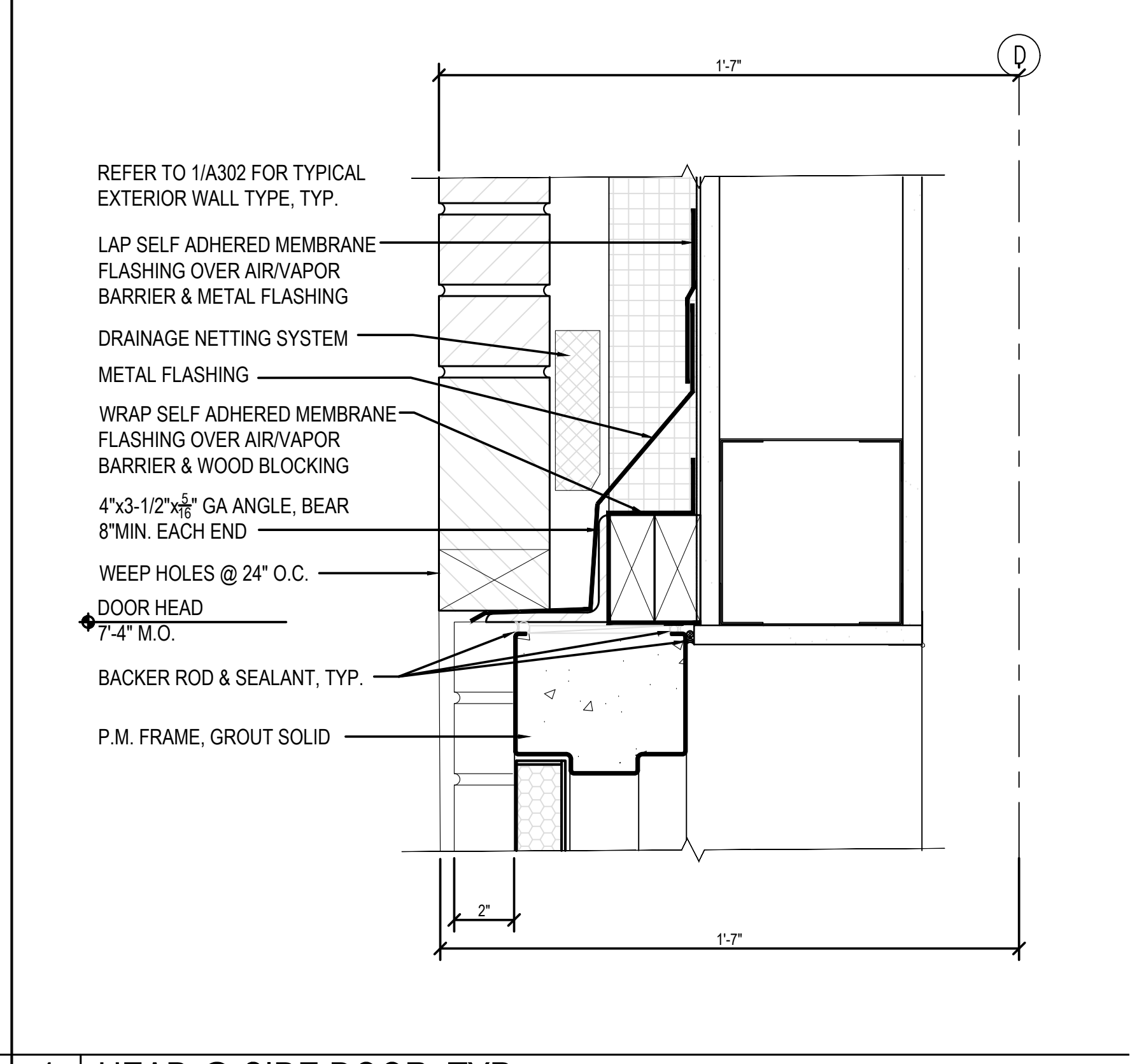
1 | PARAPET CAP, TYP. SCALE: 3"=1'-0"



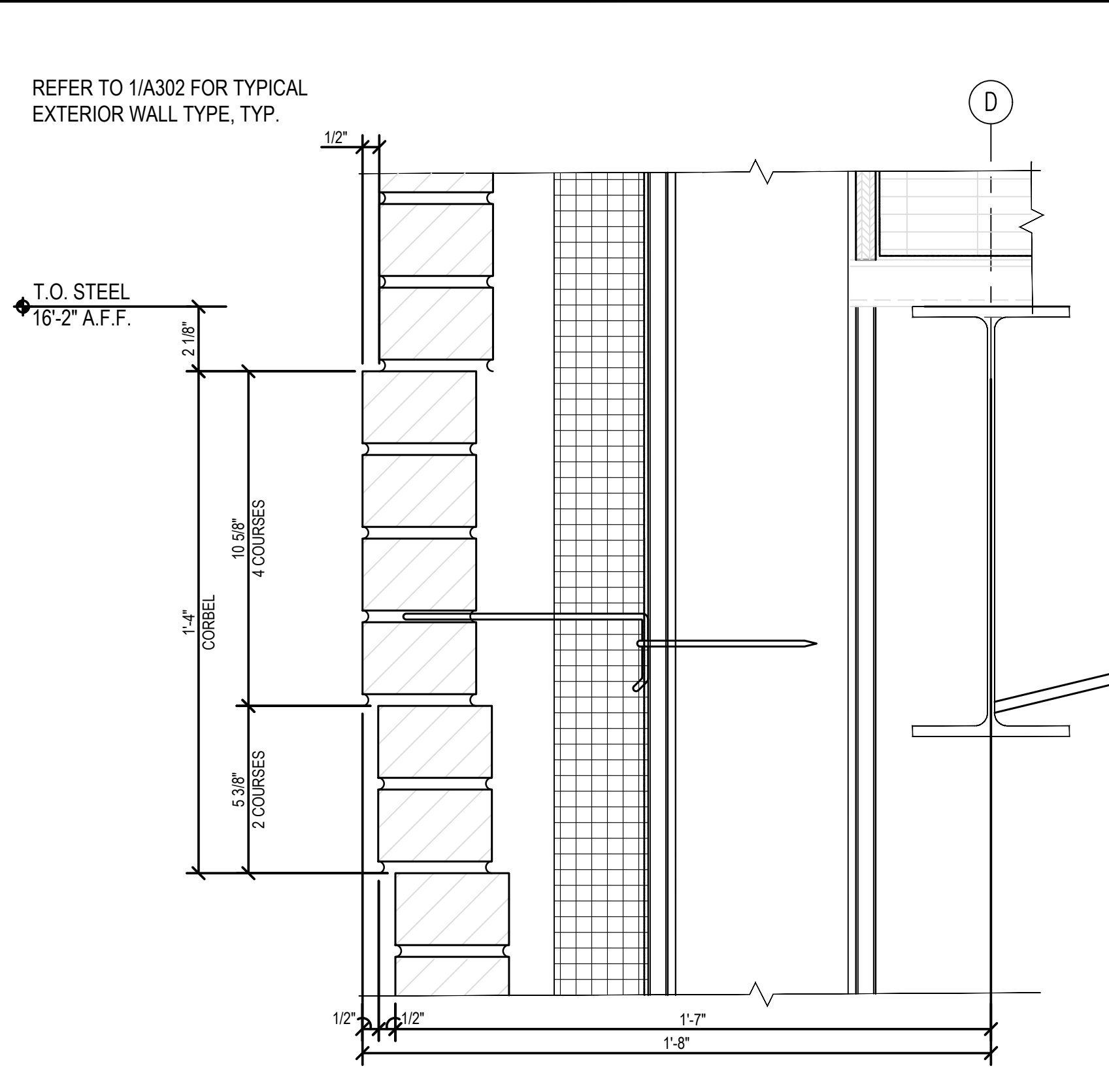
2 | HEAD @ ARCH ABOVE WINDOW A1 SCALE: 3"=1'-0"



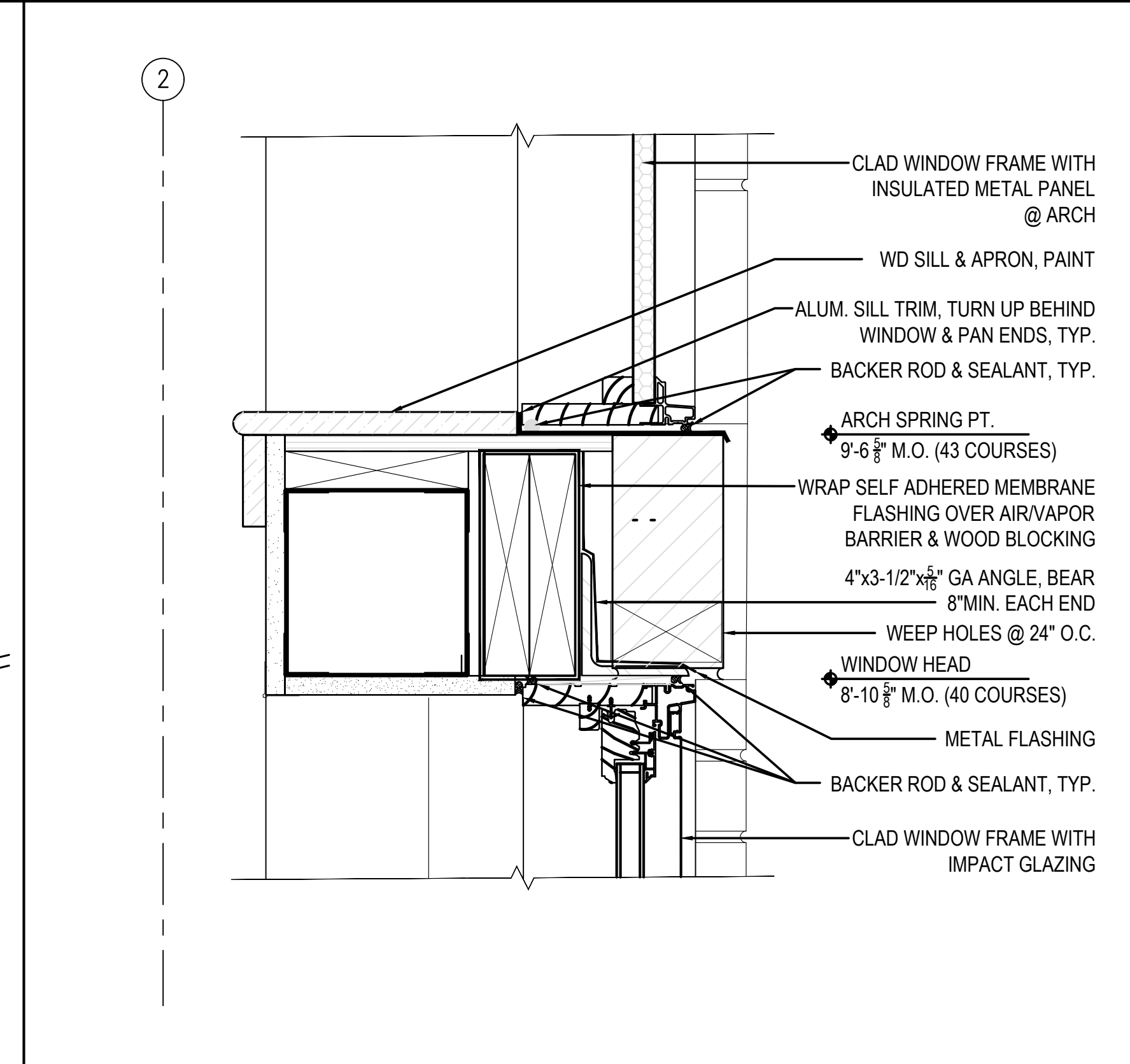
3 | HEAD @ WINDOW A2 SCALE: 3"=1'-0"



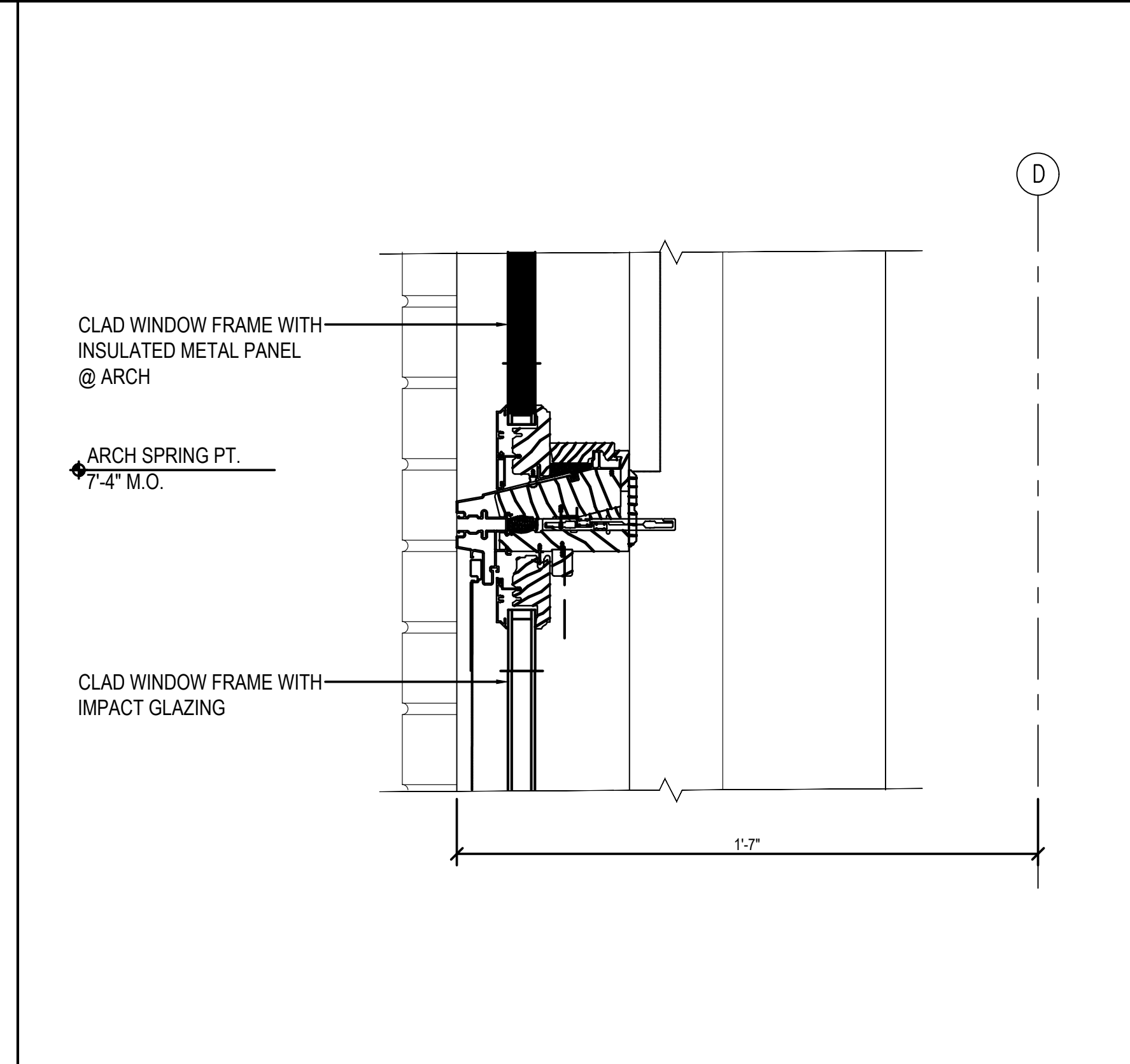
4 | HEAD @ SIDE DOOR, TYP. SCALE: 3"=1'-0"



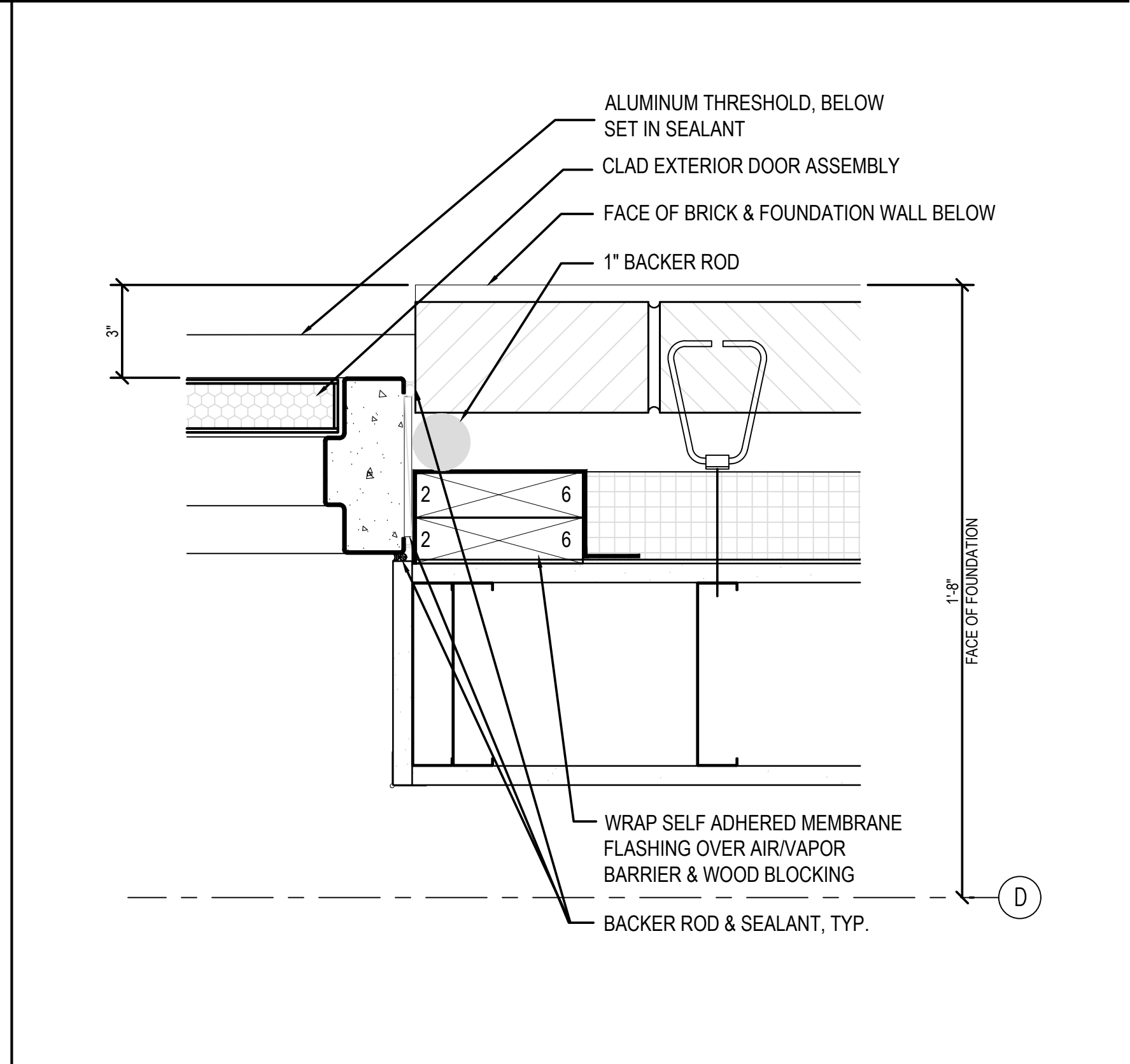
5 | BRICK CORBEL @ PARAPET CAP SCALE: 3"=1'-0"



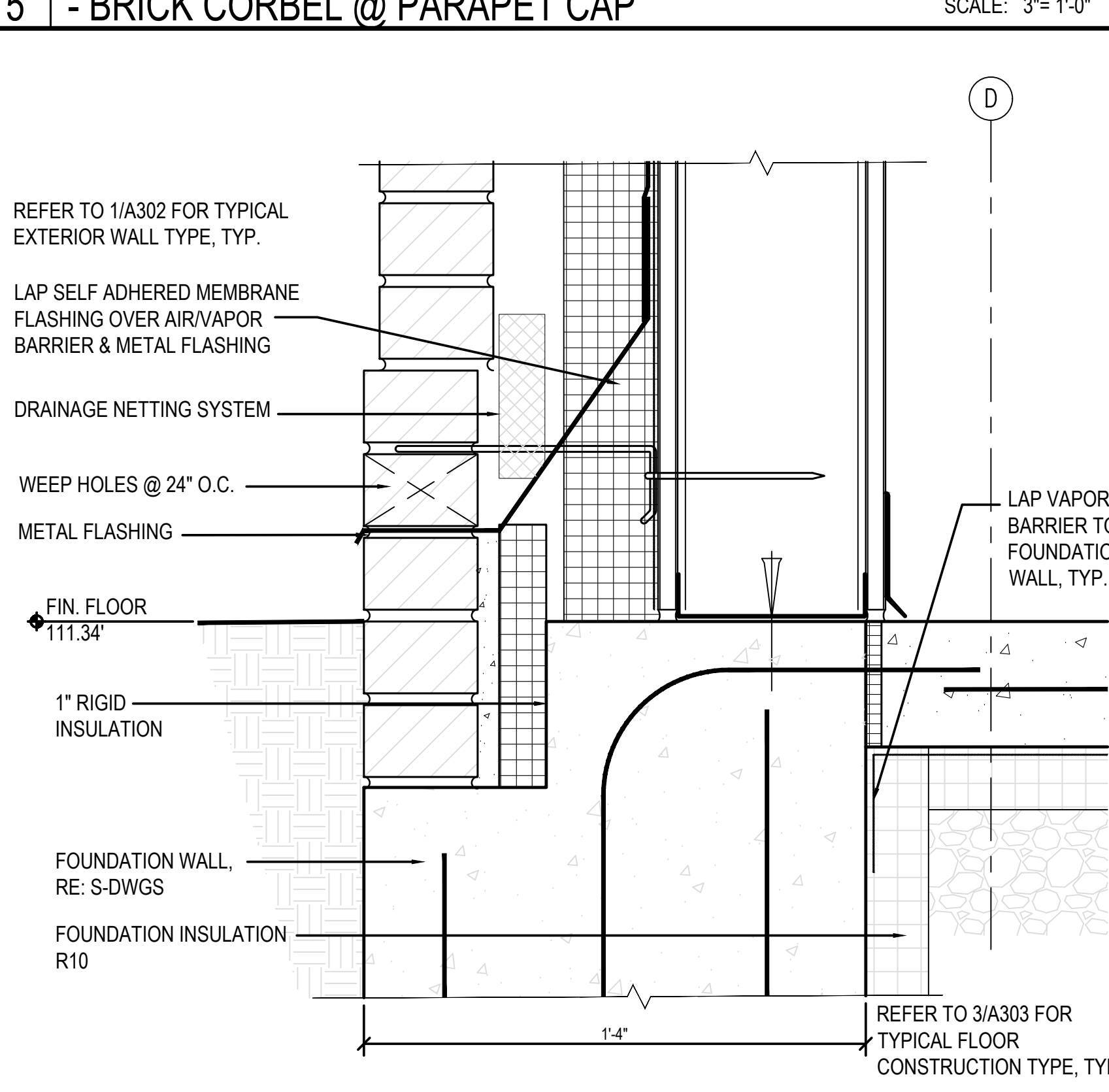
6 | HEAD @ WINDOW A1 SCALE: 3"=1'-0"



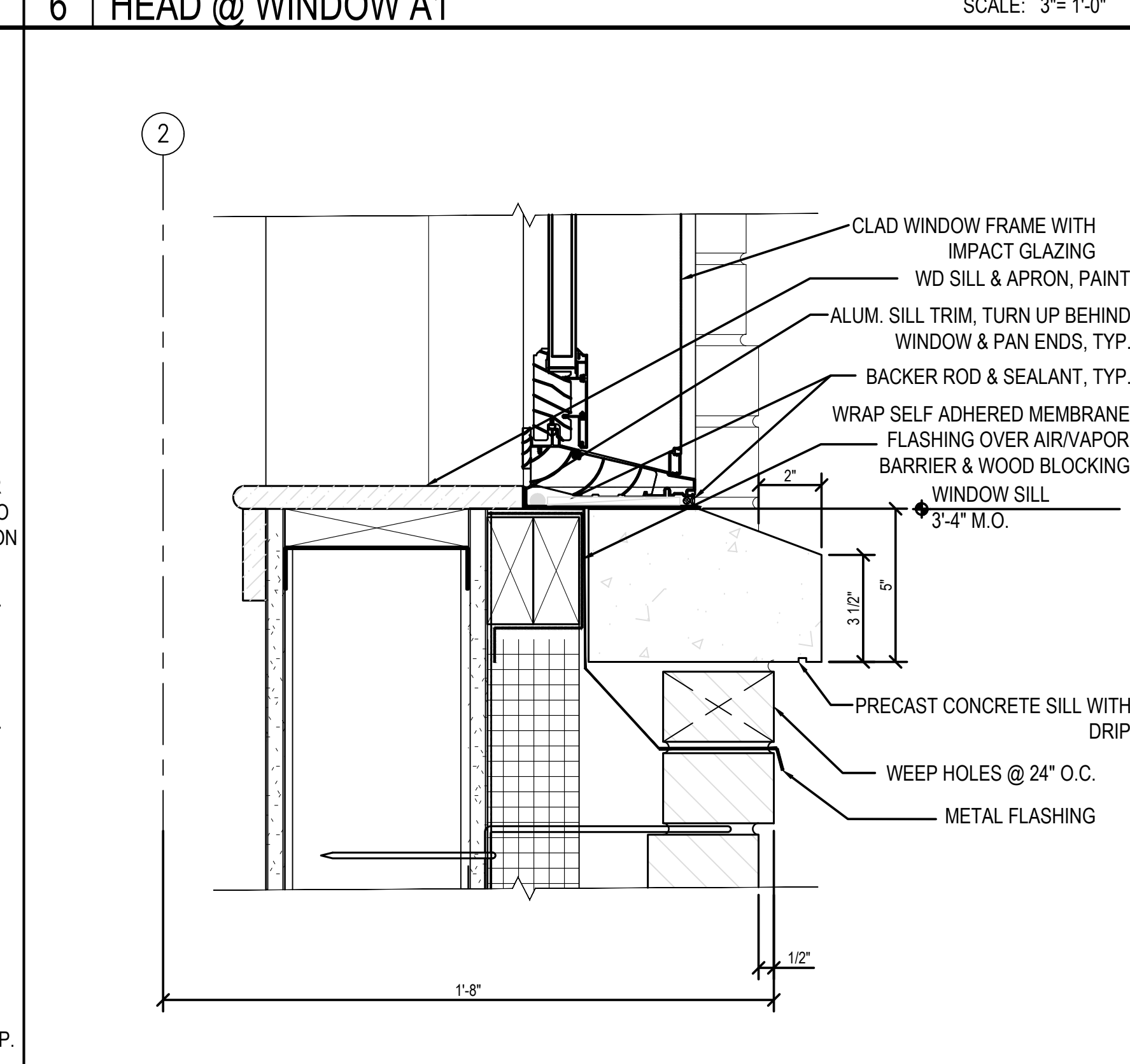
7 | MULLION @ WINDOW A2 SCALE: 3"=1'-0"



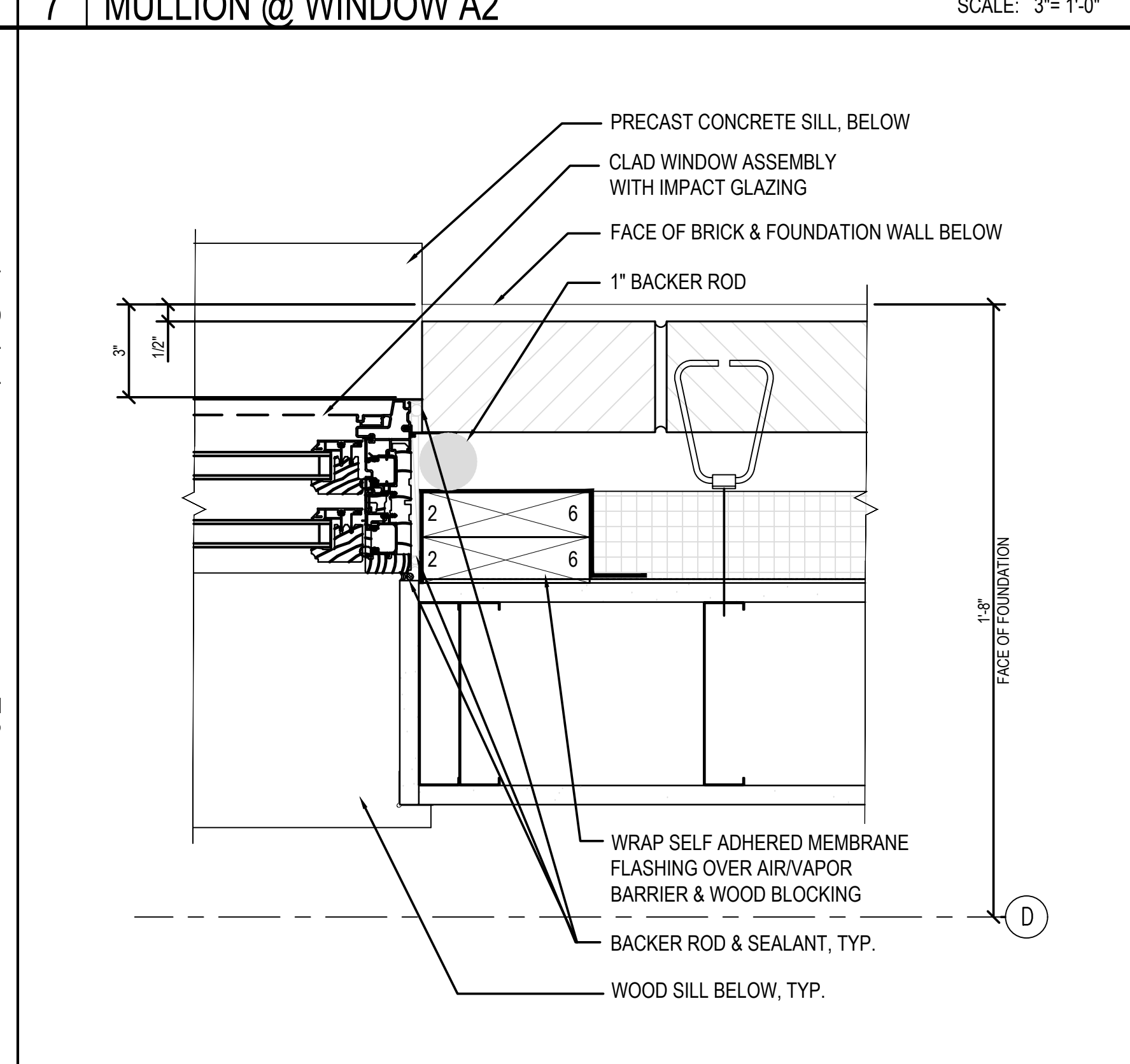
8 | JAMB @ SIDE DOOR, TYP. SCALE: 3"=1'-0"



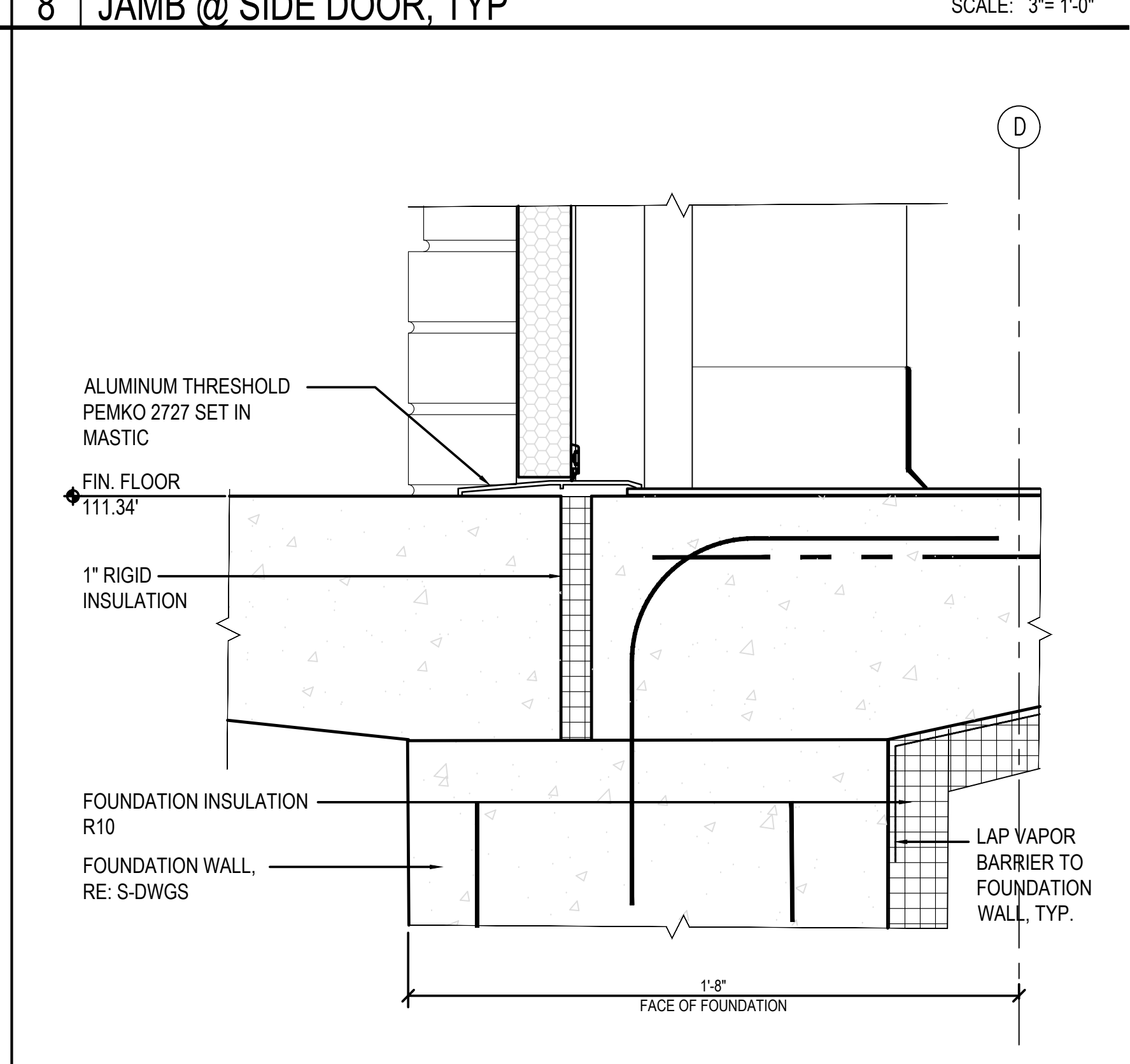
9 | BRICK CORBEL @ WATERTABLE AND BASE SCALE: 3"=1'-0"



10 | WINDOW SILL, TYP. SCALE: 3"=1'-0"



11 | JAMB @ WINDOW A2 SCALE: 3"=1'-0"



12 | SILL @ SIDE DOOR, TYP. SCALE: 3"=1'-0"

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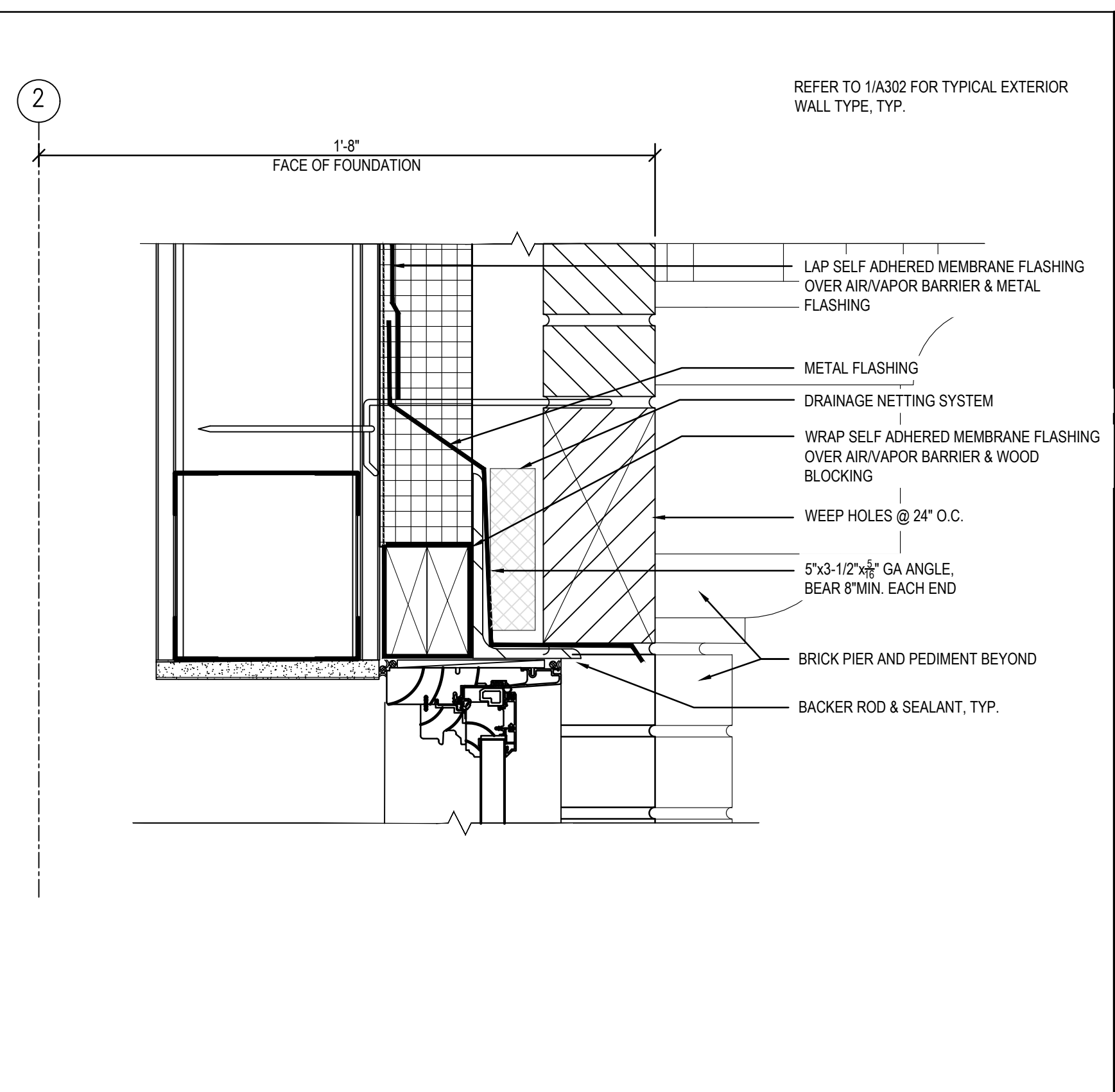
PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE

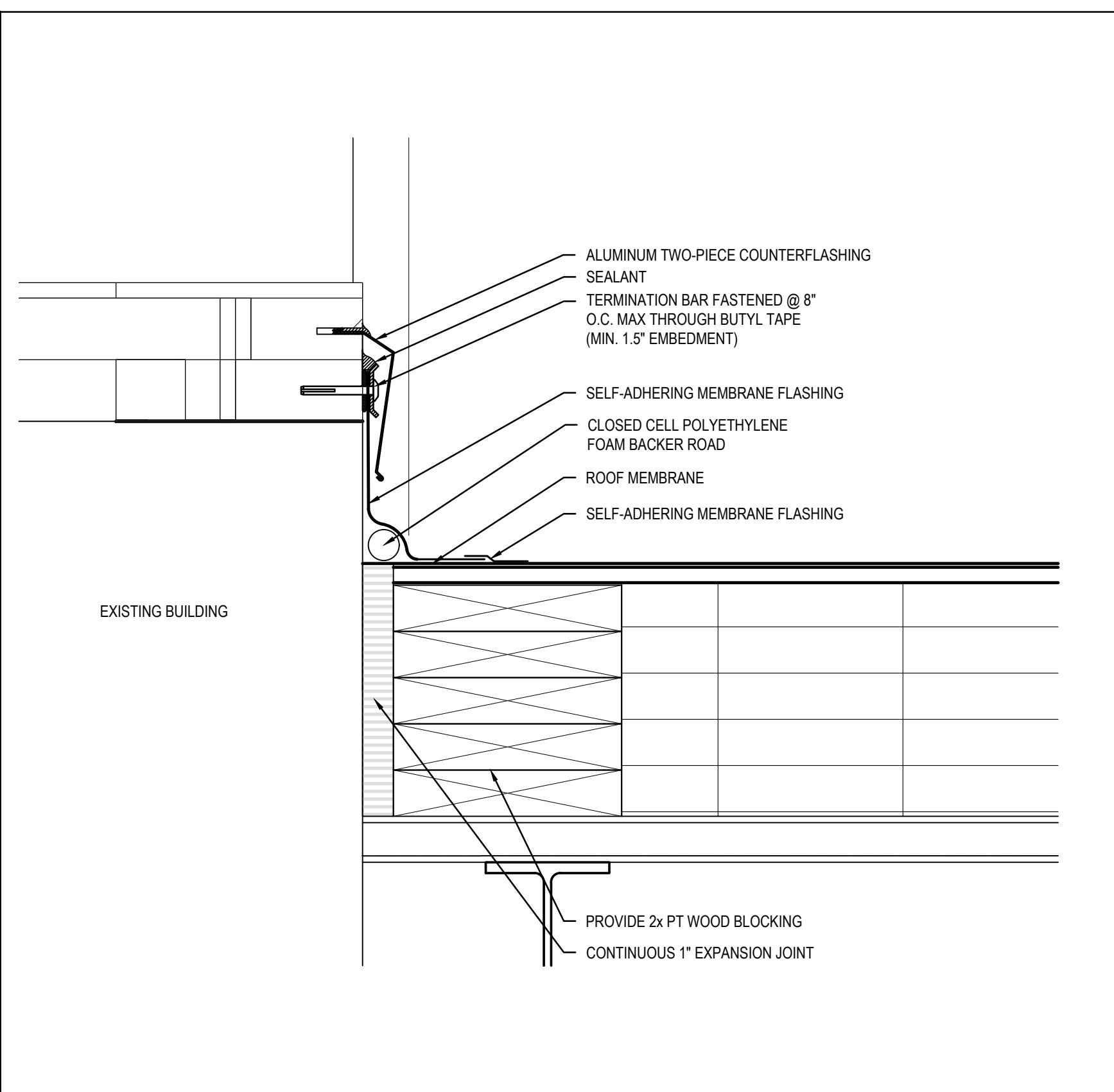
SHEET TITLE

EXTERIOR DETAILS  
 ISSUED FOR BID  
 NOVEMBER 6, 2024  
 DRAWN: - CHKD: - PROJECT NO: 24065  
 SHEET NO: A-501

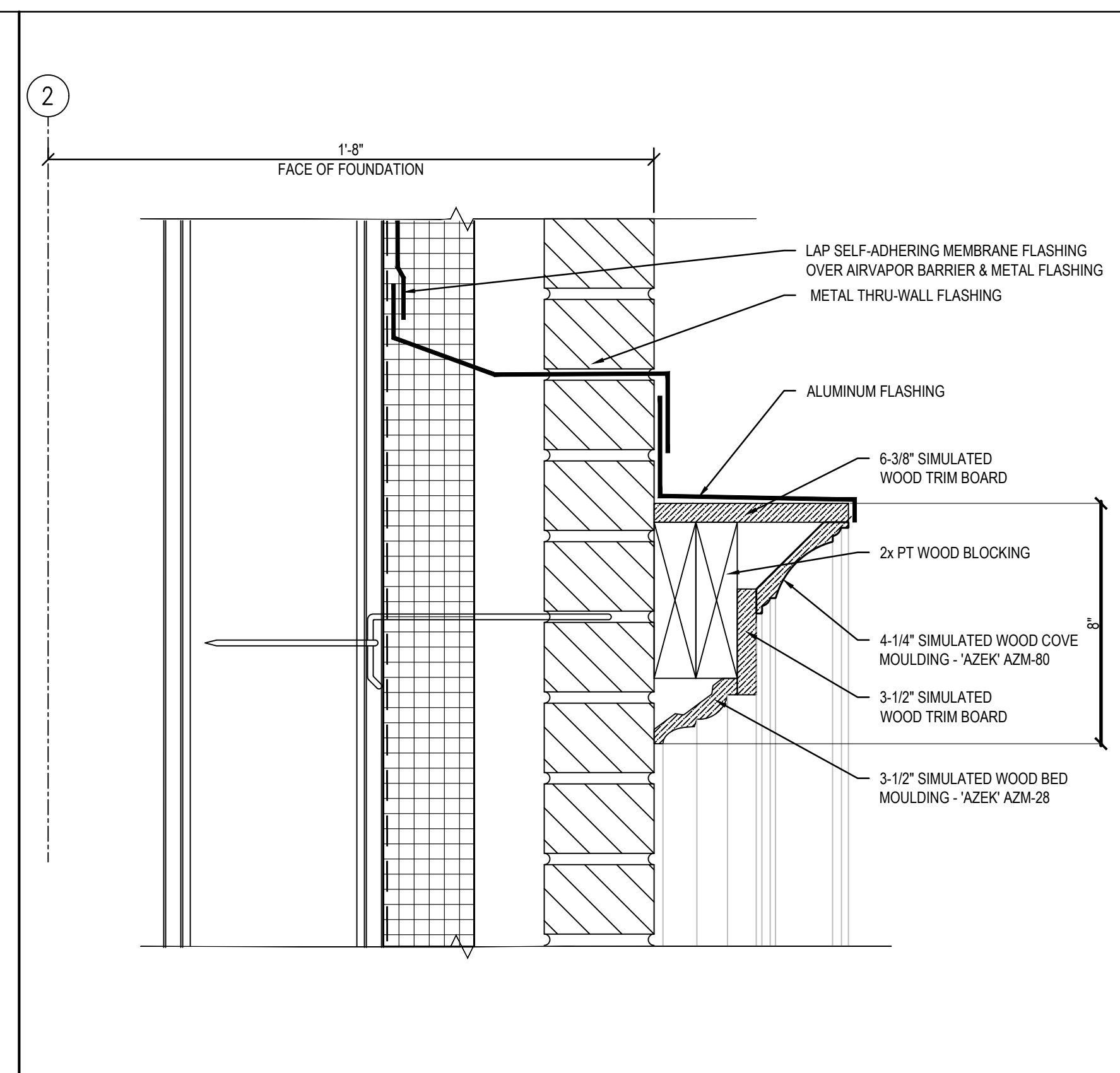
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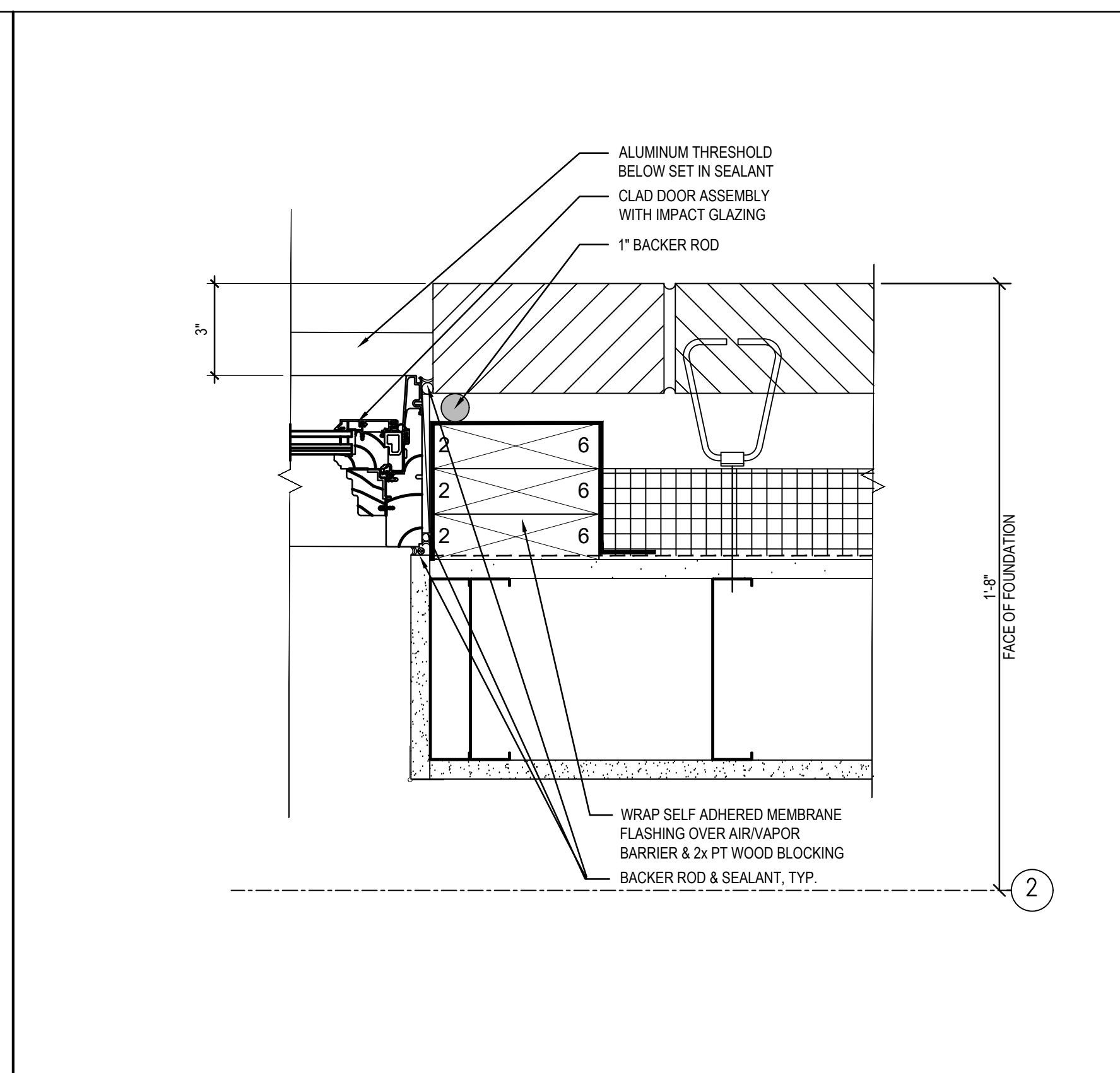
1 | HEAD @ DOOR 001 SCALE: 3" = 1'-0"



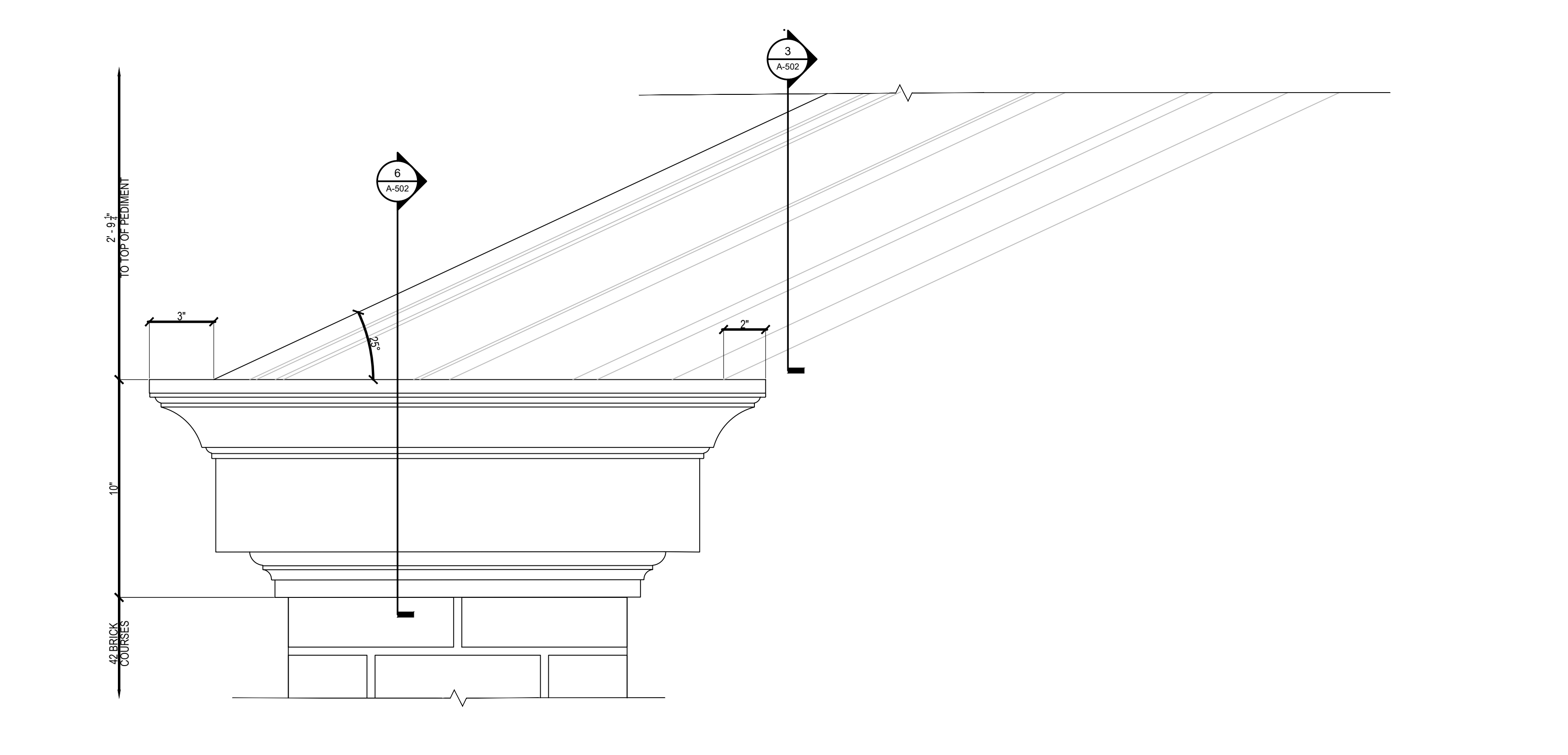
2 | ROOF TO WALL EXPANSION JOINT DETAIL SCALE: 3" = 1'-0"



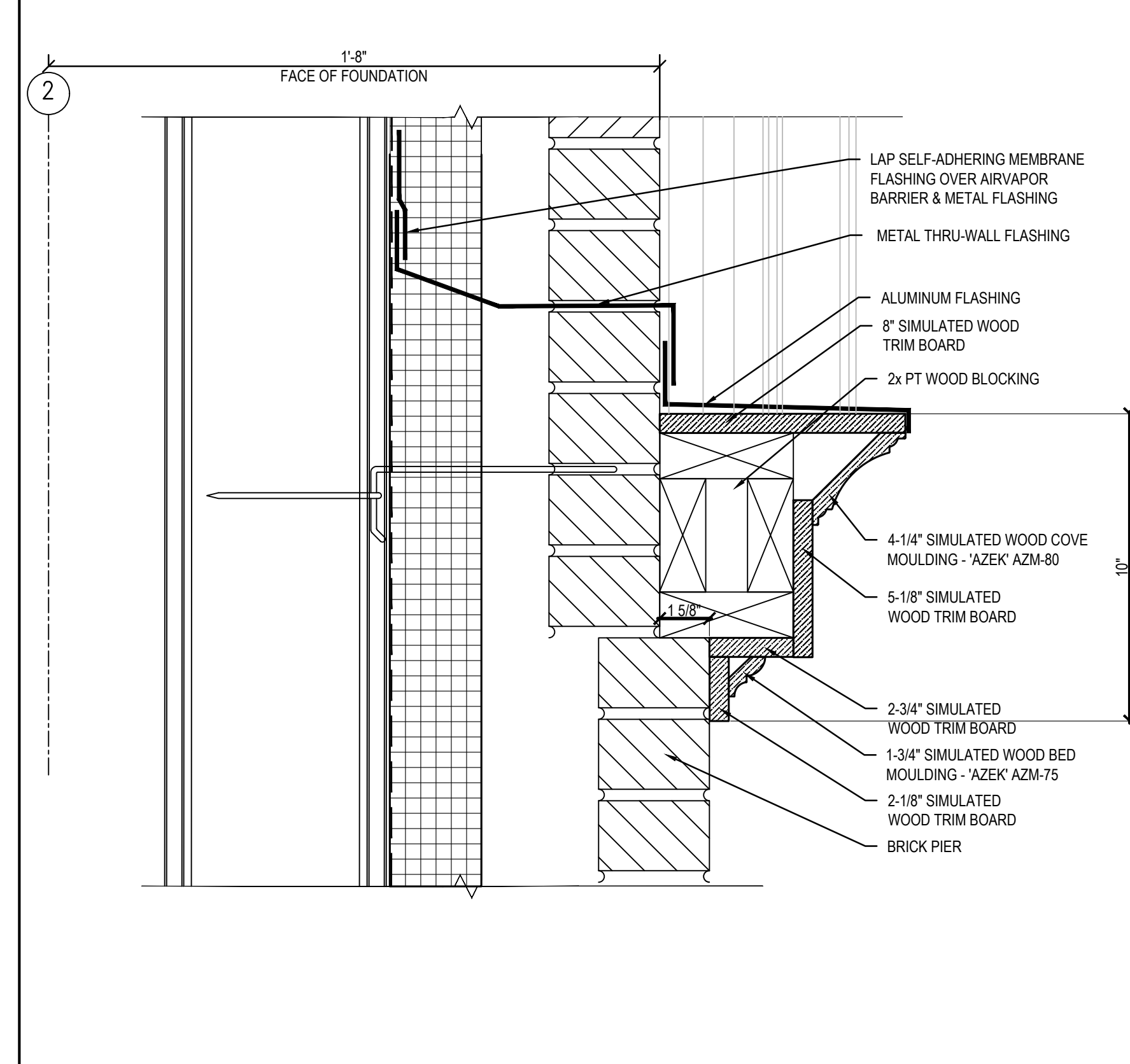
3 | PEDIMENT DETAIL SCALE: 3" = 1'-0"



4 | JAMB @ DOOR 001 SCALE: 3" = 1'-0"



5 | PIER CAP @ BASE OF PEDIMENT SCALE: 3" = 1'-0"



6 | SECTION @ PIER CAP SCALE: 3" = 1'-0"

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 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
 121 PERCE STREET  
 EAST GREENWICH, RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR DETAILS

ISSUED FOR BID  
NOVEMBER 6, 2024

DRAWN	CHKD	PROJECT NO.
-	-	24065

SHEET NO.

A-502

11/15/2024 2:19 PM

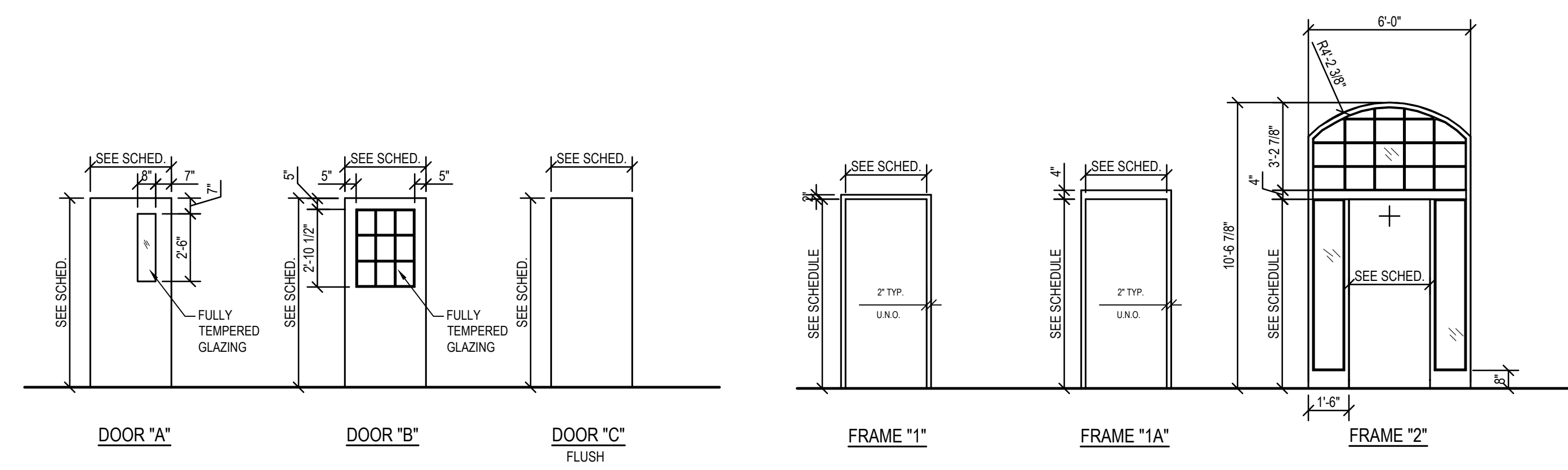
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# DOOR AND FRAME SCHEDULE

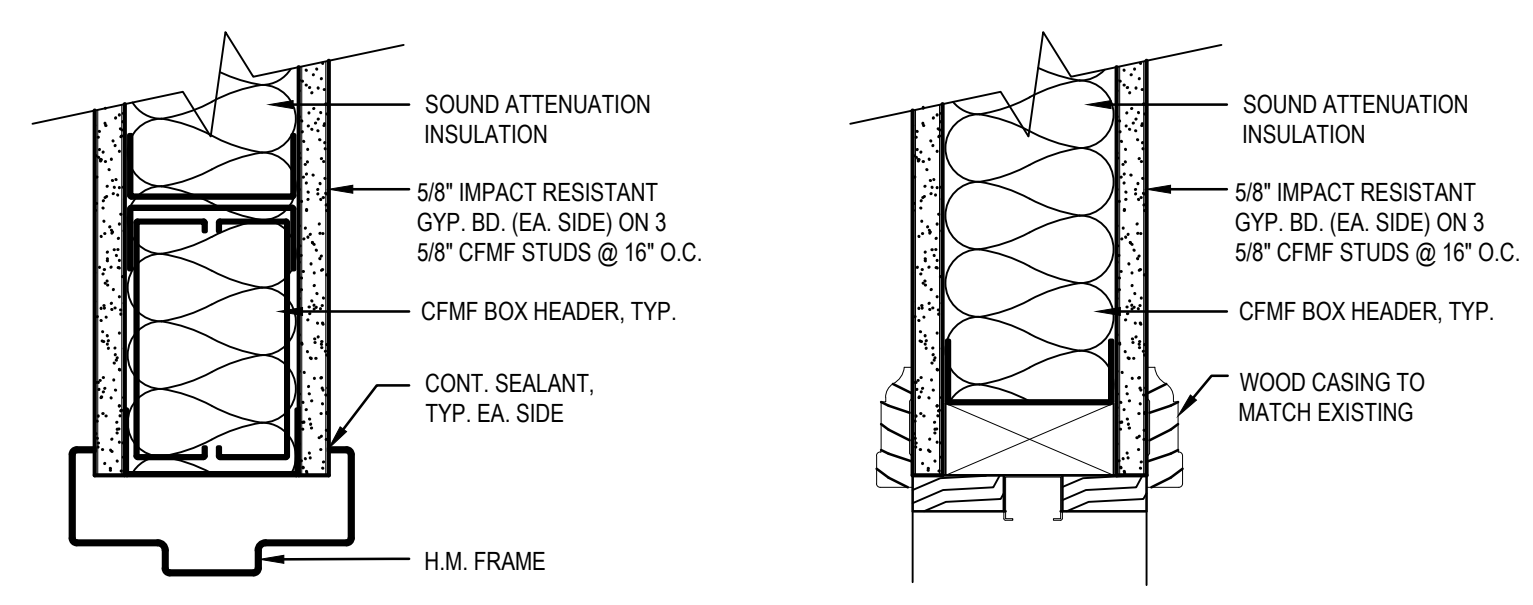
NUMBER	DOOR				FRAME			DETAILS			FIRE RATING	HARDWARE SET	REMARKS	
	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	TYPE	MATERIAL	DEPTH	HEAD	JAMB				SILL
001	3'-0"	7'-0"	1 3/4"	B	WD CLAD	2	WD CLAD	5 7/8"	1/A-502	4/A-502	12/A501	N/A	SET 2	
002	3'-0"	7'-0"	1 3/4"	A	WD	1	PM	5 7/8"	H-1	J-1	-	N/A	SET 1	
003	3'-0"	7'-0"	1 3/4"	A	WD	1	PM	5 7/8"	H-1	J-1	-	N/A	SET 1	
004	3'-0"	7'-0"	1 3/4"	C	IMC	1A	PM	5 7/8"	4/A-501	8/A-501	12/A501	N/A	SET 2	
005	3'-0"	7'-0"	1 3/4"	C	IMC	1A	PM	5 7/8"	4/A-501	8/A-501	12/A501	N/A	SET 2	
006	3'-0"	7'-0"	1 3/4"	C	WD	1	PM	5 7/8"	H-1	J-1	S-1	N/A	SET 1	
007	3'-0"	7'-0"	1 3/4"	C	WD	1	PM	5 7/8"	H-1	J-1	S-1	N/A	SET 3	
008	3'-0"	7'-0"	1 3/4"	C	WD	1	PM	5 7/8"	H-1	J-1	S-1	N/A	SET 4	
009	3'-0"	7'-0"	1 3/4"	C	WD	1	PM	5 7/8"	H-2	-	-	N/A	SET 5	
010	3'-0"	7'-0"	1 3/4"	A	HM	1A	PM	6"	H-1	J-1	S-2	90 MIN.	SET 2	

### HARDWARE SCHEDULE

- SET 01**
- (3) 4.5" BUTT-HINGE WITH NON-REMOVAL PIN
  - (1) CLASSROOM SECURITY FUNCTION CYLINDRICAL LOCKSET WITH LEVER TRIM
  - (1) SURFACE MOUNTED DOOR CLOSER
  - (1) 12" IN-SWING INTERLOCKING LATCH PROTECTOR-ALUMINUM
  - (3) SILENCERS
- SET 02**
- (4) CONTINUOUS ROTOR HINGE
  - (1) FIRE EXIT HARDWARE
  - (1) SURFACE MOUNTED DOOR CLOSER
  - (1) PROTECTION PLATE 8"X34"
  - (1) WALL STOP
  - (3) DOOR SILENCERS
  - SECURITY FILM ON GLAZING
- SET 03**
- (3) REMOVABLE 4.5" PIN BUTT-HINGES
  - (1) SURFACE MOUNTED DOOR CLOSER
  - (1) STOREROOM FUNCTION CYLINDRICAL LOCKSET WITH LEVER HANDLE
  - (1) WALL STOP
  - (3) SILENCERS
- SET 04**
- (1) CONTINUOUS ROTOR HINGE
  - (1) SURFACE MOUNTED DOOR CLOSER
  - (1) PRIVACY/BATHROOM FUNCTION CYLINDRICAL LOCKSET WITH LEVER HANDLE
  - (3) SILENCERS
- SET 05**
- (1) CONTINUOUS TRACK
  - (2) DOOR PULLS

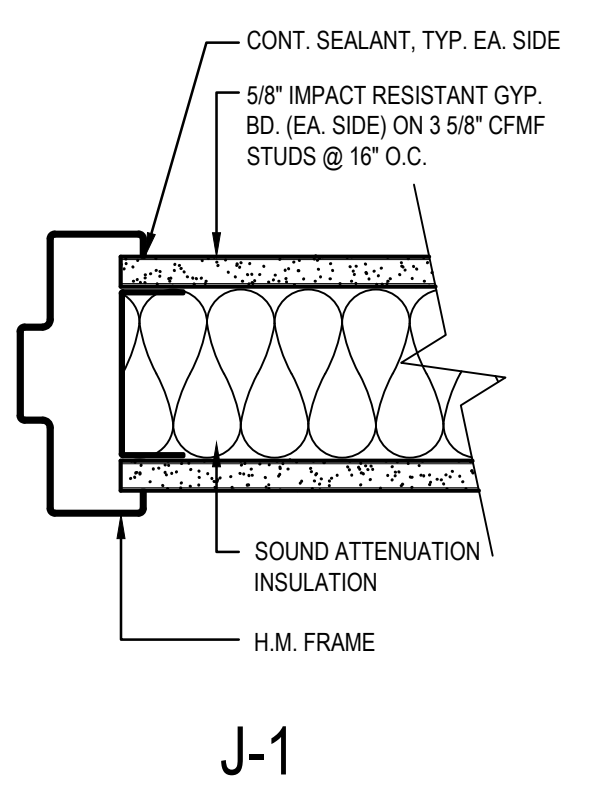


1 DOOR AND FRAME TYPES  
A-601 N.T.S.



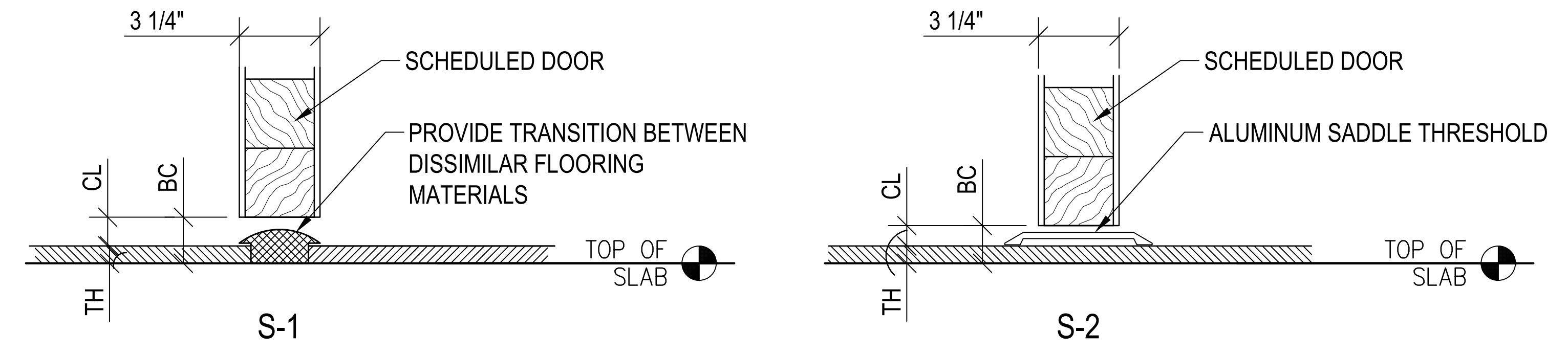
H-1 H-2

2 INTERIOR HEAD DETAIL  
A-601 SCALE: 3"=10"



J-1

3 INTERIOR JAMB DETAIL  
A-601 SCALE: 3"=10"



FLOOR MAT.	TH.	CL.	BC.
CARPET	3/8"	3/8"	3/4"
VCT	1/8"	3/8"	1/2"
QUARRY TILE	3/4"	1/4"	1"
CERAMIC TILE	1/2"	1/4"	3/4"

4 INTERIOR SILL DETAIL  
A-601 SCALE: 3"=10"

### GENERAL NOTES

- GENERAL:**
- FOR DOOR HEAD, JAMB, & THRESHOLD DETAILS RE: A-602 UNO.
  - SYMBOL ★ DENOTES LOCATION REQUIRING TEMPERED GLAZING. TYPICAL.
- DOORS:**
- EXTERIOR DOOR FINISHES UNLESS NOTED OTHERWISE  
ALUMINUM STOREFRONT: CLEAR ANODIZED  
HOLLOW METAL: FACTORY A60 GALV & PRIMED FOR FIELD PAINTING
  - INTERIOR DOOR FINISHES:  
A. ALUMINUM STOREFRONT: CLEAR ANODIZED  
B. WOOD: FACTORY FIRE-FINISHED  
C. HOLLOW METAL: FACTORY PRIMED FOR FIELD PAINTING UNO
  - FRAME PROFILE DEPTH DIMENSION GIVEN INCLUDES THE THROAT DIMENSION PLUS 1" (1/2" RETURNS BOTH SIDES) UNO RE: A-602
  - FIELD PAINT ALL METAL FRAMES w/ COLOR AS SELECTED BY THE ARCHITECT. RE: ARCHITECTURAL EXTERIOR ELEVATIONS & w/ FINISH SCHEDULE.

### HARDWARE:

- HARDWARE & ACCESSORY LIST SCHEDULE ESTABLISHES GENERAL SCOPE REQUIREMENTS. CONTRACTOR SUPPLIERS & MANUFACTURERS TO PROVIDE ALL NECESSARY ACCESSORIES, SCREWS, HEX BOLTS, STRIKES, COVER PLATES, TOOLS, ETC. FOR A COMPLETED INSTALLATION OF HARDWARE FOR A FULLY FUNCTIONAL SYSTEM FOR THE INTENDED USE.
- TYPICAL HARDWARE FINISH REQUIREMENTS UNO.  
HARDWARE FINISH: US260  
KICK PLATES METAL FINISH: US260  
WASH & TOILET ROOMS: US26
- CLOSERS, THRESHOLDS, WEATHERSTRIPPING, ETC TO APPROXIMATE DOOR HARDWARE FINISH NOTED ABOVE.
- CYLINDER FINISH IS TO MATCH FINISH OF ITEM IN WHICH CYLINDER IS INSTALLED IN UNO. (IE. STOREFRONT FRAME COLOR, EXIT DEVICE FINISH, LOCKSET FINISH, etc.)
- PROVIDE LEVER HANDLES @ ALL LATCHSETS, LOCKSETS, PANIC DEVICES, DUMMY LATCHSETS TYPICAL UNO.
- TACTILE WARNING: PROVIDE MECHANICAL KNURLING WHERE REQ'D (HIGH HAZARDS, ELECTRICAL & MECHANICAL ROOMS, ETC.) ABRASIVE COATINGS APPLIED ARE NOT ACCEPTABLE.
- PROVIDE DOOR SILENCERS @ ALL DOORS NOT RECEIVING WEATHERSTRIPPING.  
SINGLE DOORS PROVIDE 3  
DOUBLE DOORS PROVIDE 2
- PROVIDE FULL WEATHERSTRIPPING @ ALL EXTERIOR DOORS, HEAD, JAMBS, SILLS TYPICAL UNO.
- PROVIDE ALUMINUM THRESHOLDS BY DOOR(S) WIDTH WHERE SHOWN ON PLANS, IN SILL DETAILS, & w/ WHERE NOTED. TYPICAL.
- AT ALL WALL MOUNTED DOOR STOPS STUD FRAME WALLS. PROVIDE 2x6 FRT WOOD BLOCKING & 6x6 4" x 20 gauge METAL PLATE UNDER THE GYPSUM WALL BOARD SECURED TO THE STUDS TO ATTACH THE STOP TO.
- MAGNETIC DOOR HOLD OPEN SYSTEM + 24V. TIE TO FIRE ALARM SYSTEM TO RELEASE UPON ACTIVATION OF FIRE ALARM. PROVIDE THRU BOLTS @ WOOD DOORS & CONCEALED BOLTS @ METAL. PROVIDE 120V STEP DOWN TRANSFORMER & CONTROLLER, ETC. INCLUDE RELAYS. CONTRACTOR TO COORDINATE HARDWARE & ELECTRICAL WORK FOR COMPLETE & OPERATIONAL SYSTEM.

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PROJECT

TOWN OF EAST GREENWICH  
SWIFT COMMUNITY CENTER EXPANSION  
SWIFT COMMUNITY CENTER  
121 PERCE STREET  
EAST GREENWICH RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

DOOR SCHEDULE AND DETAILS

ISSUED FOR BID

NOVEMBER 6, 2024

DRAWN	CHKD	PROJECT NO.
CB	PC	24065

SHEET NO.

**A-601**

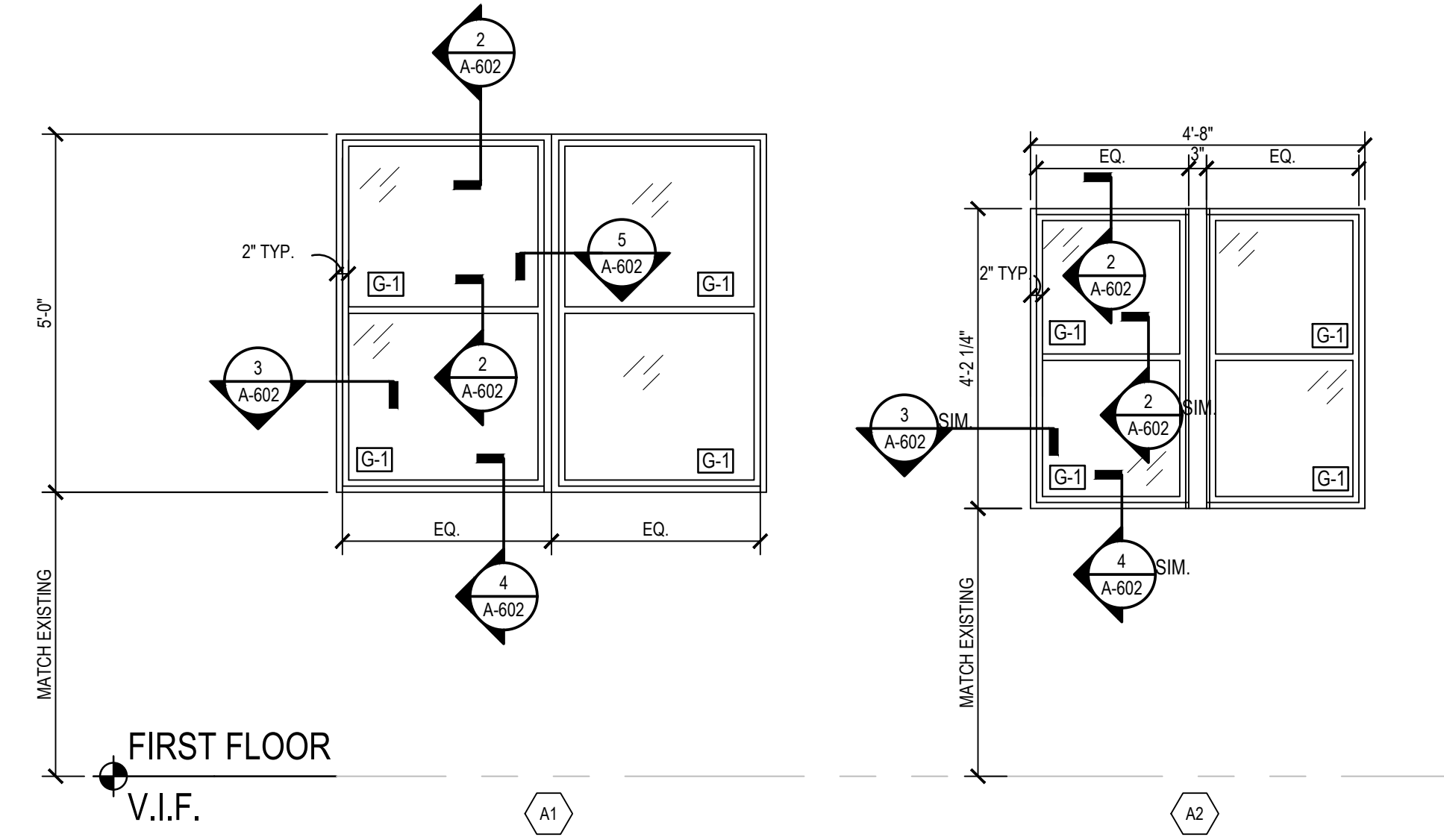


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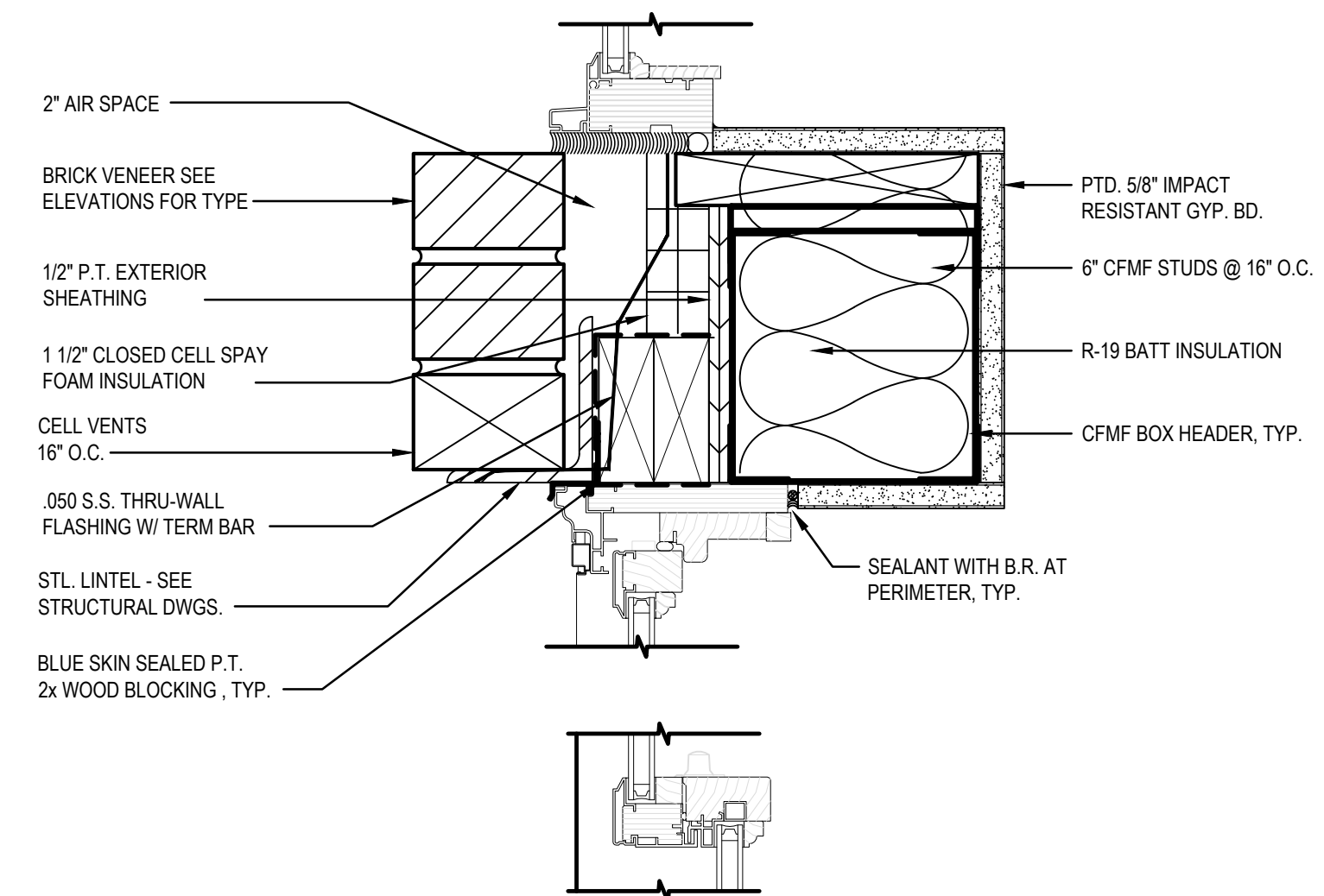
WINDOW & SCHEDULE											
WINDOW TAG	TYPE	FUNCTION	FRAME			MATL	UNIT SIZE / CONFIG.	SHGC	U-VALUE	GLAZING	REMARKS
			WIDTH	HEIGHT	DEPTH						
A1	1	SINGLE HUNG	6' 0"	5' 0"	5"	-	-	-	-	-	-
A2	2	SINGLE HUNG	(2) 2'-4"	(2) 4'-2 1/4"	5"	-	-	-	-	-	-

ABBREVIATIONS:  
---

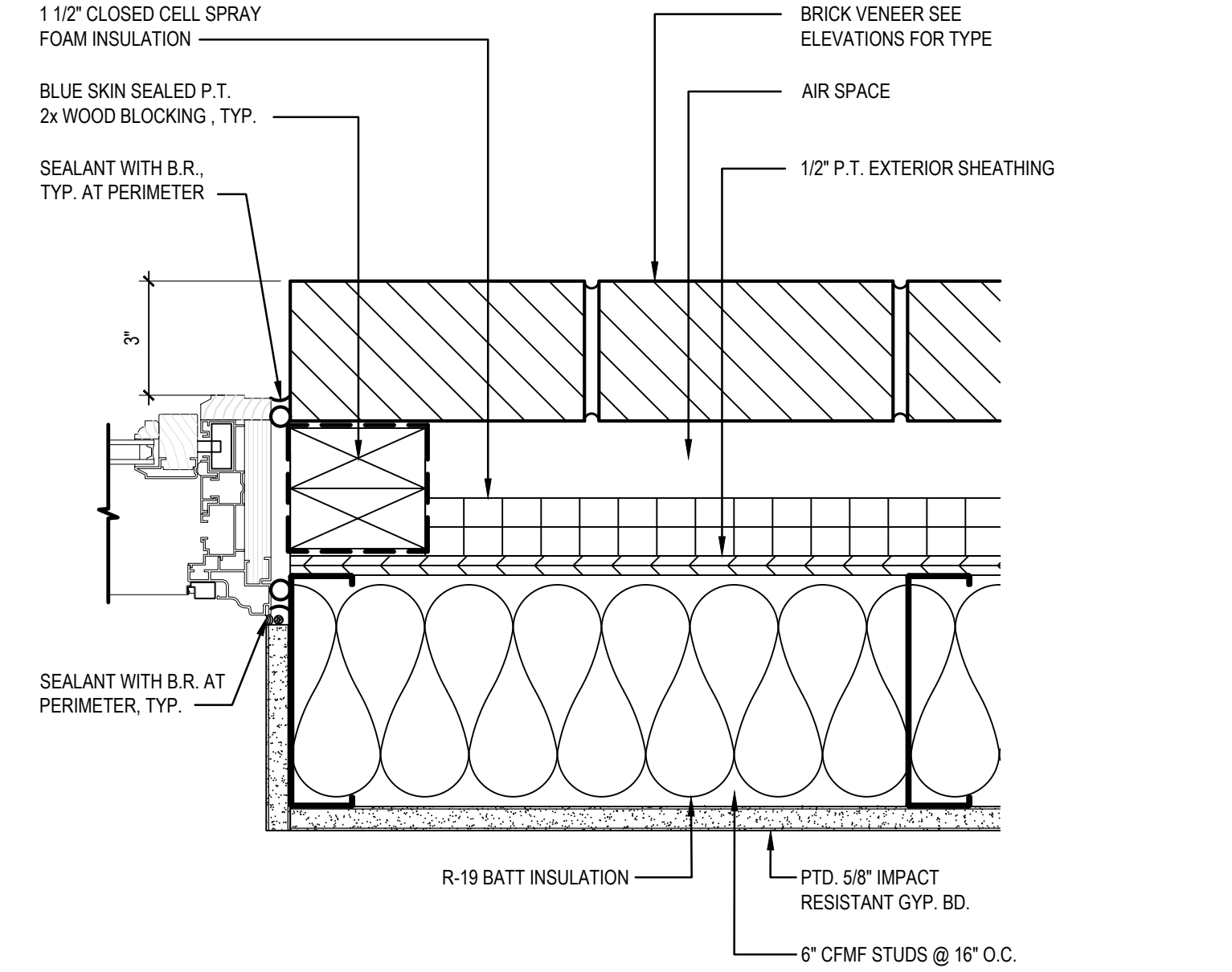
NOTES:  
 1. GLAZING SHALL BE INSULATED GLASS UNITS (G-I) IN ALL FRAMES UNLESS NOTED OTHERWISE.  
 2. GLAZING TYPE (G-2) TO BE TEMPERED INSULATED GLASS UNITS.  
 3. SEE DETAIL DRAWINGS ON THIS SHEET, UNLESS NOTED OTHERWISE.  
 4. FRAME DIMENSION SHOWN IS BASED ON A MINIMUM 3/8" SEALANT JOINT AROUND PERIMETER OPENING. FIELD VERIFY ALL ROUGH AND MASONRY OPENING DIMENSIONS PRIOR TO FABRICATION.  
 5. SEE ELEVATIONS FOR HEAD, JAMB, AND SILL TYPE.



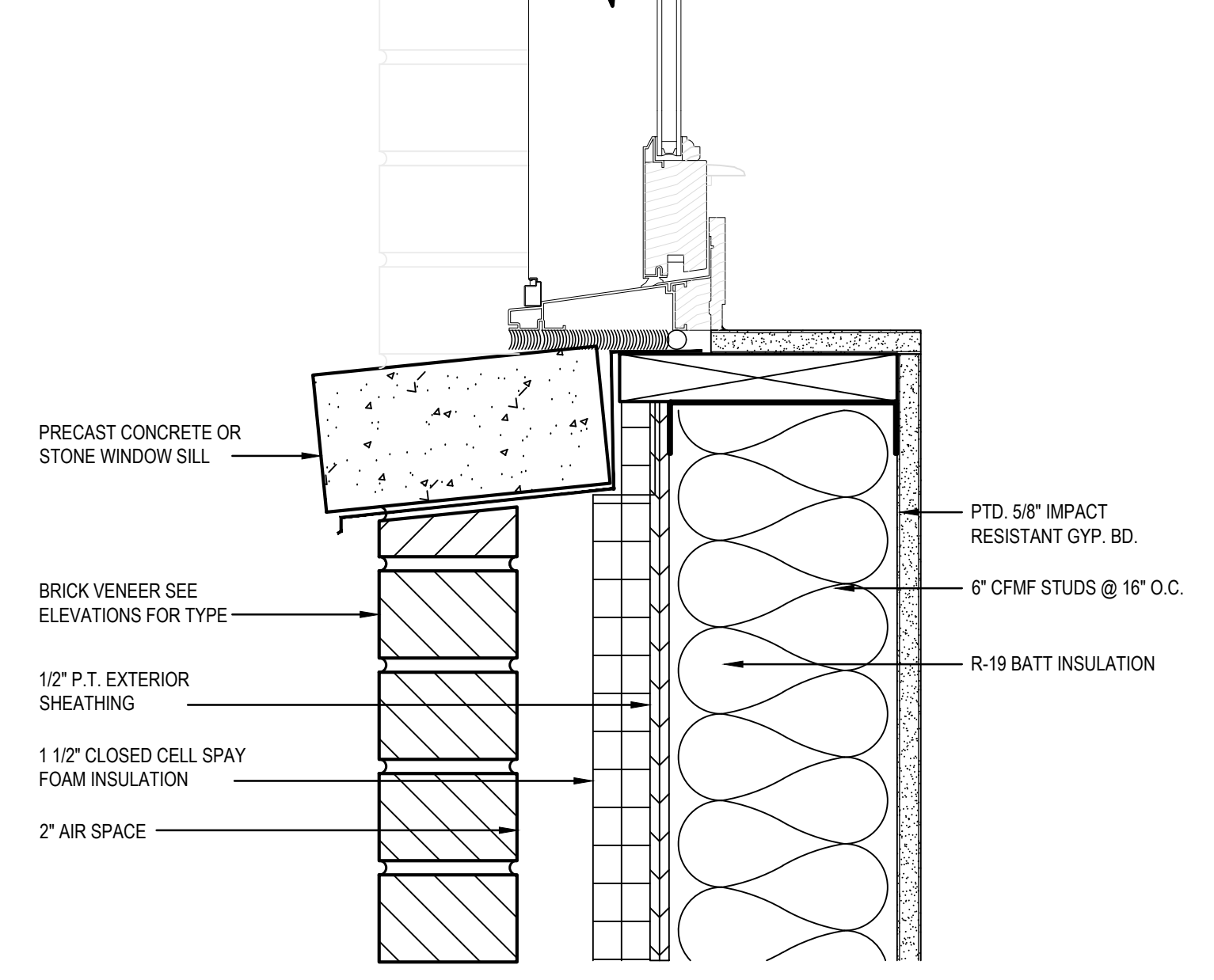
1 WINDOW TYPES  
A-602 SCALE: 1/2"=1'0"



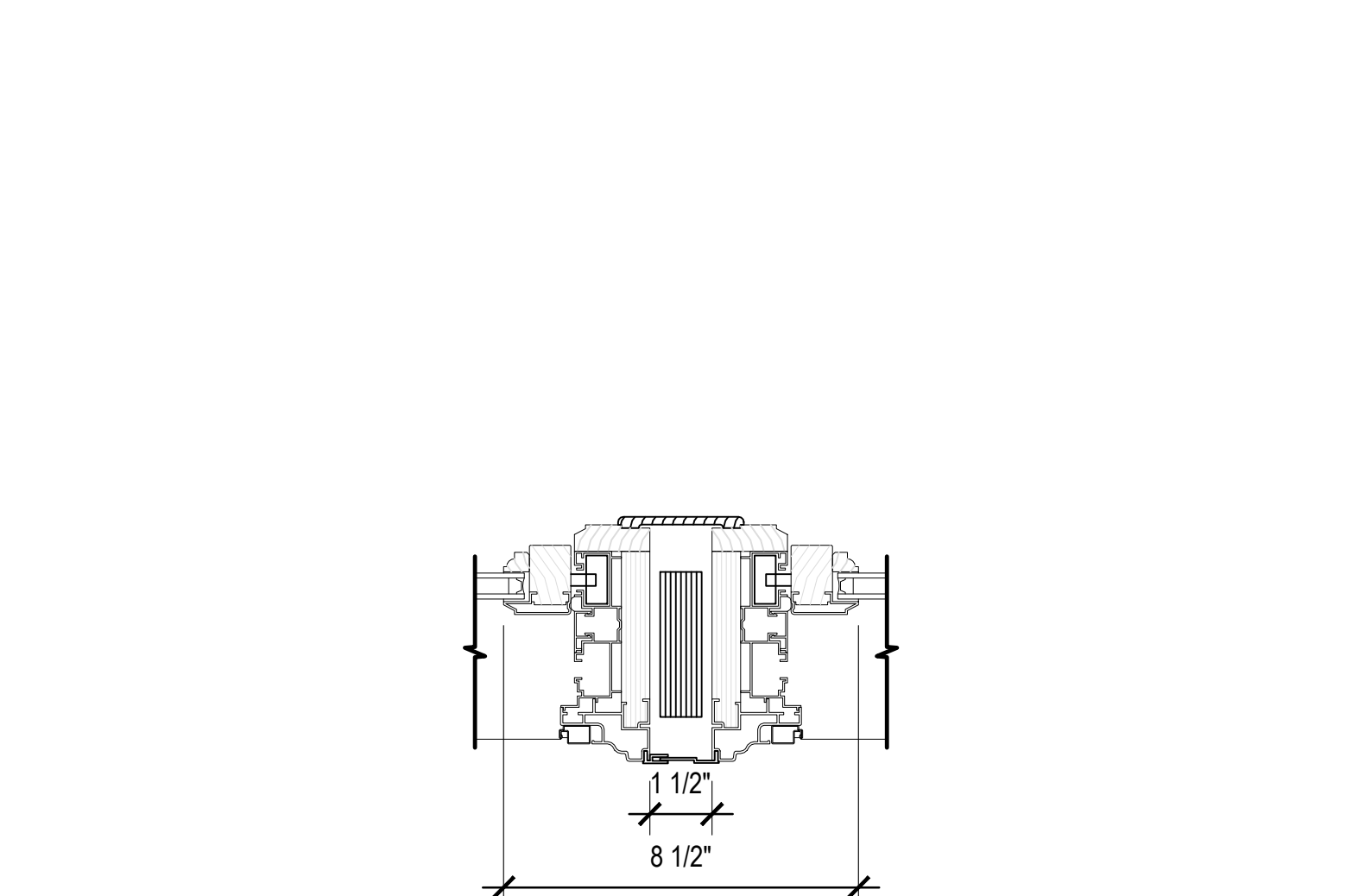
2 HEAD 1/SILL 2 - DETAIL  
A-602 SCALE: 3"=1'0"



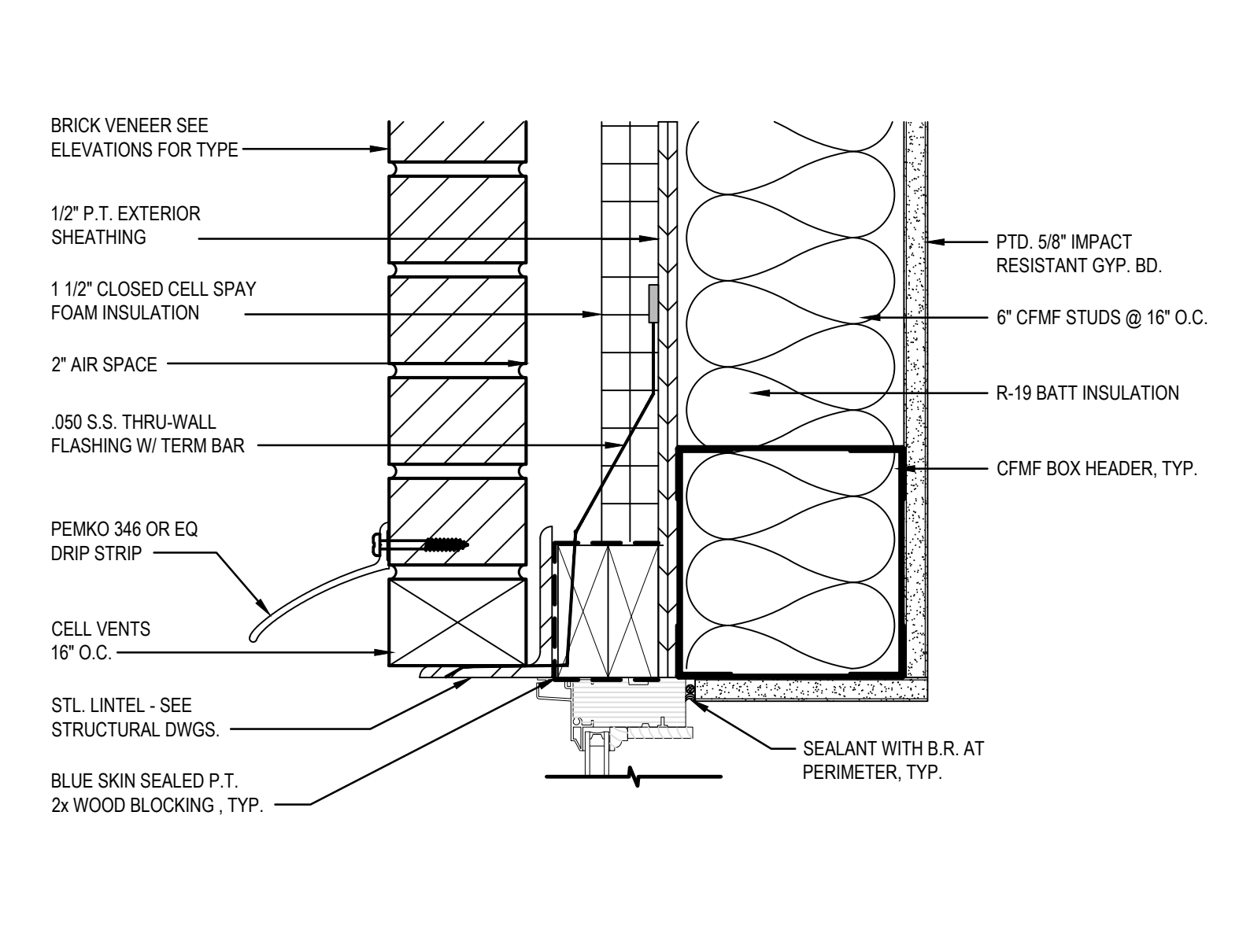
3 JAMB 1 - DETAIL  
A-602 SCALE: 3"=1'0"



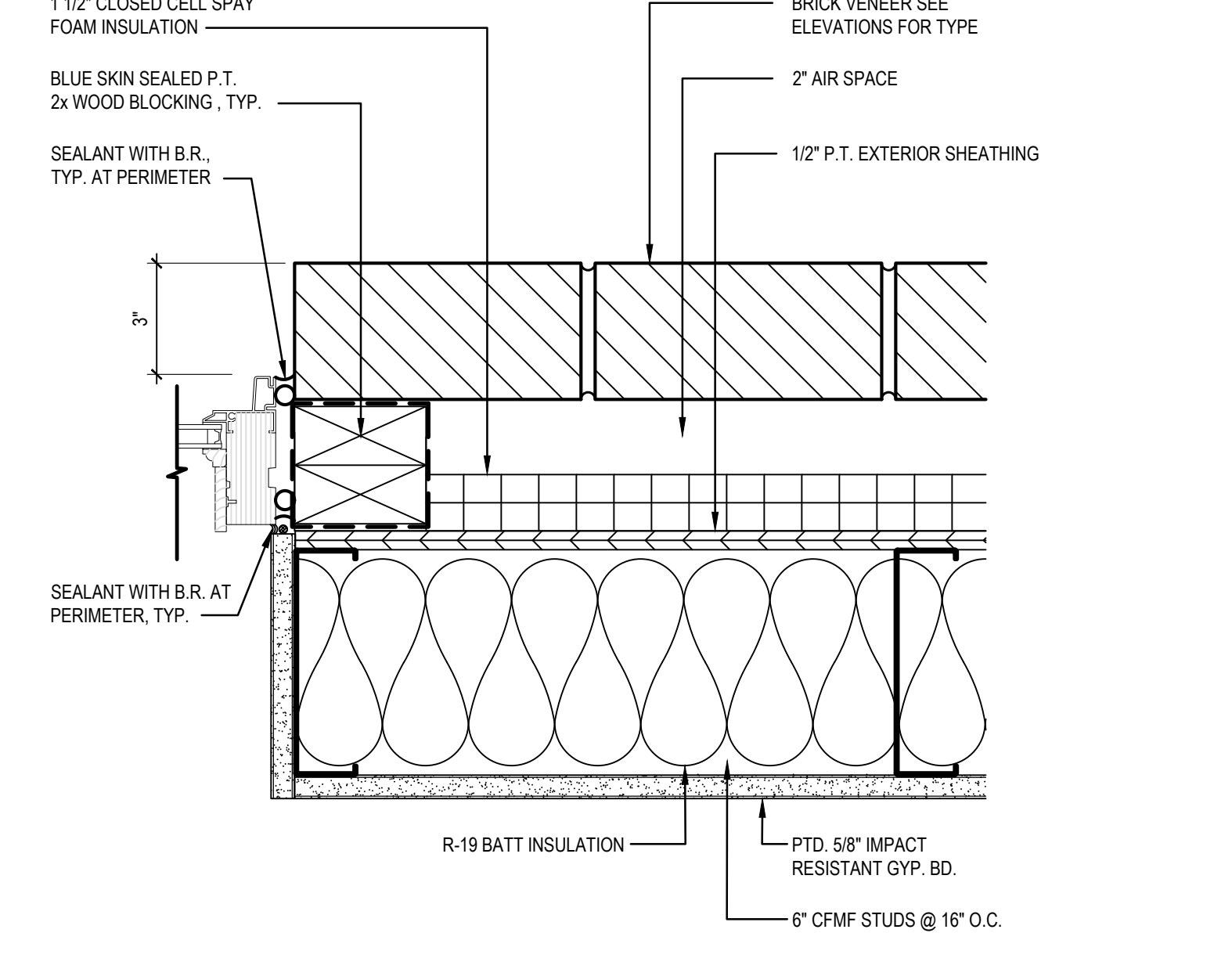
4 SILL 1 - DETAIL  
A-602 SCALE: 3"=1'0"



5 VERTICAL JOIN - DETAIL  
A-602 SCALE: 3"=1'0"



6 HEAD 2 - DETAIL  
A-602 SCALE: 3"=1'0"



7 JAMB 1 - DETAIL  
A-602 SCALE: 3"=1'0"

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 ARCHITECT / ENGINEER SEAL

PROJECT

TOWN OF EAST GREENWICH  
 SWIFT COMMUNITY CENTER EXPANSION  
 SWIFT COMMUNITY CENTER  
 121 PERCE STREET  
 EAST GREENWICH, RI 02818

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

WINDOW SCHEDULE AND DETAILS

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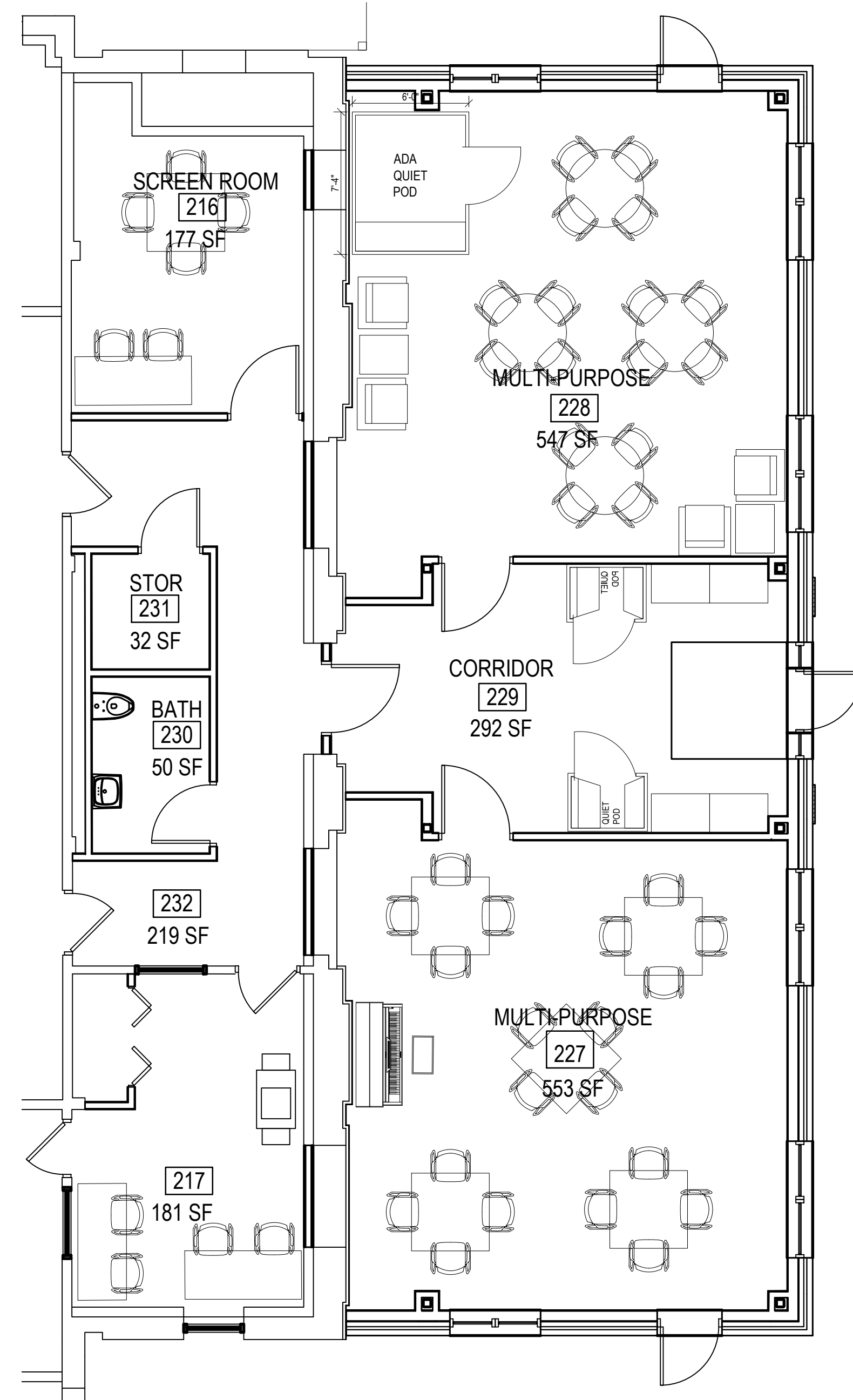
NOVEMBER 6, 2024

DRAWN	CHKD	PROJECT NO.
CB	TAD	24065

SHEET NO.

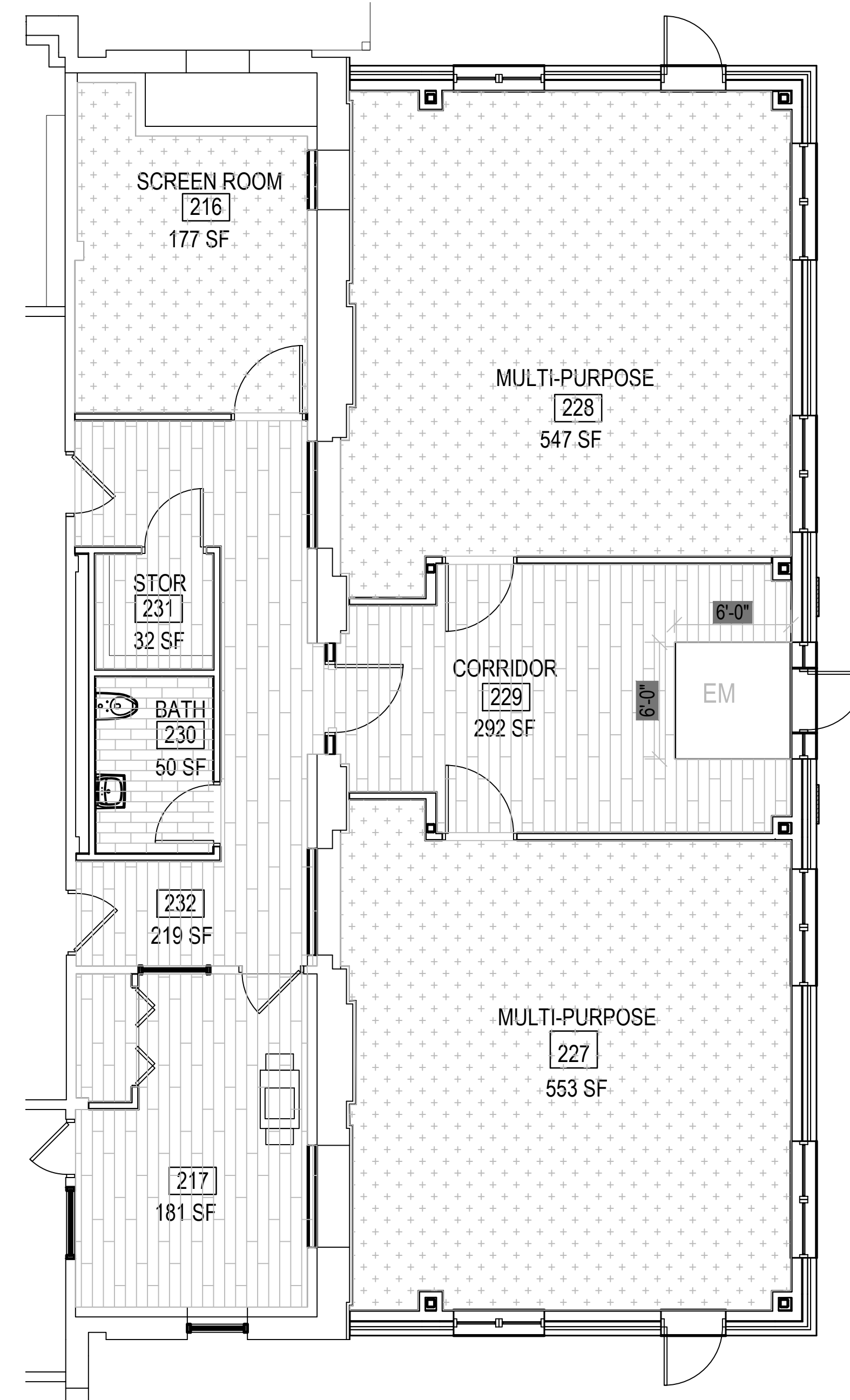
**A-602**

THE REGISTERED PROFESSIONAL ENGINEER HAS REVIEWED THE FINISH SCHEDULE AND MATERIALS LEGEND FOR CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING CODES AND STANDARDS. THE REGISTERED PROFESSIONAL ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE FINISH SCHEDULE AND MATERIALS LEGEND AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE DESIGN OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE REGISTERED PROFESSIONAL ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE FINISH SCHEDULE AND MATERIALS LEGEND AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE DESIGN OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED.



**1 PROPOSED FURNITURE PLAN**

SCALE: 3/16" = 1'-0"



**2 FLOOR FINISH PLAN**

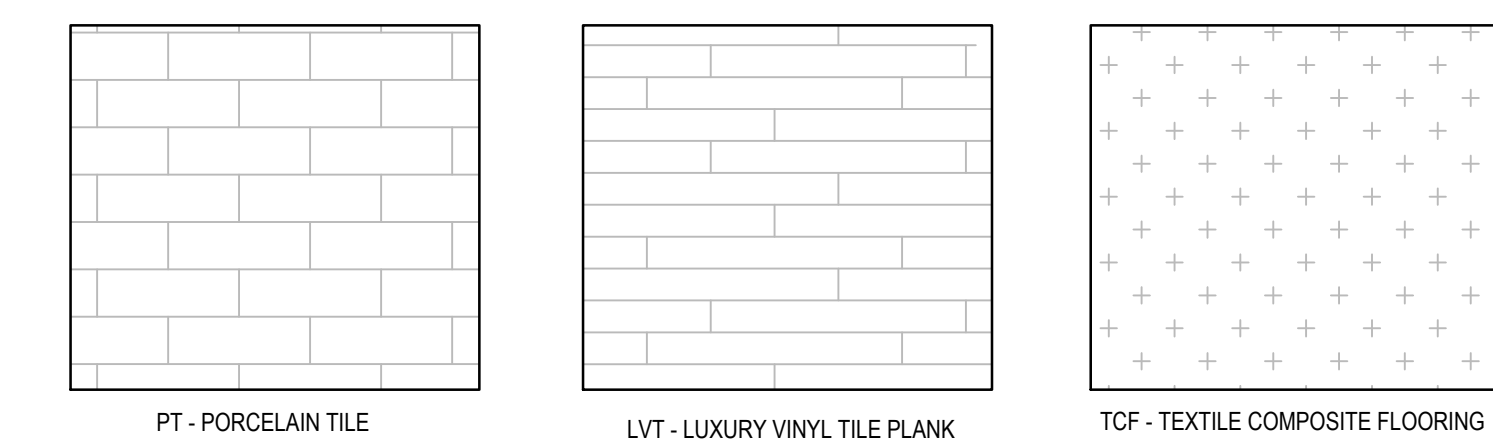
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE														
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	NORTH WALL FINISH	WEST WALL FINISH	EAST WALL FINISH	SOUTH WALL FINISH	WALL SUBSTRATE	DOOR FRAME FINISH	CEILING FINISH	CEILING HEIGHT	MISC.	CASEWORK	REMARKS
216	SCREEN ROOM	TCF	RB	PNT1	PNT1	PNT1	PNT1	GYP	PNT2	ETR				
217	COMPUTER ROOM	LVT	RB	PNT1	PNT1	PNT1	PNT1	GYP	PNT2	ETR				
227	MULTI-PURPOSE ROOM	TCF	RB	PNT1	PNT1	PNT1	BRICK	GYP	PNT2	ACT1			WT-1	
228	MULTI-PURPOSE ROOM	TCF	RB	PNT1	PNT1	PNT1	BRICK	GYP	PNT2	ACT1			WT-1	
229	CORRIDOR	EM, LVT	RB	PNT1	PNT1	PNT1	PNT1	GYP	PNT2	ETR				
230	TOILET ROOM	PT	MC, CT	PNT1, CT	PNT1, CT	PNT1, CT	PNT1, CT	GYP	PNT2	ACT1				
231	STORAGE CLOSET	LVT	RB	PNT1	PNT1	PNT1	PNT1	GYP	PNT2	ETR				
232	HALLWAY	LVT	RB	PNT1	PNT1	PNT1	PNT1	GYP	PNT2	ETR				

MATERIALS LEGEND							
TAG	MATERIAL	MANUFACTURER	STYLE	STYLE NUMBER	COLOR	FINISH	REMARKS
<b>FLOOR</b>							
EM	ENTRANCE MAT TILE	J & J INVISION	INCOGNITO WALK-OFF	7069	1845 CRYPTIC	-	
LVT	LUXURY VINYL TILE - 7' X 48"	MANNINGTON	MANNINGTON CROWN	-	LIMED WOOD NATURAL MCC104	-	
TCF	TEXTILE COMPOSITE FLOORING	J & J INVISION	KINETEX	-	ACCELERATOR 2846	-	
PT	PORCELAIN TILE 12 X 24	CROSSVILLE INC.	CIVILIZATION	-	COMMUNIQUE	-	EPOXY GROUT
<b>BASE</b>							
RB-1	RUBBER BASE 4" - COVE	ROPPE	PINNACLE 4"	-	TBD	-	
RB-2	RUBBER BASE 4" - STRAIGHT	ROPPE	PINNACLE 4"	-	TBD	-	
CT	CERAMIC TILE - 4 X 12	CROSSVILLE INC.	COLOR PERSPECTIVES	-	TBD	-	
MC	METAL COVE TRANSITION STRIP	SCHLUTER	DILEXAHKA	-	STAINLESS STEEL	-	
<b>WALL</b>							
PNT1	PAINT - WALL	BENJAMIN MOORE	SCOFF-X	485	TBD	EGG-SHEL	-
PNT2	PAINT - DOOR FRAMES	BENJAMIN MOORE	SCOFF-X	485	AF-655 SILHOUETTE	SEMI-GLOSS	-
CT	CERAMIC TILE - 4 X 12 - WAINSCOT	CROSSVILLE INC.	COLOR PERSPECTIVES	-	TBD	-	EPOXY GROUT
ME	METAL EDGE STRIP	SCHLUTER	SCHIELE	-	STAINLESS STEEL	-	
<b>CEILING</b>							
ACT1	ACOUSTIC CEILING TILE - 80 NRC	ARMSTRONG	ULTIMA	1942 - 24 x 24 x 1"	BEVELED REGULAR	WHITE	WHITE CAC 35, AC 170, # SUPRAFINE GRID
PNTC	PAINT - CEILING SOFFIT	BENJAMIN MOORE	CEILING PAINT	484	WHITE	MATTE	
<b>MISCELLANEOUS</b>							
WT-1	WINDOW TREATMENT	MECHO SHADE	MECHO 5 - MANUAL SHADE	ECCO VEIL - 5% OPENNESS	TBD	-	

**GENERAL FINISH NOTES:**

- ALL FINISHES NOTED ARE BASIS OF DESIGN. EQUAL SUBSTITUTIONS ARE TO BE SUBMITTED FOR APPROVAL.
- ALL FLOORING TILE TO BE INSTALLED PER FLOOR FINISH PLAN.
- PAINT ALL WALLS AND DOOR FRAMES TO BE PAINTED THREE COATS, ONE PRIMER AND TWO FINISH.
- REMOVE ALL WALL APPLIED ITEMS INCLUDING COVER PLATES, SIGNAGE, DISPENSERS, GLUE TAPE ETC. PRIOR TO PAINTING. TYPICAL.
- EXISTING BRICK IS TO REMAIN. CLEAN AND RE-GROUT AS REQUIRED.
- WALLS SURFACES ARE TO BE CLEANED AND HOLES FILLED AND SANDED PRIOR TO ANY FINISH WORK.
- SEAL BACK SPLASH AND SIDE SPLASHES WITH CLEAR SILICONE.
- SOLAR SHADE 5% OPENNESS WINDOW TREATMENT MANUAL OPERATION. REVERSE ROLL. MOUNT WITHIN WINDOW OPENING IF POSSIBLE. REFER TO MATERIALS LEGEND FOR PRODUCT INFORMATION.
- STRAIGHT WALL BASE AT CARPET AND COVE BASE AT RESILIENT.
- PROVIDE TRANSITION STRIPS BETWEEN MATERIALS.
- 



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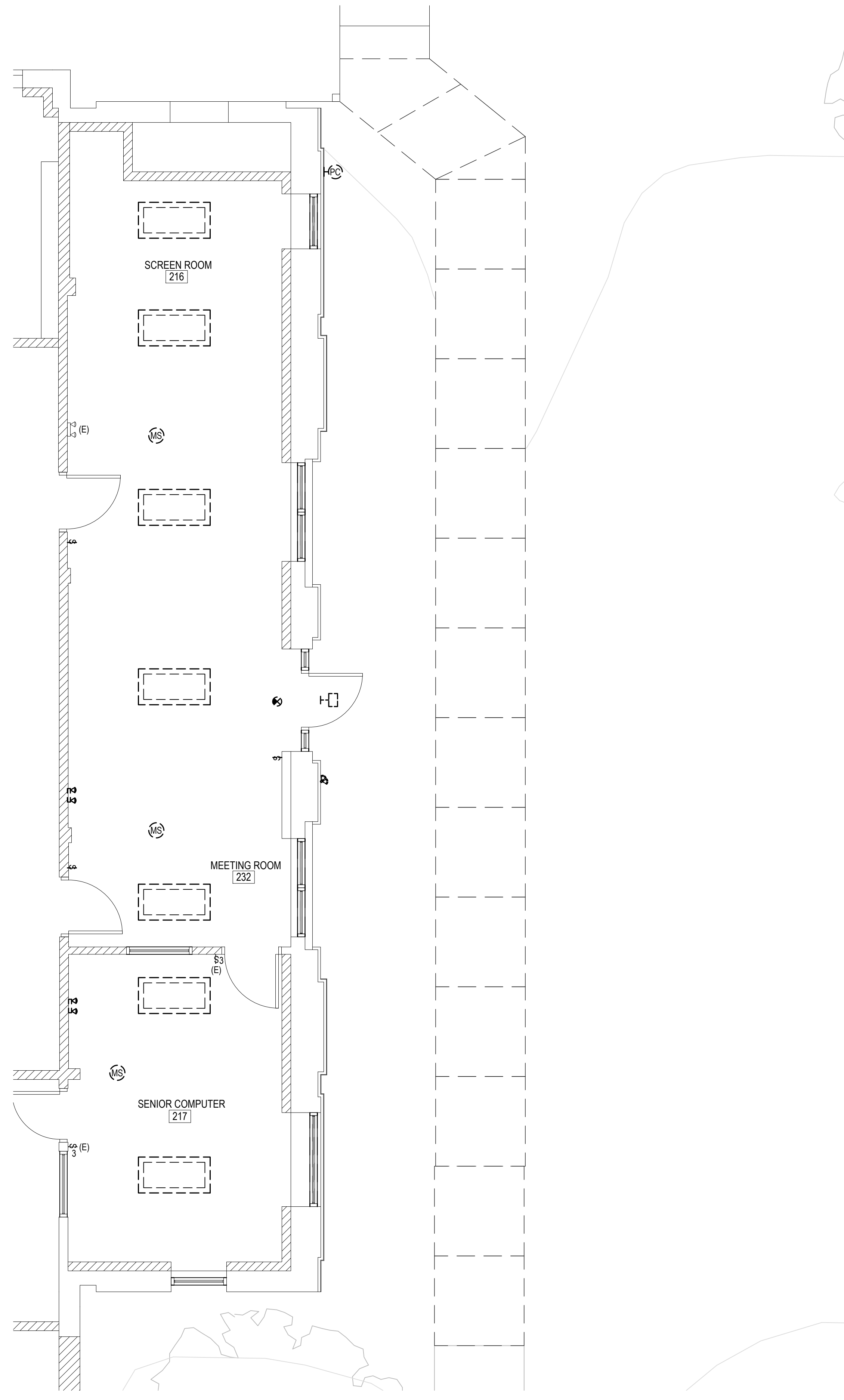
REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
**FURNITURE PLAN AND ROOM FINISH SCHEDULE**

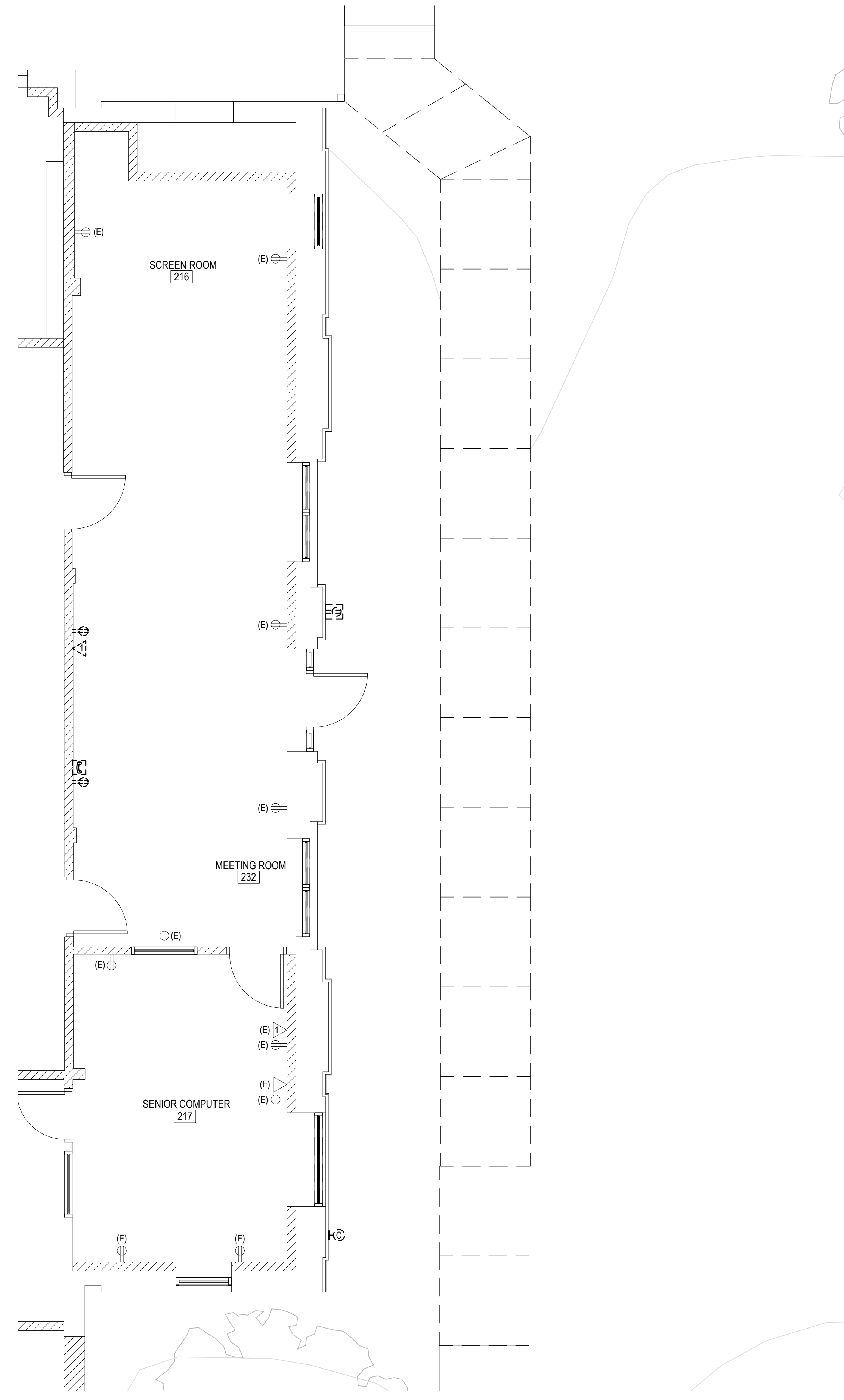
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CHKD: TAD  
PROJECT NO.: 24065  
SHEET NO.: IF-101



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**1**  
 ED101  
**ELECTRICAL LIGHTING DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



**2**  
 ED101  
**ELECTRICAL POWER DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

- ELECTRICAL DEMOLITION NOTES:**
- UNLESS NOTED OTHERWISE, DISCONNECT AND REMOVE LIGHT FIXTURES, WIRE, AND CONDUIT TO FACILITATE ARCHITECTURAL WORK. RETAIN FIXTURES AND CIRCUIT(S) FOR RELOCATION AND RECONNECTION.
  - UNLESS NOTED OTHERWISE, DISCONNECT AND REMOVE LIGHTING CONTROLS, WIRE, AND CONDUIT TO FACILITATE ARCHITECTURAL WORK.
  - DISCONNECT AND REMOVE TELEPHONE AND ASSOCIATED CABLING / OUTLET COMPLETELY BACK TO SOURCE. TURN TELEPHONE OVER TO OWNER.
  - UNLESS NOTED OTHERWISE, DISCONNECT AND REMOVE RECEPTACLES, DATA OUTLETS, WIRE, CABLING, AND CONDUIT COMPLETELY BACK TO SOURCE.
  - DISCONNECT AND REMOVE CAMERA AND CABLING COMPLETELY BACK TO SOURCE. RETAIN CAMERA FOR RELOCATION.
  - DISCONNECT AND REMOVE TELEPHONE, VOICE OUTLET, AND CABLING COMPLETELY BACK TO SOURCE. RETAIN TELEPHONE FOR REINSTALLATION / RELOCATION.

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TOWN OF EAST GREENWICH

SWIFT COMMUNITY CENTER EXPANSION

SWIFT COMMUNITY CENTER

121 PERCE STREET

EAST GREENWICH RI 02818

REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE

ELECTRICAL DEMOLITION PLANS

ISSUED FOR BID

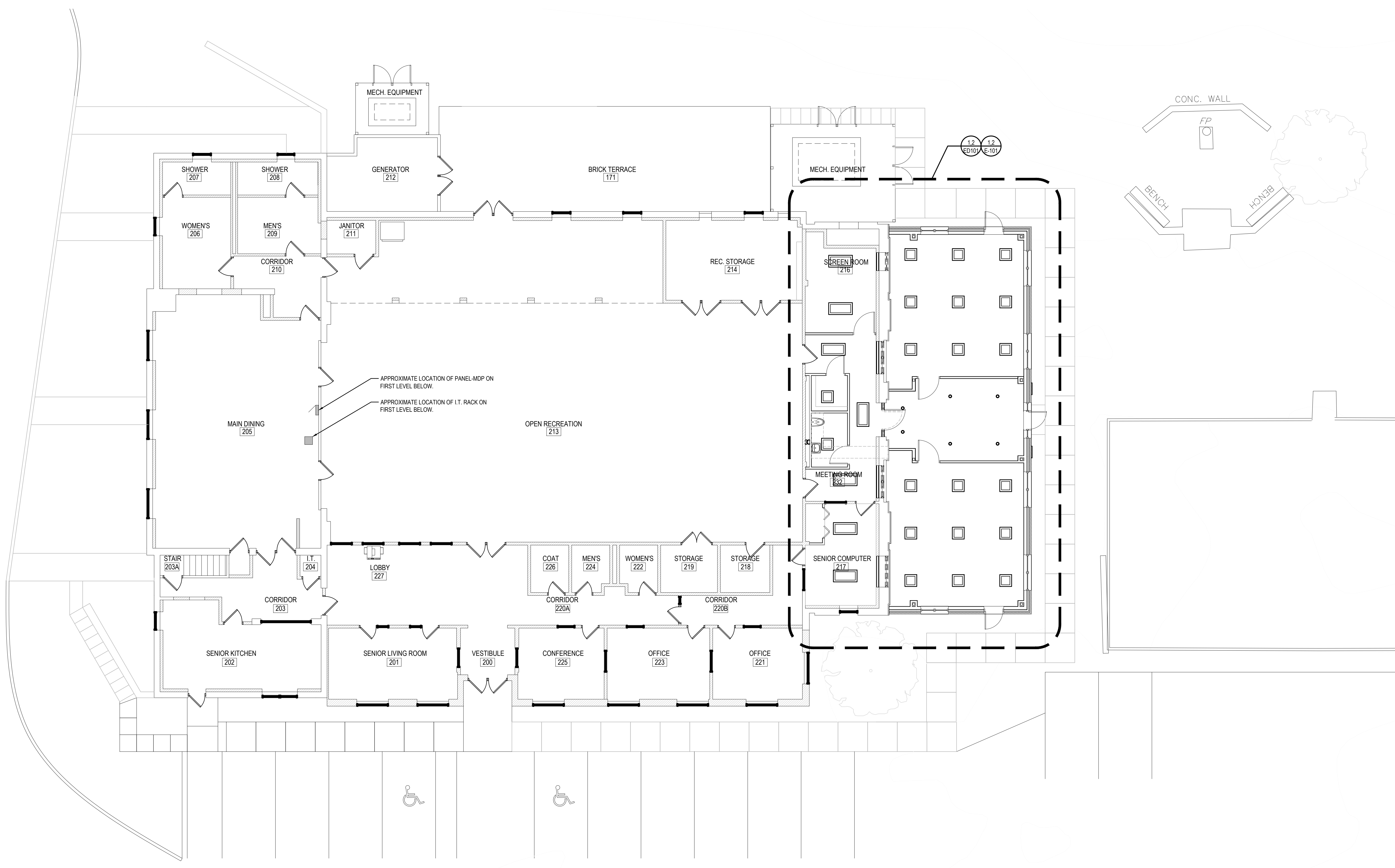
NOVEMBER 6, 2024

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JD	PP	24065

SHEET NO.

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**1 OVERALL ELECTRICAL PLAN**  
 SCALE: 1/8" = 1'-0"

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**SWIFT COMMUNITY CENTER**  
 121 PERCE STREET  
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REVISIONS

MARK	DESCRIPTION	DATE

SHEET TITLE  
**OVERALL ELECTRICAL PLAN**

ISSUED FOR  
 BID  
 NOVEMBER 6, 2024

DRAWN JD	CHK'D PP	PROJECT NO. 24065
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SHEET NO.  
**E-100**

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PROJECT

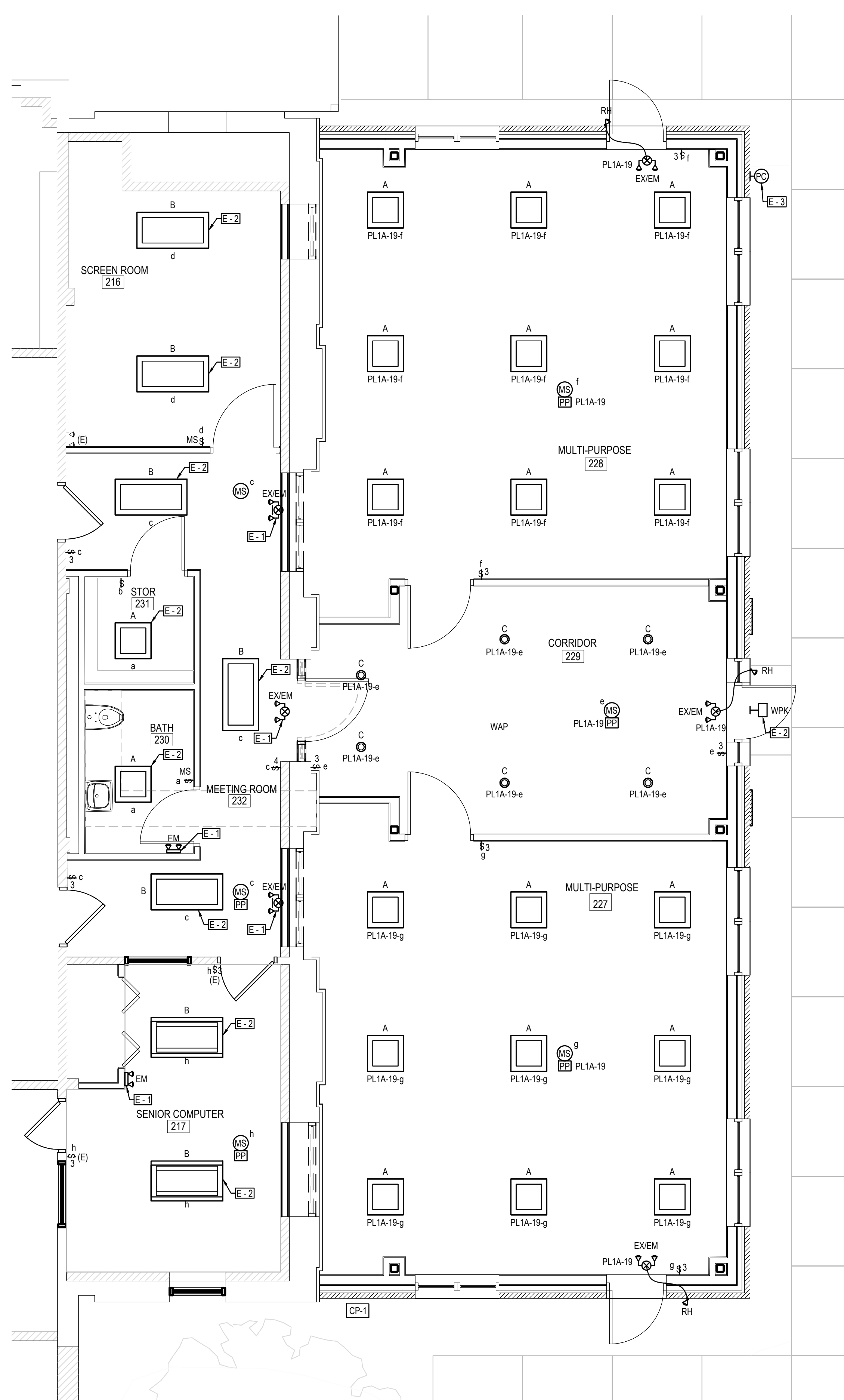
REVISIONS	
MARK	DESCRIPTION

SHEET TITLE  
**ELECTRICAL PLANS**

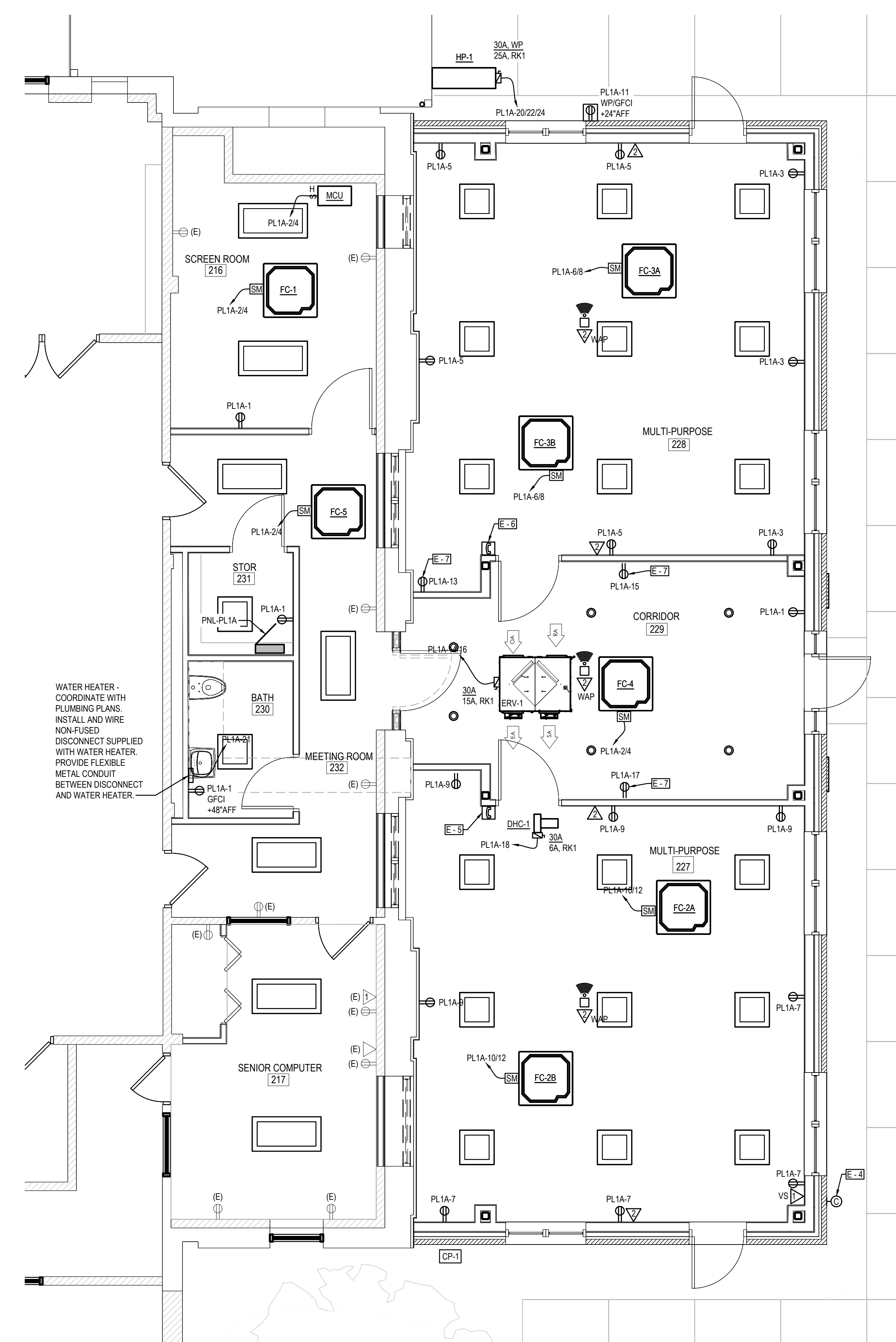
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NOVEMBER 6, 2024

DRAWN	CHK'D	PROJECT NO.
JD	PP	24065
SHEET NO.		
<b>E-101</b>		

- ELECTRICAL NEW WORK NOTES:**
- PROVIDE NEW LIGHT FIXTURES AND REINSTALL EXISTING LIGHT FIXTURES, AS INDICATED. CONNECT TO NEW LIGHTING CONTROLS UNLESS NOTED OTHERWISE.
  - PROVIDE NEW RECEPTACLES, DATA OUTLETS, WIRE, CABLING, AND CONDUIT.
  - PROVIDE NEW DISCONNECT SWITCHES, FRACTIONAL HORSEPOWER MOTOR STARTERS, HORSEPOWER RATED TOGGLE SWITCHES, WIRE, AND CONDUIT FOR NEW MECHANICAL EQUIPMENT AS SHOWN.
  - PROVIDE A NEW ELECTRICAL PANEL. SEE SHEETS E-500 AND E-600 FOR REQUIREMENTS.
- E-1** CONNECT FIXTURE TO AN UNSWITCHED LEG OF THE EXISTING LOCAL LIGHTING CIRCUIT WITH NEW 2#12 + 1#12G - 3/4" WIRE AND CONDUIT EXTENSIONS.
- E-2** CONNECT TO THE EXISTING LIGHTING CIRCUIT / CONTROLS WITH NEW WIRE AND CONDUIT EXTENSIONS.
- E-3** REINSTALL EXISTING PHOTOCCELL IN NEW LOCATION SHOWN AND RECONNECT TO THE EXISTING SOURCE WITH NEW WIRE AND CONDUIT EXTENSIONS.
- E-4** REINSTALL EXISTING CAMERA IN NEW LOCATION SHOWN. PROVIDE NEW MOUNTING HARDWARE.
- E-5** REINSTALL EXISTING TELEPHONE WITH NEW MOUNTING HARDWARE. PROVIDE NEW CABLE CONNECTION AND WALL MOUNT VOICE OUTLET FOR PROPER OPERATION.
- E-6** PROVIDE NEW TELEPHONE WITH NEW MOUNTING HARDWARE. PROVIDE NEW CABLE CONNECTION AND WALL MOUNT VOICE OUTLET FOR PROPER OPERATION.
- E-7** COORDINATE LOCATION OF RECEPTACLE WITH LOCATION OF POD. SEE FURNITURE PLAN ON SHEET F-101.

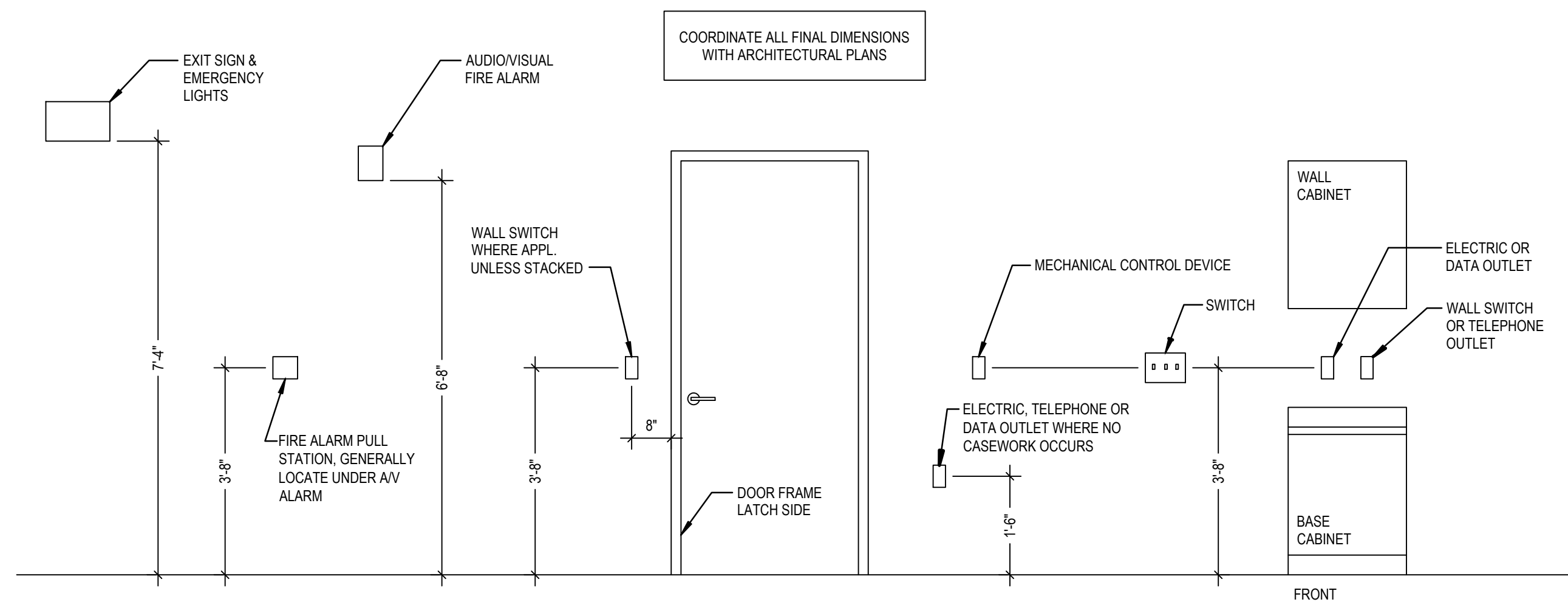


1  
E-101  
ELECTRICAL LIGHTING PLAN  
SCALE: 1/4" = 1'-0"



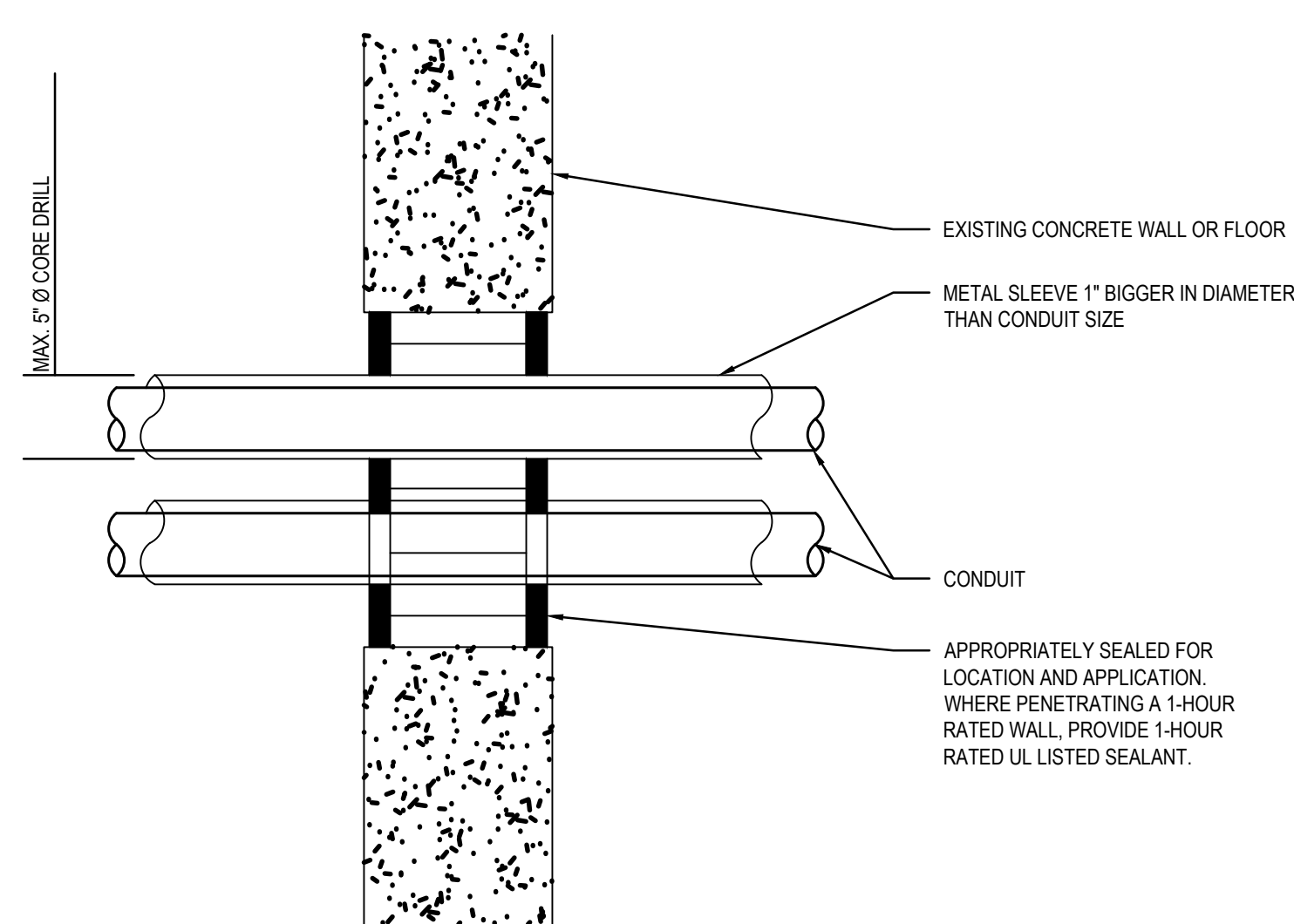
2  
E-101  
ELECTRICAL POWER PLAN  
SCALE: 1/4" = 1'-0"

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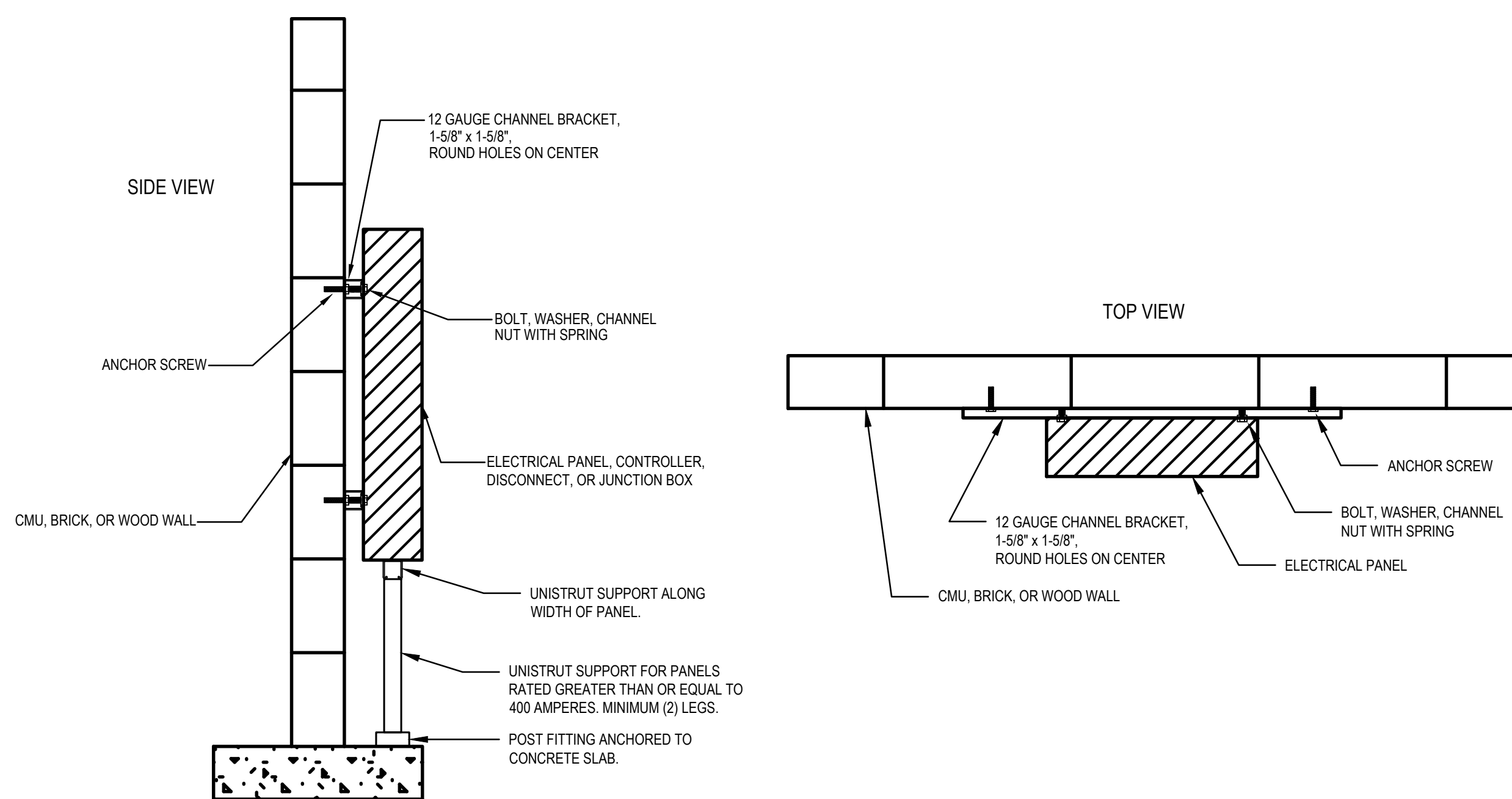
### TYPICAL ELECTRICAL MOUNTING HEIGHTS

SCALE: NOT TO SCALE



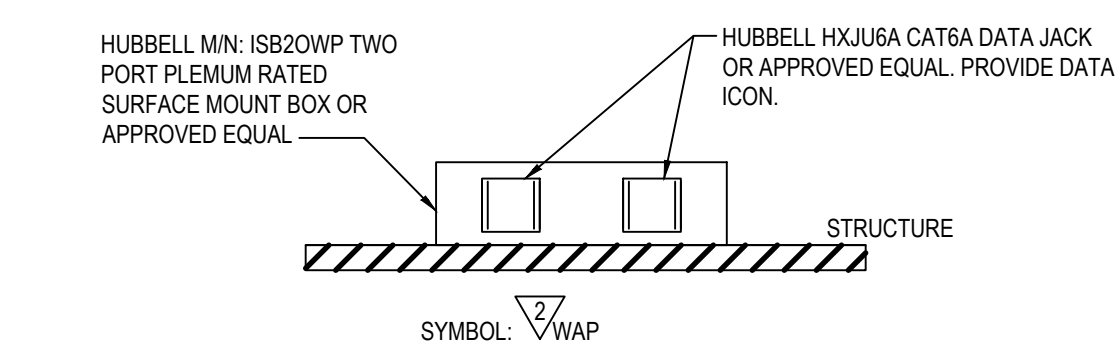
### TYPICAL PENETRATION IN WALL OR FLOOR

SCALE: NOT TO SCALE



### TYPICAL ELECTRICAL PANEL MOUNT DETAIL

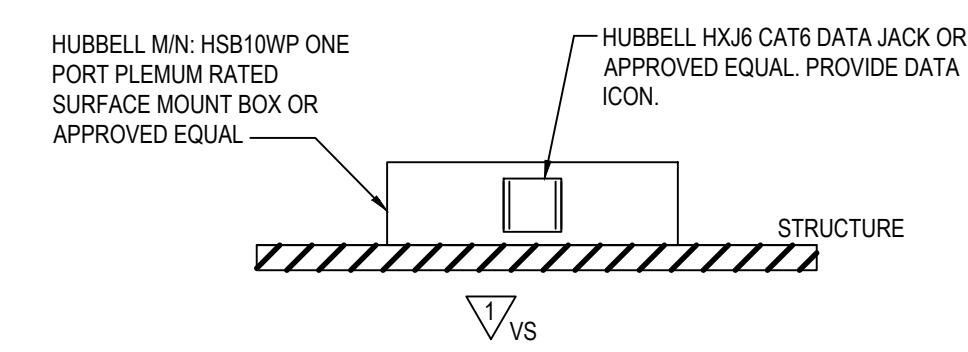
SCALE: NOT TO SCALE



### TYPE C2 TELECOMMUNICATION OUTLET FOR CEILING WIRELESS ACCESS POINT DETAIL

SCALE: NOT TO SCALE

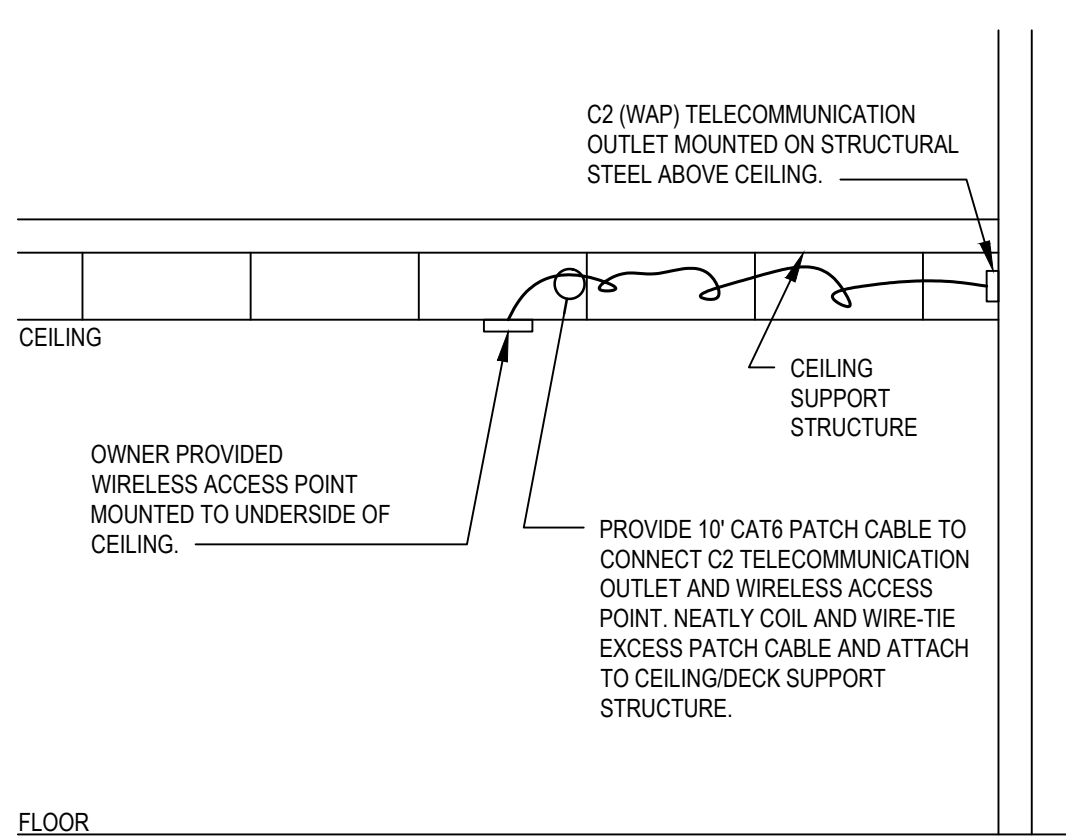
FOR C2 CEILING MOUNTED (WAP) OUTLETS



### TYPE C1 TELECOMMUNICATION OUTLET FOR VIDEO SURVEILLANCE CAMERA DETAIL

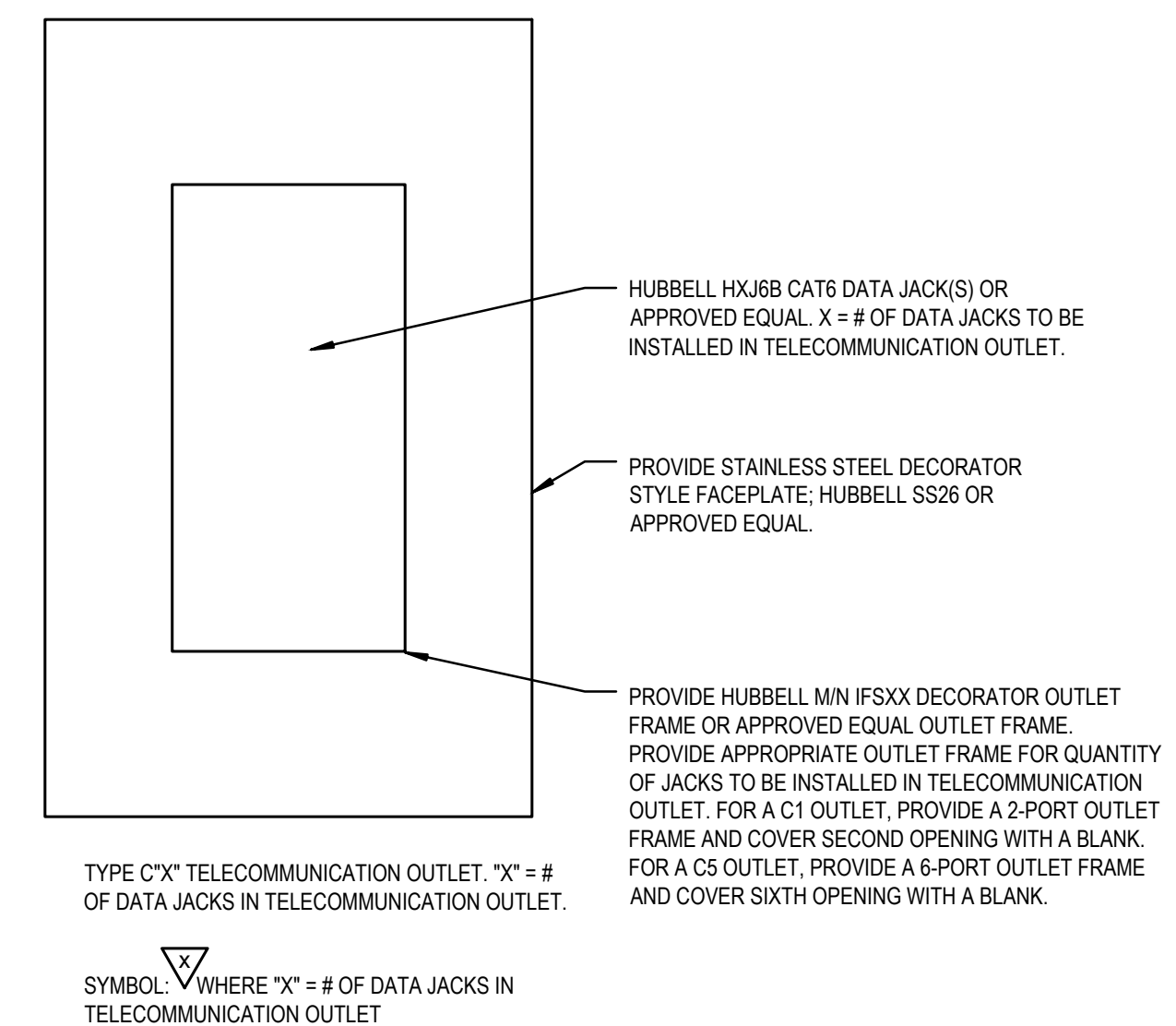
SCALE: NOT TO SCALE

FOR C1 (VS) OUTLETS



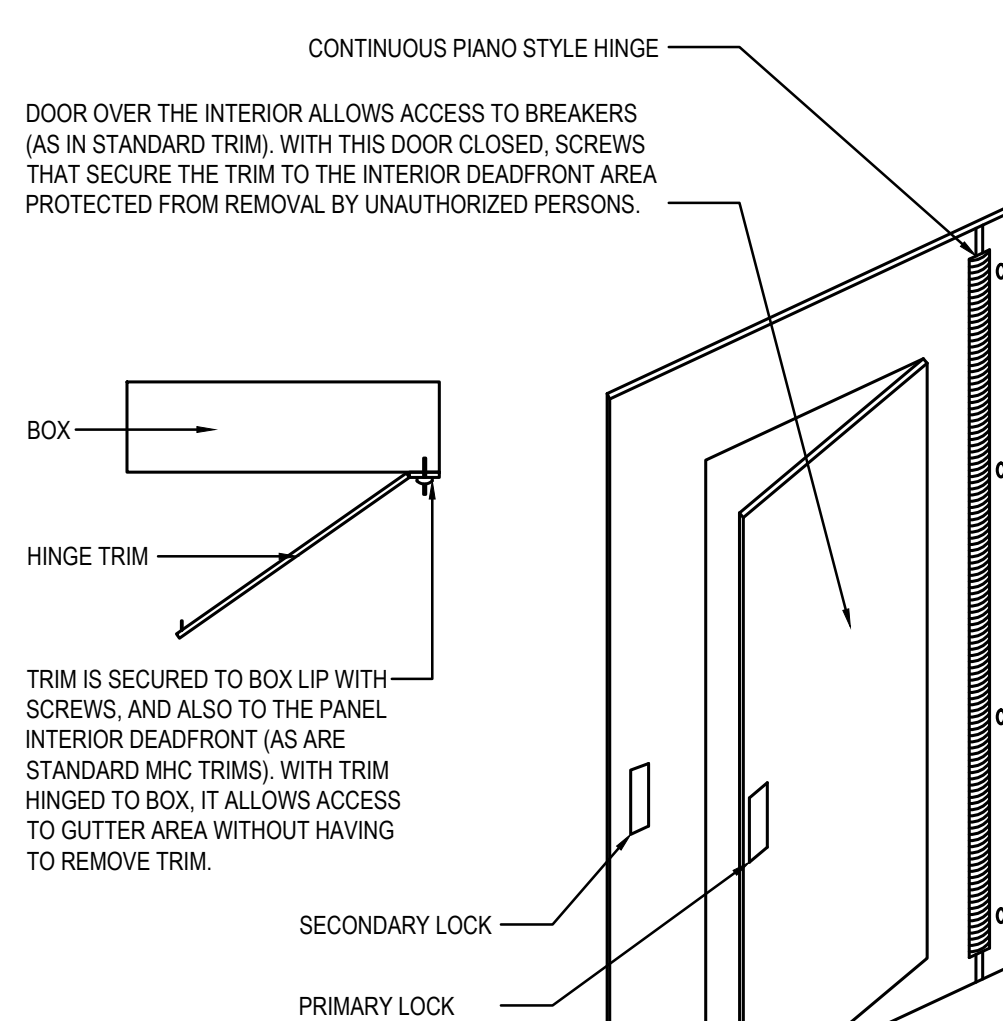
### TYPICAL CEILING MOUNTED WIRELESS ACCESS POINT DETAIL

SCALE: NOT TO SCALE



### TYPE CX TELECOMMUNICATION OUTLET

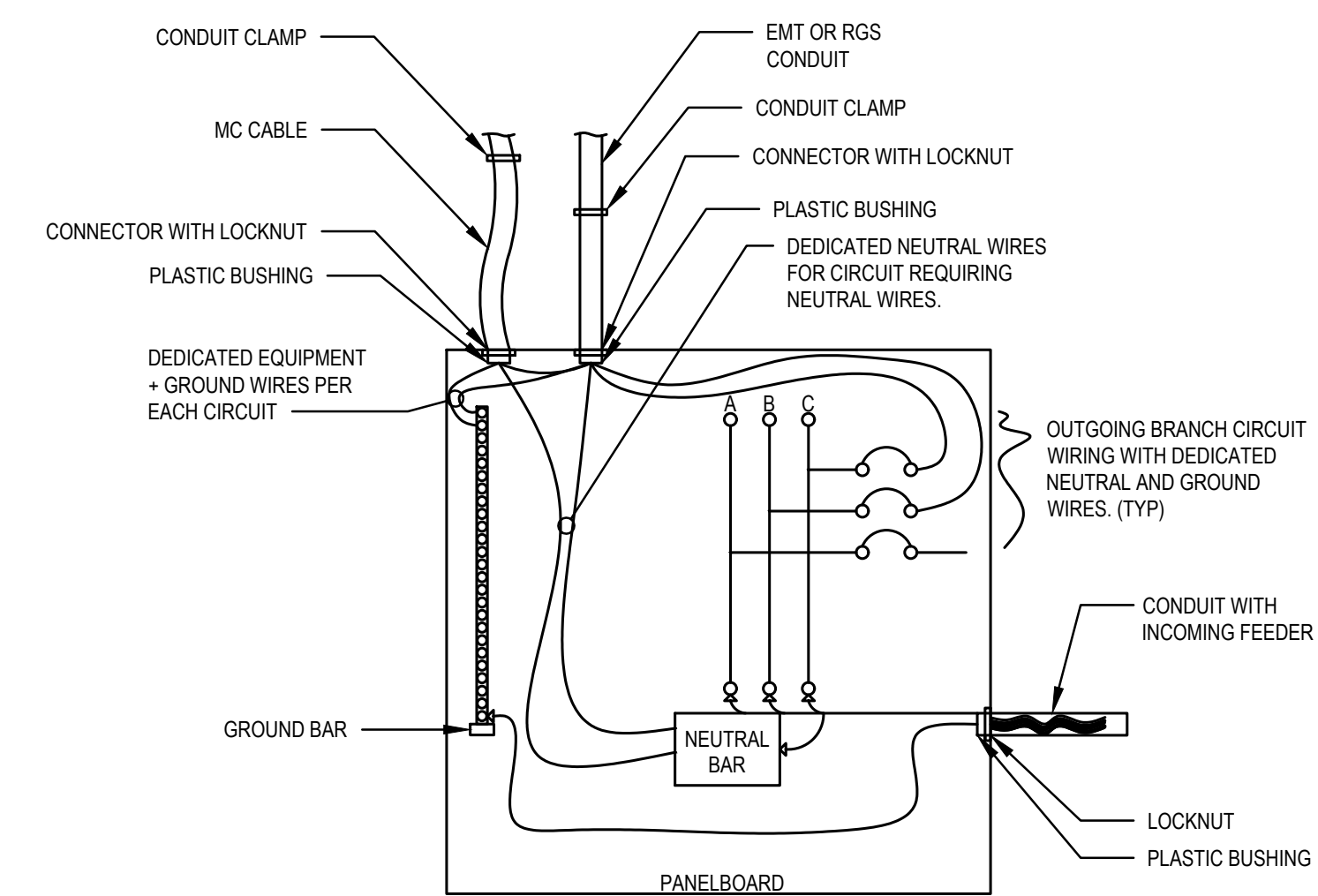
SCALE: NOT TO SCALE



- NOTES:
- PROVIDE DOOR IN DOOR FRONTS FOR PANELS LESS THAN OR EQUAL TO 400A.
  - PRIMARY AND SECONDARY PANELS TO BE LOCKABLE WITH SAME KEYS AND TO OPEN IN THE SAME DIRECTION.
  - WHERE PANEL IS SHOWN OR INDICATED TO BE RECESSED INTO AN EXISTING WALL, CUT WALL FROM FLOOR TO CEILING AS REQUIRED TO INSTALL ALL NEW FEEDER(S) AND BRANCH CIRCUITS. PATCH AND REPAIR TO MATCH EXISTING.

### FULLY HINGED DOOR AND TRIM DETAIL

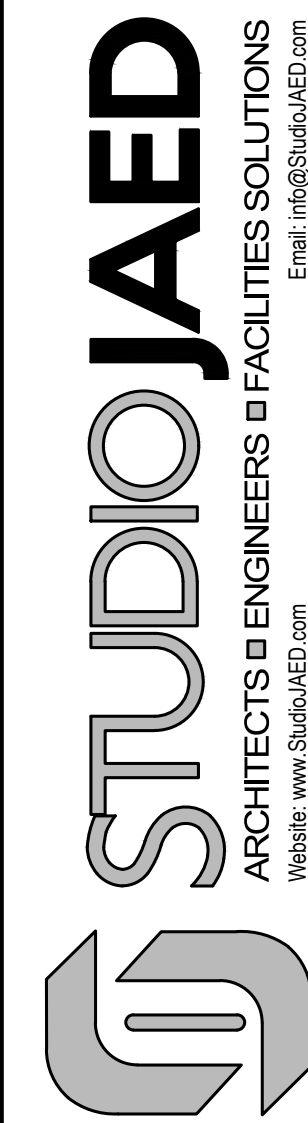
SCALE: NOT TO SCALE



- NOTES:
- PROVIDE GROUND BAR WITH ADEQUATE TERMINALS FOR EQUIPMENT GROUND WIRES.
  - DOUBLE LUGGING OF NEUTRAL OR EQUIPMENT GROUND WIRES IS NOT PERMITTED.
  - NUMBER OF NEUTRAL AND EQUIPMENT GROUND WIRES VARY BY PANEL AND BRANCH CIRCUITS.

### EQUIPMENT GROUND AND NEUTRAL WIRING IN PANELBOARD (TYP)

SCALE: NOT TO SCALE



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### ELECTRICAL DETAILS

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JD	PP	24065

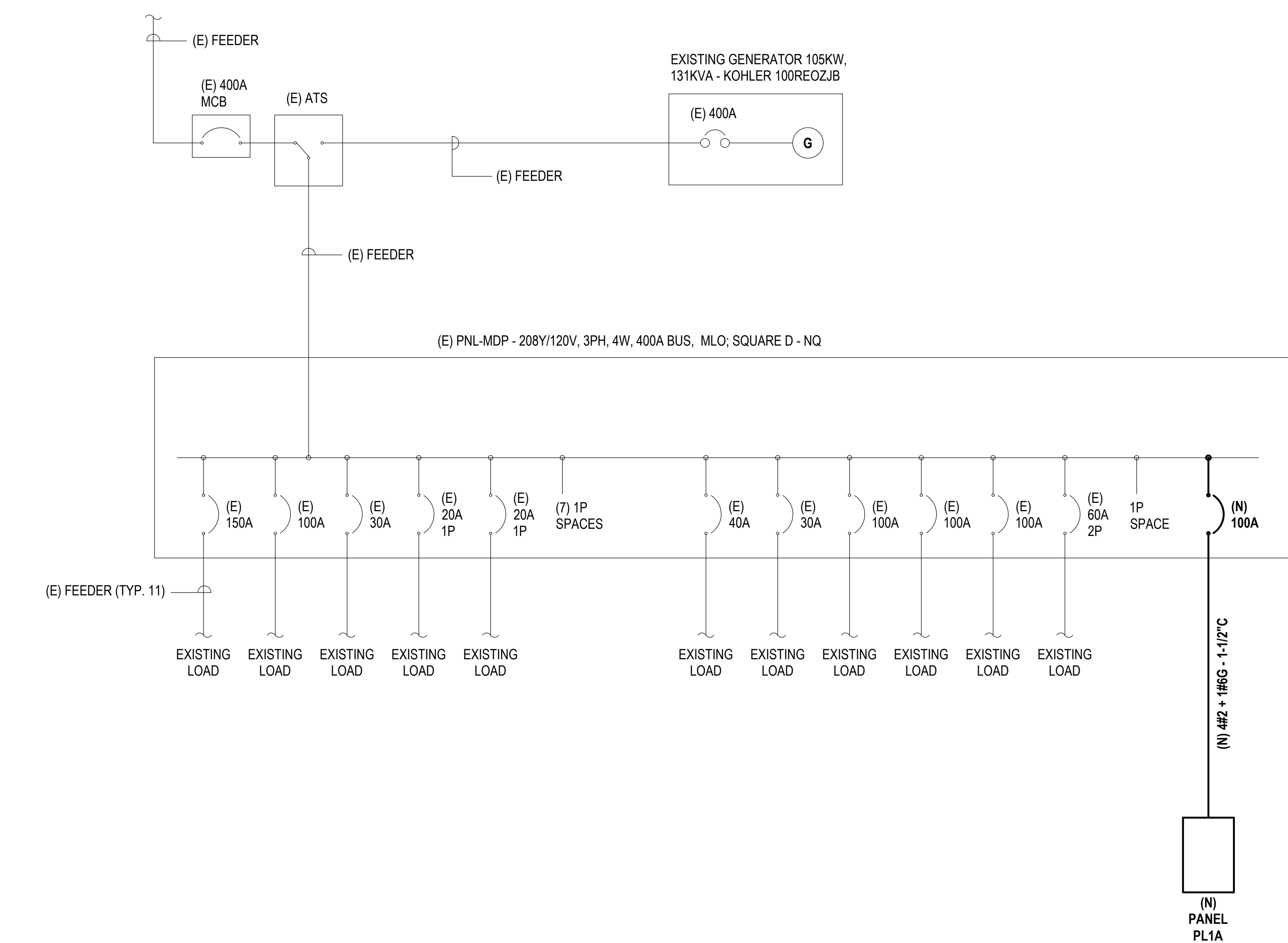
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E-500

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**1**  
**E-600**

**ELECTRICAL SINGLE LINE DIAGRAM**  
 SCALE: NOT TO SCALE

- SINGLE LINE DIAGRAM NOTES:**
- ALL CIRCUIT BREAKERS AND DISCONNECT SWITCHES ARE 3 POLES UNLESS NOTED OTHERWISE.
  - ALL FEEDER CIRCUIT BREAKERS 400A AND GREATER SHALL HAVE ELECTRONIC TRIP INCLUDING LONG, SHORT, AND INSTANTANEOUS SETTINGS AND SHALL HAVE FIELD REPLACEABLE TRIP SETTINGS.
  - ALL ELECTRICAL EQUIPMENT ARE NEW UNLESS NOTED OTHERWISE.

**NEW PANEL**

OA kVA	OB kVA	OC kVA	DESCRIPTION	Phase	Br	Ckt	Ø	Ckt	Br	#	DESCRIPTION	OA kVA	OB kVA	OC kVA
* 0.72	-	-	RECEPT - SCRN 216, STOR 231, BATH 230, COR 229	1	20	1	A	2	20	2	FC-1, 4, 5, MCU - SCRN 216, CORR 229, MEET 232	0.22	-	-
* 0.54	-	-	RECEPT - MULTI-PURPOSE 228	1	20	3	B	4	20	4		-	0.22	-
* 0.72	-	0.72	RECEPT - MULTI-PURPOSE 228	1	20	5	C	6	20	2	FC-3A, 3B - MULTI-PURPOSE 228	-	-	0.29
* 0.72	-	-	RECEPT - MULTI-PURPOSE 227	1	20	7		8	20	2	FC-2A, 2B - MULTI-PURPOSE 227	0.29	-	-
* 0.72	-	-	RECEPT - MULTI-PURPOSE 227	1	20	9		10	20	2		-	0.29	-
* 0.18	-	-	RECEPT - EXTERIOR	1	20	11		12	20	2		-	0.29	-
* 0.50	-	-	RECEPT - ADA POD - MULTI-PURPOSE 228	1	20	13		14	20	2	ERV-1 - CORRIDOR 229	0.37	-	-
* 0.50	-	-	RECEPT - POD - CORRIDOR 229	1	20	15		16	20	2		-	0.37	-
* 0.50	-	0.50	RECEPT - POD - CORRIDOR 229	1	20	17		18	20	1	DHC-1 - CORRIDOR 229	-	-	0.50
* 0.53	-	-	LIGHTS - CORR 229, MULTI-PURPOSE 227 & 228	1	20	19		20	20	1		2.10	-	-
* 1.80	-	-	WATER HEATER	1	20	21		22	25	3	HP-1 - EXTERIOR	-	2.10	-
***	-	-	SPARE	1	20	23		24	-	-		-	2.10	-
***	-	-	SPARE	1	20	25		26	-	-		-	-	-
***	-	-	SPARE	1	20	27		28	-	-		-	-	-
***	-	-	SPARE	1	20	29		30	-	-		-	-	-
***	-	-	SPARE	1	20	31		32	-	-		-	-	-
-	-	-	SPARE	-	-	33		34	-	-		-	-	-
-	-	-	SPARE	-	-	35		36	-	-		-	-	-

CONNECTED LOAD  
 PHASE A: 5.45 kVA  
 PHASE B: 5.54 kVA  
 PHASE C: 4.58 kVA  
 TOTAL CONNECTED LOAD = 4.58 kVA

\* PROVIDE NEW CIRCUIT BREAKER AND NEW 2#12 x 1#12G - 34°C.  
 \*\* PROVIDE NEW CIRCUIT BREAKER AND NEW 3#10 x 1#10G - 34°C.  
 \*\*\* PROVIDE NEW SPARE CIRCUIT BREAKER.

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REVISIONS

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ELECTRICAL SINGLE LINE DIAGRAM & PANEL SCHEDULE

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DRAWN	CHKD	PROJECT NO.
JD	PP	24065

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SHEET NO.

**E-600**



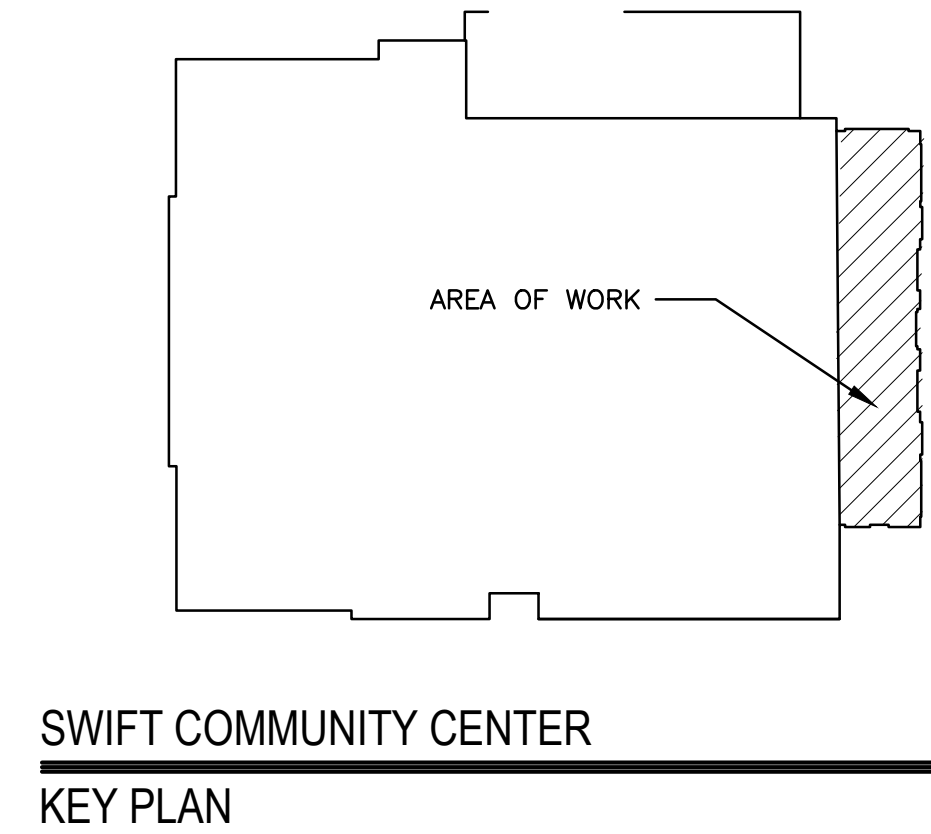


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1  
MD101

# MECHANICAL DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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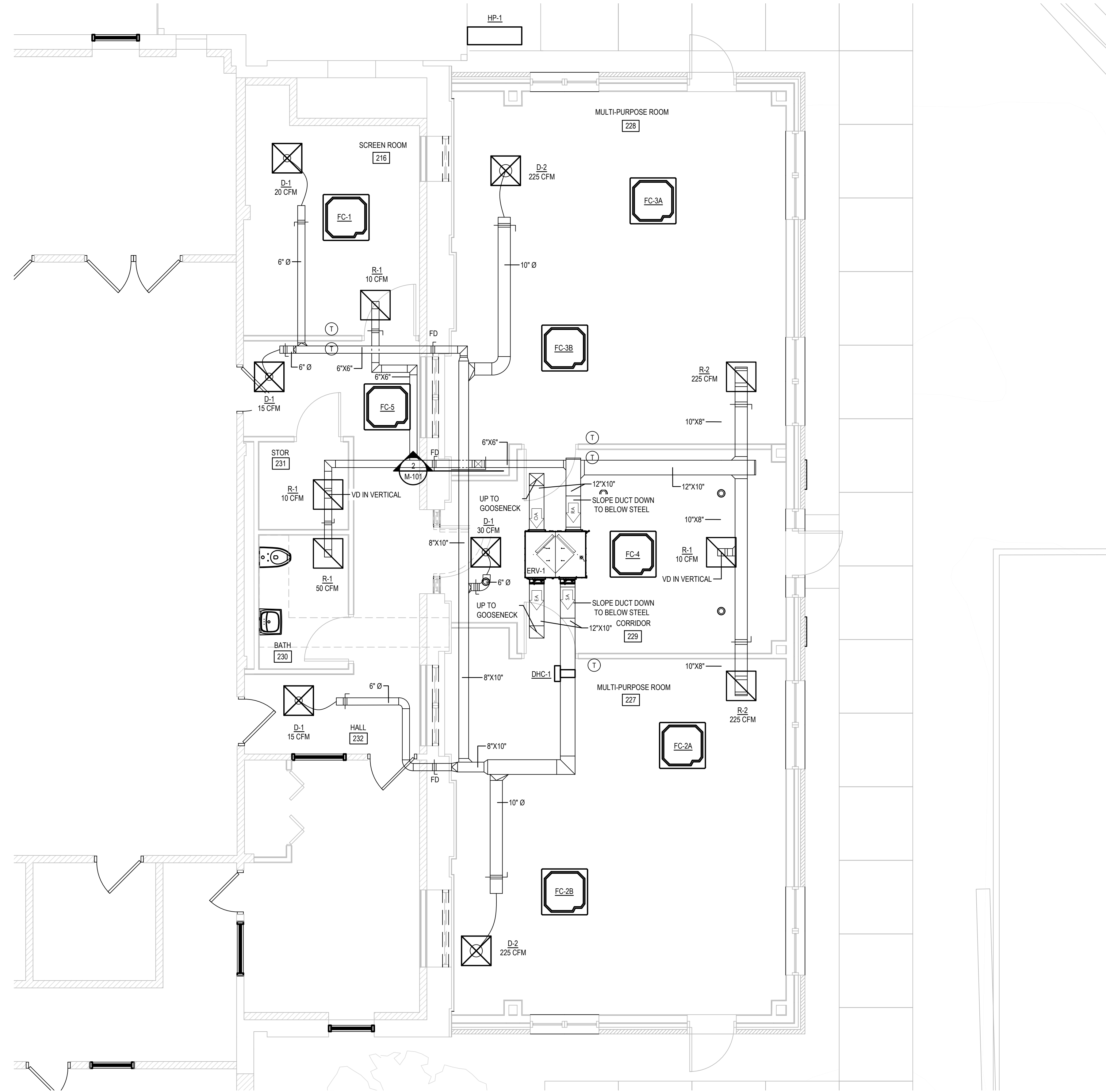
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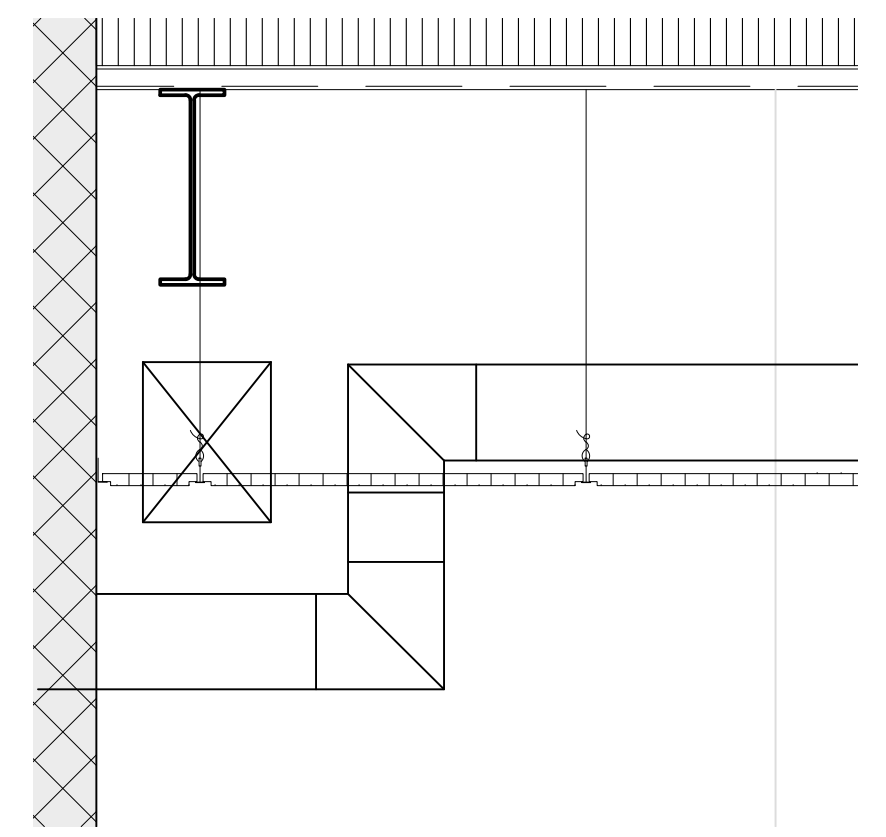
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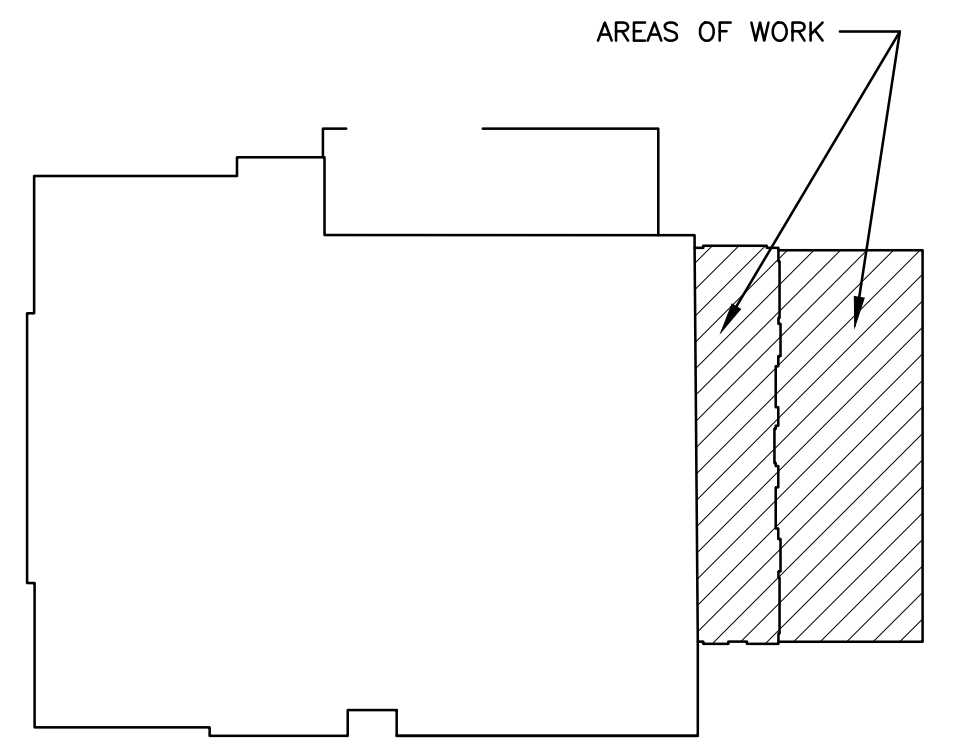
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**1**  
 M-101  
**MECHANICAL NEW WORK PLAN**  
 SCALE: 1/4" = 1'-0"



**2**  
 M-101  
**MECHANICAL DUCT SECTION 1**  
 SCALE: 1/4" = 1'-0"



**SWIFT COMMUNITY CENTER**  
**KEY PLAN**

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DIFFUSER SCHEDULE					
UNIT NUMBER	SIZE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS
D-1	6" X 6"	ALUMINUM DOUBLE-DEFLECTION SUPPLY GRILLE	KRUEGER	5880	PROVIDE FACE OPERABLE DAMPER
D-2	10" X 10"	ALUMINUM DOUBLE-DEFLECTION SUPPLY GRILLE	KRUEGER	5880	PROVIDE FACE OPERABLE DAMPER

NOTE: PROVIDE EQUIPMENT BY KRUEGER OR APPROVED EQUAL. FINISH SHALL BE FACTORY OFF-WHITE FINISH. CONTRACTOR IS RESPONSIBLE TO SELECT APPROPRIATE MOUNT DEPENDING ON CEILING TYPE.

RETURN GRILLE SCHEDULE					
UNIT NUMBER	SIZE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS
R-1	6" X 6"	ALUMINUM RETURN GRILLE	KRUEGER	5580	
R-2	10" X 10"	ALUMINUM RETURN GRILLE	KRUEGER	5580	

NOTE: PROVIDE EQUIPMENT BY KRUEGER OR APPROVED EQUAL. FINISH SHALL BE FACTORY OFF-WHITE FINISH. CONTRACTOR IS RESPONSIBLE TO SELECT APPROPRIATE MOUNT DEPENDING ON CEILING TYPE.

HEAT PUMP SCHEDULE										
UNIT NUMBER	COOLING CAPACITY (MBH)	HEATING CAPACITY (MBH)	DESIGN COOLING OUTDOOR DBWS (°F)	DESIGN HEATING OUTDOOR DB (°F)	ELEC	MCA	MOCP	MFR	MODEL	REMARKS
HP-1	120	135	90/73	6	208/360	19.4	25	SAMSUNG	AM120BXVGJRAA	

NOTE: PROVIDE UNITS AS SCHEDULED OR APPROVED EQUAL. MOUNT UNITS ON MIRO INDUSTRIES HD EQUIPMENT SUPPORT. CONTRACTOR TO CONFIRM CORRECT MODEL. PROVIDE WALL PENETRATIONS FOR REFRIGERANT PIPING AND ELECTRICAL CONDUITS. PROVIDE MANUFACTURER'S TWINNING KITS FOR INSTALLATION AND SINGLE-POINT ELECTRICAL CONNECTIONS. ALL UNITS SHALL BE PROVIDED WITH SPRING VIBRATION ISOLATORS, MINIMUM 1" DEFLECTION.

VRF FAN COIL SCHEDULE														
UNIT NUMBER	SUPPLY AIRFLOW (CFM)	COOLING				HEATING			E.S.P. (IN-W.G.)	MCA	ELECTRICAL	MFR	MODEL	REMARKS
		E.A.T. (D.B./W.B./°F)	L.A.T. (D.B./W.B./°F)	TOTAL CAPACITY (MBH)	E.A.T. (D.B./°F)	L.A.T. (D.B./°F)	TOTAL CAPACITY (MBH)							
FC-1	315	78/65	55/55	7.5	62	90	8.7	-	24	208/160	SAMSUNG	AM007NNNDCHIAA		
FC-2A	1340	78/65	55/55	30	62	90	34	-	1.39	208/160	SAMSUNG	AM030BNMPCHIAA		
FC-2B	1340	78/65	55/55	30	62	90	34	-	1.39	208/160	SAMSUNG	AM030BNMPCHIAA		
FC-3A	1340	78/65	55/55	30	62	90	34	-	1.39	208/160	SAMSUNG	AM030BNMPCHIAA		
FC-3B	1340	78/65	55/55	30	62	90	34	-	1.39	208/160	SAMSUNG	AM030BNMPCHIAA		
FC-4	315	78/65	55/55	7.5	62	90	8.7	-	24	208/160	SAMSUNG	AM007NNNDCHIAA		
FC-5	300	78/65	55/55	5	62	90	6	-	24	208/160	SAMSUNG	AM005NNNDCHIAA		

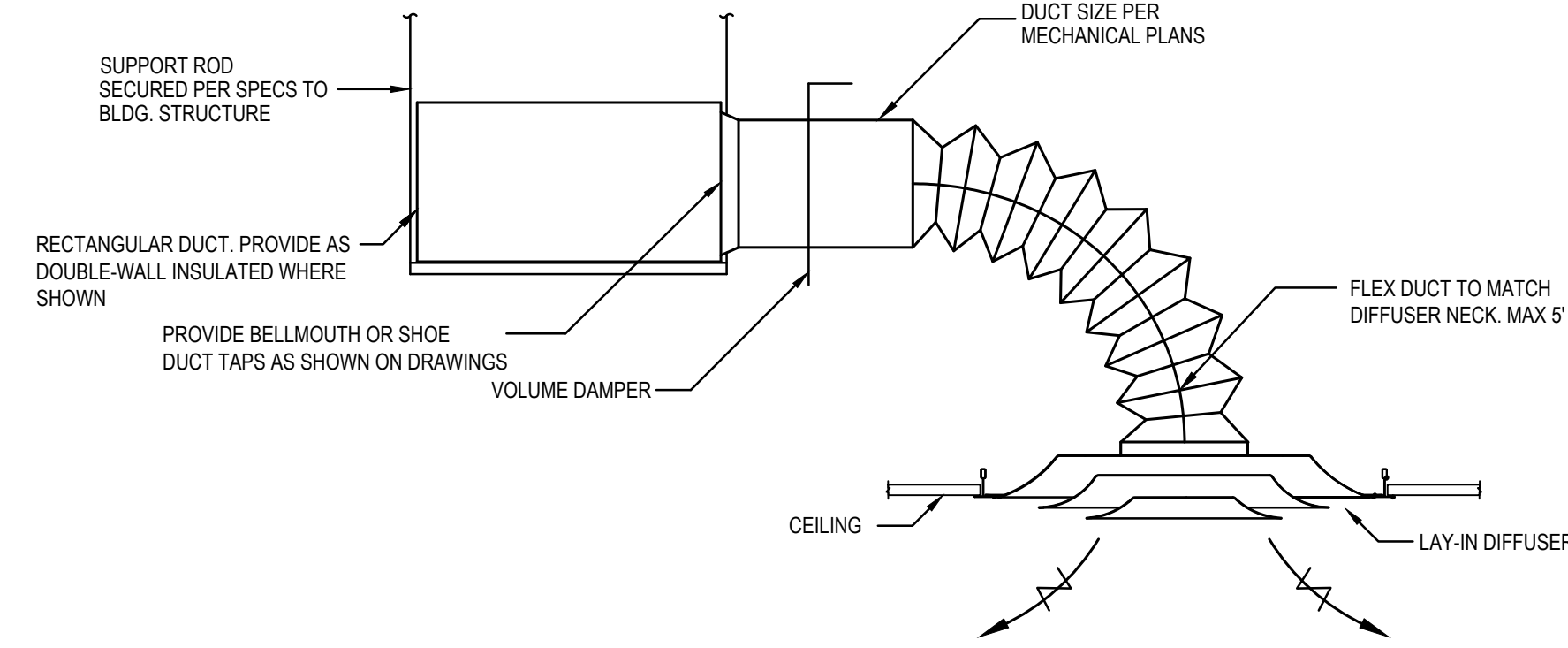
NOTE: PROVIDE UNITS AS SCHEDULED OR APPROVED EQUAL. ALL UNITS SHALL HAVE EC MOTOR WITH FAN SPEED CONTROLLER. ALL UNITS TO BE EQUIPPED WITH INTEGRAL CONDENSATE REMOVAL PUMP WHICH RECEIVES POWER DIRECTLY FROM FAN COIL UNIT. PROVIDE GROUPED CONTROLS FOR SPACES SERVED BY MULTIPLE UNITS. SEE DRAWINGS.

ENERGY RECOVERY VENTILATOR SCHEDULE																			
UNIT NUMBER	SUPPLY AIRFLOW (CFM)	EXHAUST AIRFLOW (CFM)	SUMMER				WINTER				SUPPLY E.S.P. (IN-W.G.)	EXHAUST E.S.P. (IN-W.G.)	ELEC	MOTOR QTY	MCA	MOCP	MFR	MODEL	REMARKS
			SUPPLY E.D.B./E.W.B. (°F)	SUPPLY L.D.B./L.W.B. (°F)	EXHAUST E.D.B./E.W.B. (°F)	EXHAUST L.D.B./L.W.B. (°F)	SUPPLY E.D.B./E.W.B. (°F)	SUPPLY L.D.B./L.W.B. (°F)	EXHAUST E.D.B./E.W.B. (°F)	EXHAUST L.D.B./L.W.B. (°F)									
ERV-1	530	530	90/73	78.8/67.2	75/62.6	10.6	57.3/46.6	70/54.4	0.75	0.75	208/160	2	3.9	15	RENEWAIRE	HE10-JNH-S15EE-DGN3-L			

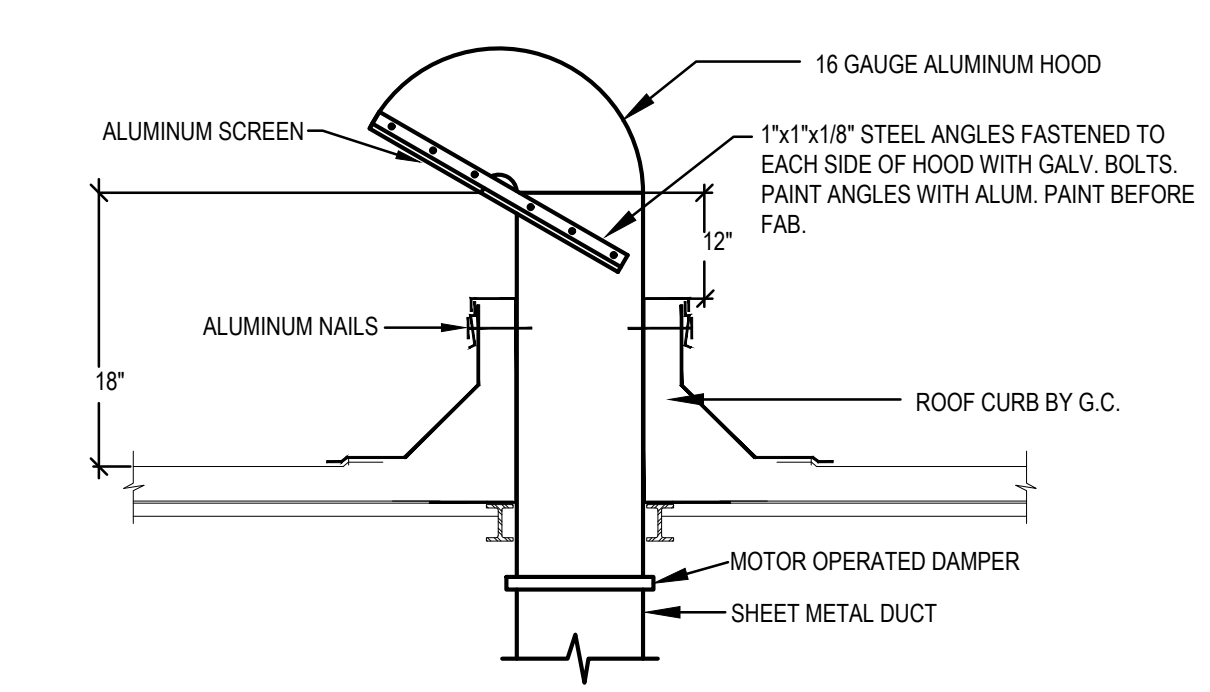
NOTE: PROVIDE UNITS AS SCHEDULED OR APPROVED EQUAL. PROVIDE W/ EC MOTORS ON SUPPLY AND EXHAUST FANS. SINGLE POINT POWER CONNECTION. HANGING SPRING ISOLATORS. DOUBLE WALL CONSTRUCTION AND DUCT FLANGES. EXHAUST AIR CONDITIONS ARE 75 DEG. F DB @ 50% RH IN COOLING MODE AND 70 DEG. F DB @ 35% RH IN HEATING MODE. PROVIDE MERV-8 FILTERS ON BOTH AIR STREAMS. PROVIDE MFR'S TIME CLOCK FOR OCCUPIED/UNOCCUPIED CONTROL.

ELECTRIC DUCT HEATER SCHEDULE									
MARK	AIRFLOW (CFM)	HEATING E.D.B./L.D.B. (°F)	CAPACITY (KW)	DUCT DIMENSIONS	AIRFLOW ORIENTATION	ELECTRICAL	MANUFACTURER	MODEL	REMARKS
DHC-1	530	57/70	0.5	12"X10"	HORIZONTAL	120/160	WARREN	CBK	

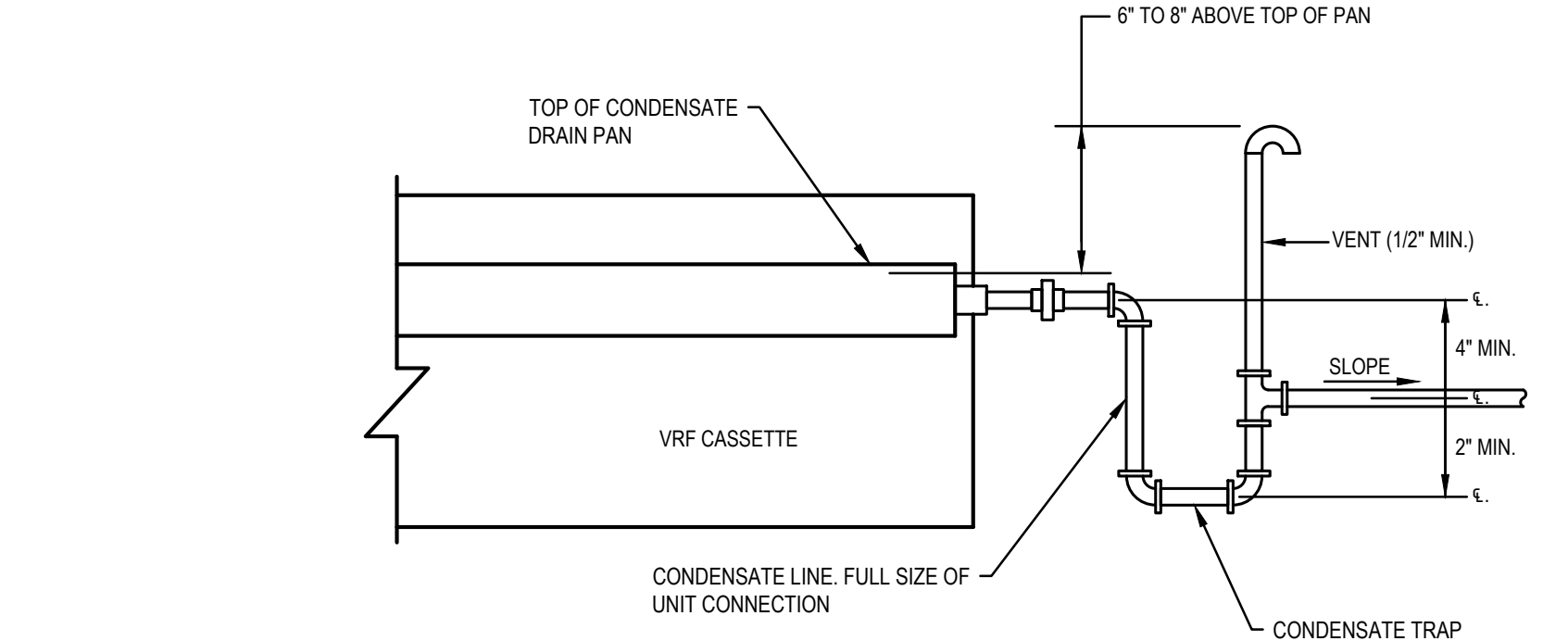
NOTE: PROVIDE EQUIPMENT AS SCHEDULED OR APPROVED EQUAL. PROVIDE UNITS IN NEMA 1 ENCLOSURE. WITH MANUAL RESET HI-LIMIT SWITCHES. MAGNETIC CONTACTORS. 24V CONTROL TRANSFORMERS. AIRFLOW SWITCH FOR POSITIVE PRESSURE. DISCONNECT SWITCH. INTERLOCKING COVER AND SCR CONTROL WITH 0-10VDC INPUT SIGNAL. CONTRACTOR TO MAINTAIN 36" CLEARANCE TO DISCONNECT PER NEC. PROVIDE DUCT MOUNTED TEMPERATURE SENSOR TO MAINTAIN SCHEDULED LEAVING AIR TEMPERATURE.



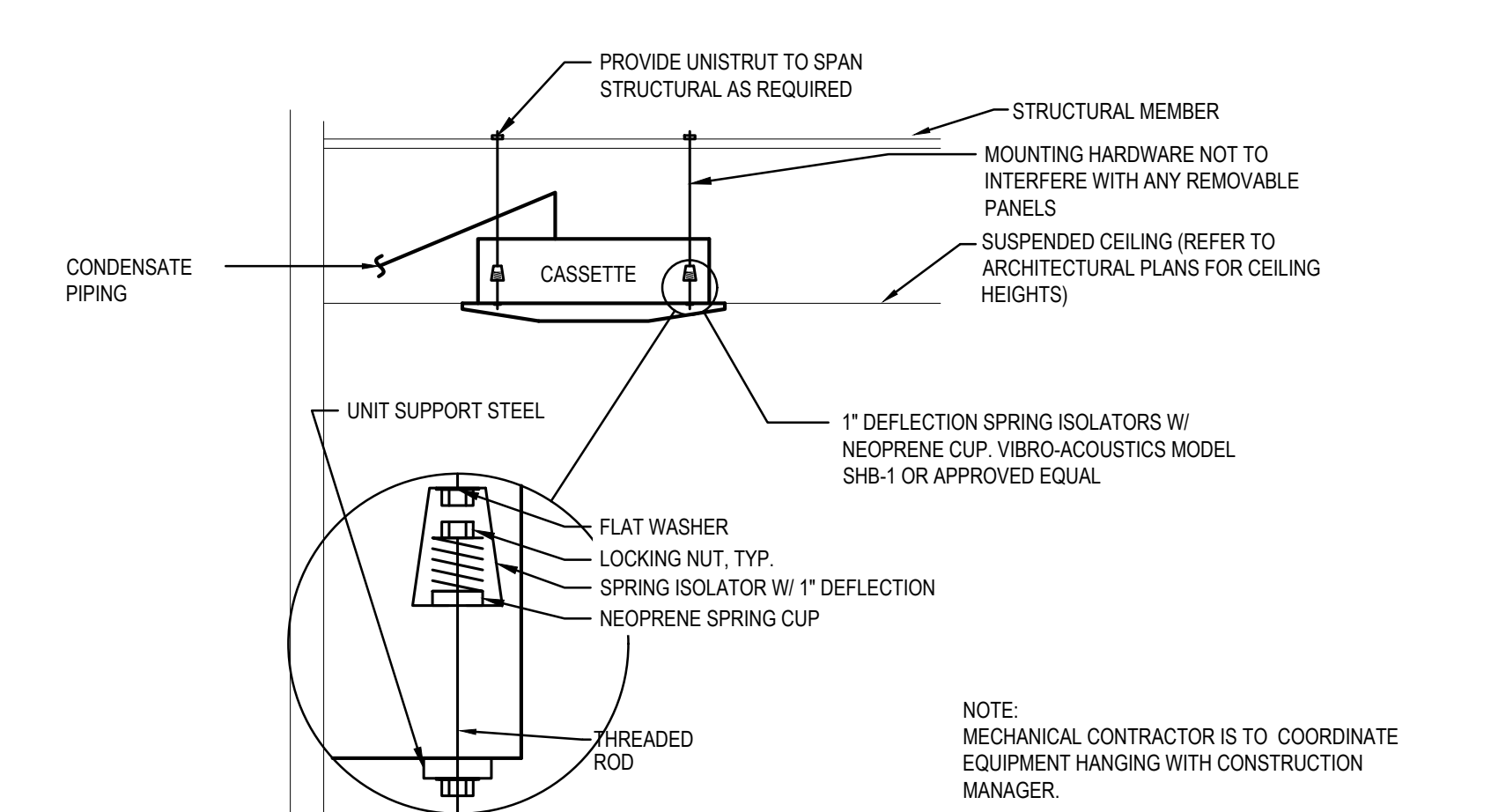
2 TYPICAL DIFFUSER CONNECTION DETAIL  
SCALE: NTS



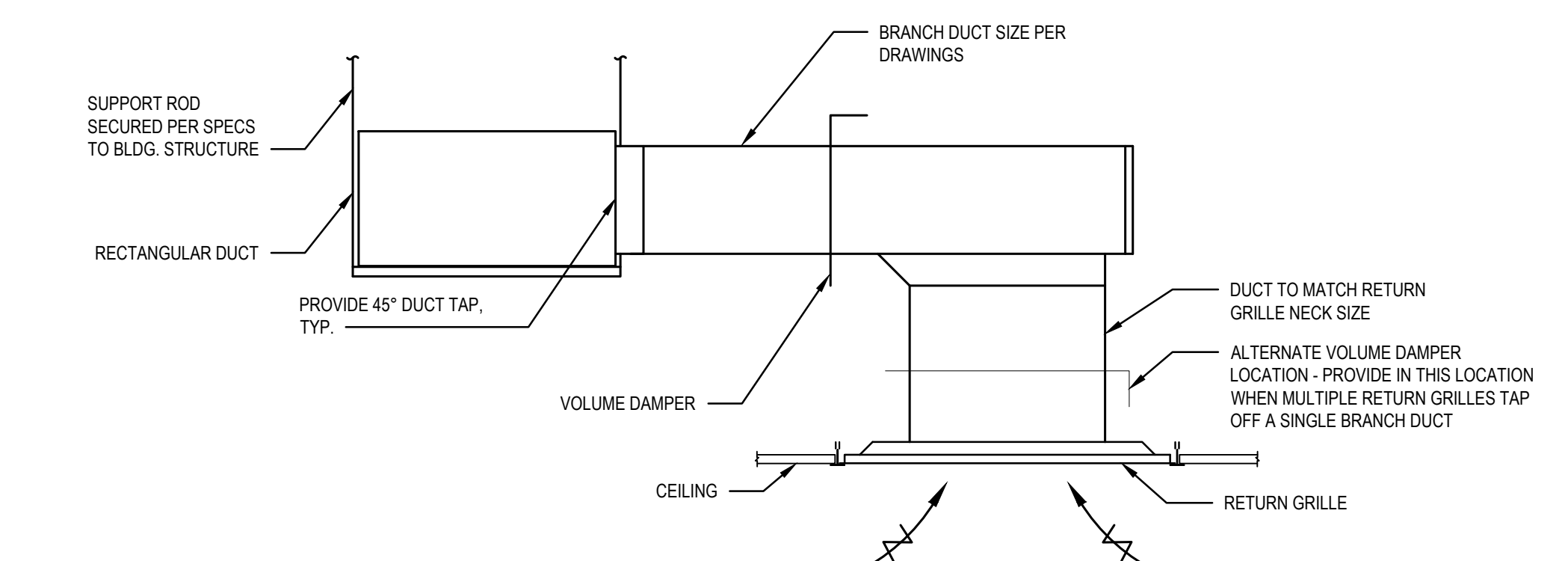
5 GOOSENECK DETAIL  
SCALE: Not To Scale



1 TYPICAL VRF CASSETTE CONDENSATE DETAIL  
SCALE: NTS



3 TYPICAL VRF CASSETTE HANGING DETAIL  
SCALE: NTS



4 TYPICAL RETURN GRILLE CONNECTION DETAIL  
SCALE: NTS

TOWN OF EAST GREENWICH

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SWIFT COMMUNITY CENTER EXPANSION

SWIFT COMMUNITY CENTER

121 PERCE STREET

MECHANICAL SCHEDULES

ISSUED FOR BID

NOVEMBER 6, 2024

SHEET TITLE

PROJECT NO.

DRAWN KW

CHKD BZ

PROJECT NO. 24065

SHEET NO.

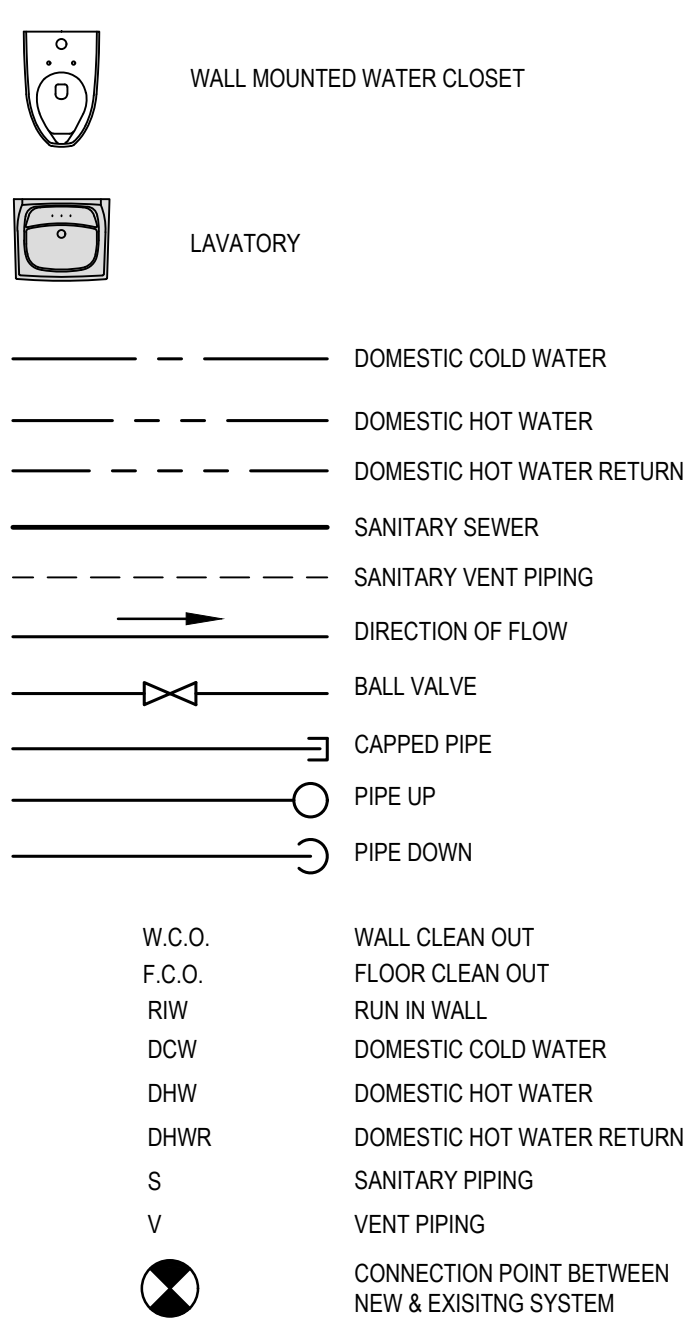
M-500

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## GENERAL PLUMBING NOTES

- SEE THE ARCHITECTURAL DRAWINGS FOR INFORMATION ON THE SCOPE OF CONSTRUCTION.
- COLLECT FIXTURE VENTS IN VENT HEADER ABOVE CEILING AND CONNECT TO CLOSEST EXISTING VTR OR BRANCH VENT (OF THE SAME OR LARGER SIZE).
- FOR ALL EQUIPMENT REQUIREMENTS, REFER TO SPECIFICATIONS, PLUMBING SCHEDULE OR DRAWINGS. CONTRACTOR SHALL NOT INSTALL EQUIPMENT MATERIALS UNTIL SAME IS APPROVED.
- INSTALL WATER HAMMER ARRESTORS IN DOMESTIC WATER PIPING AS REQUIRED PER P.D.I. WH-201 STANDARDS FOR WATER HAMMER ARRESTORS.
- PROVIDE TRAPS FOR ALL PLUMBING EQUIPMENT CONNECTIONS AND/OR IN ANY SANITARY PIPING AS REQUIRED BY THE APPLICATION.
- PRIOR TO SUBMITTING BID, THE CONTRACTOR/BIDDER SHALL VISIT THE SITE AND BE THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AND PROPOSED CONSTRUCTION. CONTRACTOR/BIDDER SHALL INCLUDE IN THEIR BID ALL MATERIALS, LABOR AND ALL INCIDENTALS FOR A COMPLETE INSTALLATION WHETHER SPECIFICALLY INDICATED OR NOT. ALL ERRORS, DISCREPANCIES AND MISSED ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER DURING THE BIDDING PROCESS BY THE CONTRACTOR/BIDDER. THESE ITEMS SHALL BE INCLUDED IN THE BID PRICE. NO EXTRA COST WILL BE ALLOWED FOR ANY DISCREPANCY WHICH COULD HAVE BEEN NOTICED AT THE SITE BY THE CONTRACTOR/BIDDER.
- ALL INSTALLATIONS SHALL COMPLY WITH ALL CODES OR REGULATIONS, LOCAL, STATE, OR NATIONAL HAVING JURISDICTION OVER THE PROJECT.
- ALL FIXTURES AND PIPING INSTALLATIONS SHALL BE PROPERLY BRACED, RIGIDLY SUPPORTED, AND INSTALLED WITH ADEQUATE VIBRATION ISOLATION AND INSULATION.
- PROVIDE ALL LABOR, MATERIALS, AND INSTALLATION APPARATUS TO INSURE A COMPLETE OPERATING SYSTEM IMPLIED BY DRAWING CONTENT AND AS SPECIFIED.
- THOROUGHLY COORDINATE ALL PLUMBING INSTALLATIONS WITH WORK OF OTHER CONSTRUCTION DISCIPLINES.
- SEAL ALL RESPECTIVE WALL, FLOOR, AND CEILING/ROOF PENETRATIONS AS APPROPRIATE TO MAINTAIN A WEATHER TIGHT ENCLOSURE, FIRE BARRIER, SMOKE BARRIER, ETC. AS APPLICABLE. REFER TO ARCHITECTURE PLANS FOR SMOKE AND FIRE BARRIERS/PARTITIONS.
- CONTRACTOR TO PAY FOR ALL FEES AND PERMITS ASSOCIATED WITH PLUMBING WORK INDICATED AS NECESSARY TO SECURE A COMPLETE AND OPERATIONAL SYSTEM ON SCHEDULE AND IN A TIMELY MANNER.
- CONNECT DHW, DOW, DHWR VENT, AND SOIL & WASTE LINES TO FIXTURES IN ACCORDANCE WITH SIZES INDICATED ON FIXTURE SCHEDULE.
- RUN 2" MINIMUM SIZES SOIL & WASTE PIPING BELOW GROUND INSIDE BUILDING REGARDLESS OF SIZE ON FIXTURE CONNECTION SCHEDULE.
- ALL DIMENSIONS AND PIPE SIZES ARE IN INCHES, UNLESS NOTED OTHERWISE.
- FURNISH AND INSTALL ACCESS PANELS WHERE REQUIRED FOR ACCESS TO ALL CONCEALED VALVES, TRAPS, OR OTHER EQUIPMENT FURNISHED UNDER THIS CONTRACT WHERE NO OTHER MEANS IS AVAILABLE.
- INSTALL ALL SHUT-OFF AND ISOLATION VALVES (WITH ACCESS PANELS IF NECESSARY) IN A LOCATION WHICH IS ACCESSIBLE FROM THE MAIN FLOOR.
- CONTRACTOR TO PROVIDE SHUT-OFF VALVES AT ALL DEVICES.
- KEEP ALL OPENINGS IN PIPES OR FITTINGS PLUGGED OR CAPPED UNTIL CONNECTED.
- SLOPE ALL DWV LINES 1/8" PER FOOT (3" AND ABOVE), 1/4" PER FOOT (2" AND BELOW).
- INSTALL ALL FIXTURES, AS SPECIFIED, WITH SUPPLY STOPS.
- INSTALL WASTE AND SUPPLY GUARDS UNDER ALL LAVS-SEE FIXTURE SCHEDULE.
- MAINTAIN RECORD DRAWINGS ON SITE. RECORD SET MUST BE COMPLETE, CURRENT AND AVAILABLE FOR INSPECTION WHEN REQUISITIONS FOR PAYMENT ARE SUBMITTED.

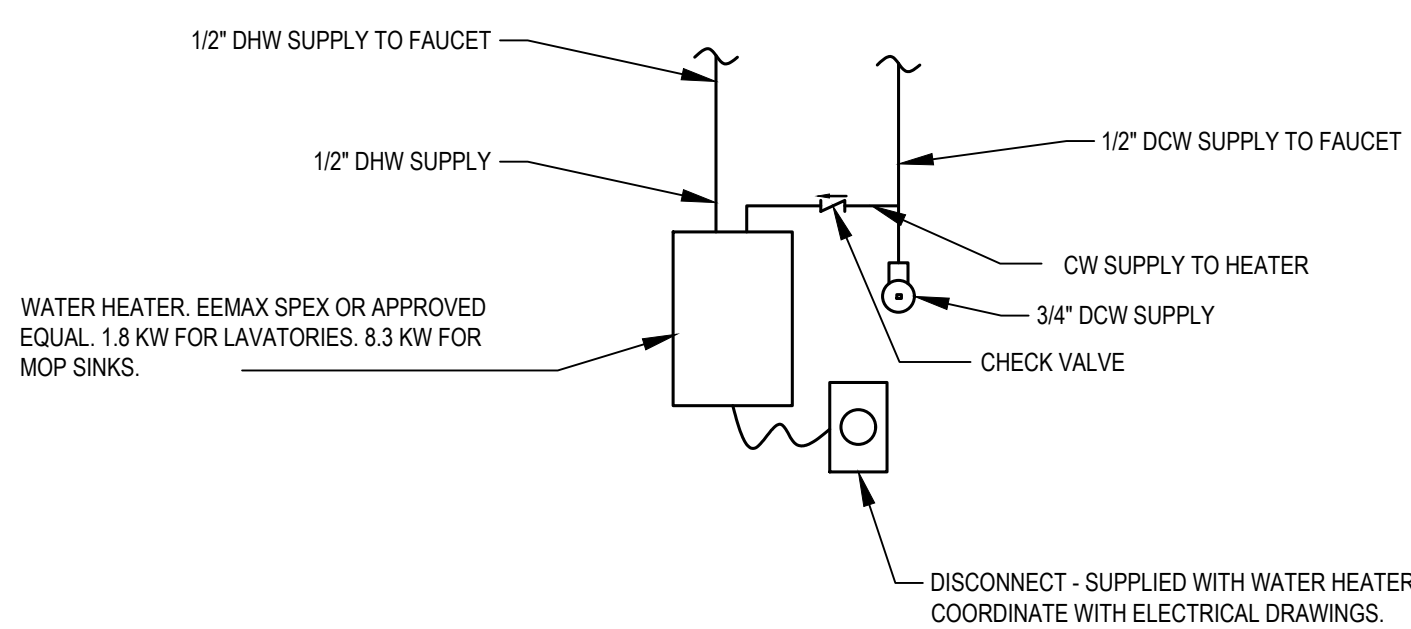
## PLUMBING LEGEND



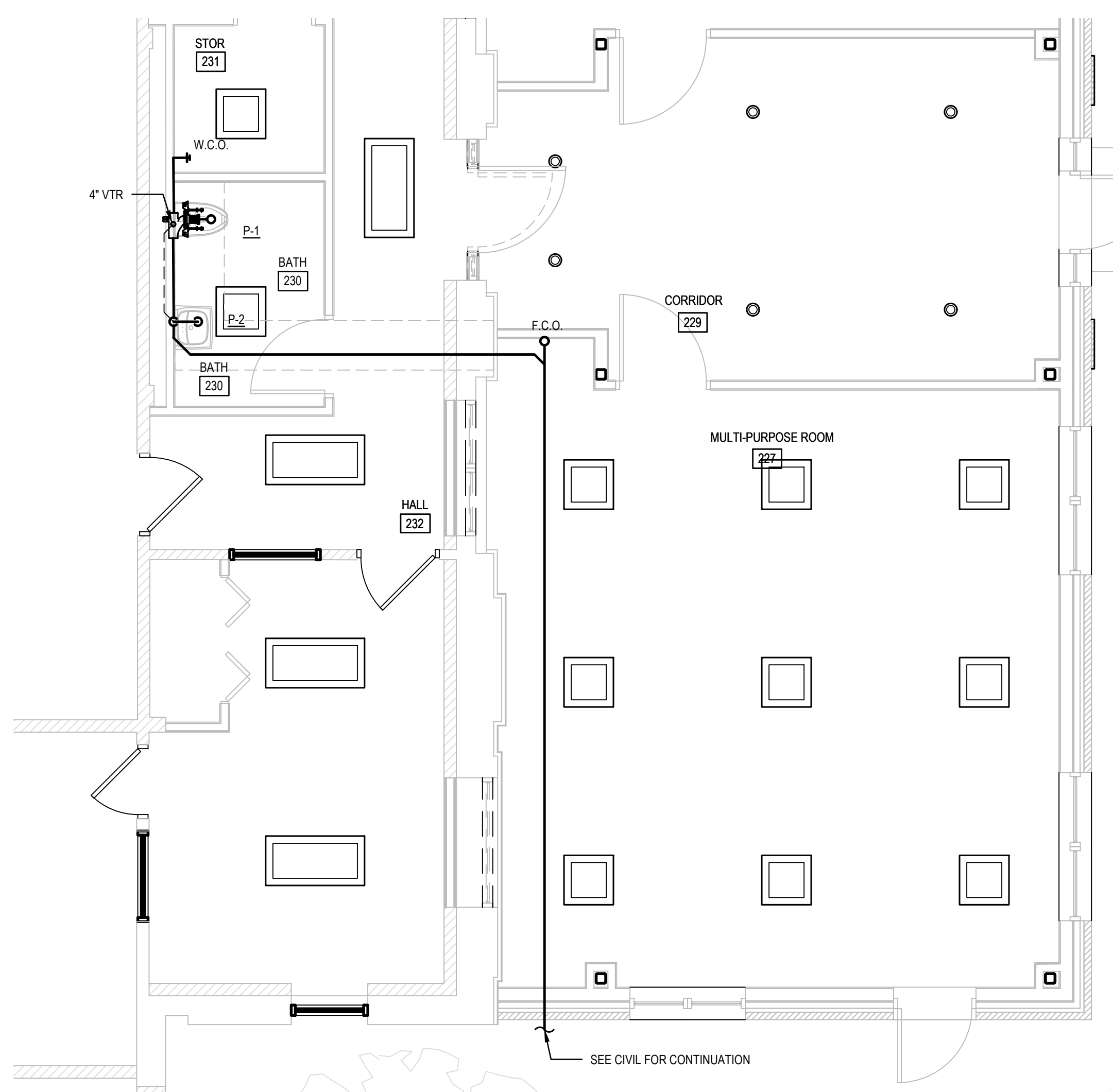
## PLUMBING FIXTURE & CONNECTION SCHEDULE

SYMBOL	FIXTURE	MANUFACTURER/MODEL #	TRIM (ADD GPM)	COLOR	DRAIN	VENT	CW	HW	REMARKS
P-1	WALL MOUNTED TOILET	AMERICAN STANDARD: AF-WALL MILLENIUM FLOWWISE FLUSHMETER, 1.1 GPF MODEL: 2257.101.020	PROVIDE WITH AMERICAN STANDARD SENSOR-OPERATED BATTERY POWERED FLUSH VALVE, 1.1 GPF, MODEL 6065111.002. PROVIDE WITH SEAT.	WHITE	4"	2"	1"		REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHTS. PROVIDE WITH ZURN Z1201-N CARRIER (CONTRACTOR TO VERIFY COMPATIBILITY WITH FIXTURE AND WITH MOUNTING HEIGHTS SHOWN ON ARCHITECTURAL DRAWINGS).
P-2	WALL MOUNTED LAVATORY	AMERICAN STANDARD: LUCERNE 0356.421	PROVIDE WITH 0.35 GPM ZURN SERIO SENSOR FAUCET WITH HYDROPOWER, BATTERY BACKUP AND THERMOSTATIC MIXING VALVE, MODEL Z36950-M-TM-1.	WHITE	1 1/4"	1 1/4"	1/2"	1/2"	PROVIDE WITH TRUEBRO LAVGUARD. REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHTS. PROVIDE WITH ZURN Z1231 CONCEALED ARM LAVATORY CARRIER (CONTRACTOR TO VERIFY COMPATIBILITY).

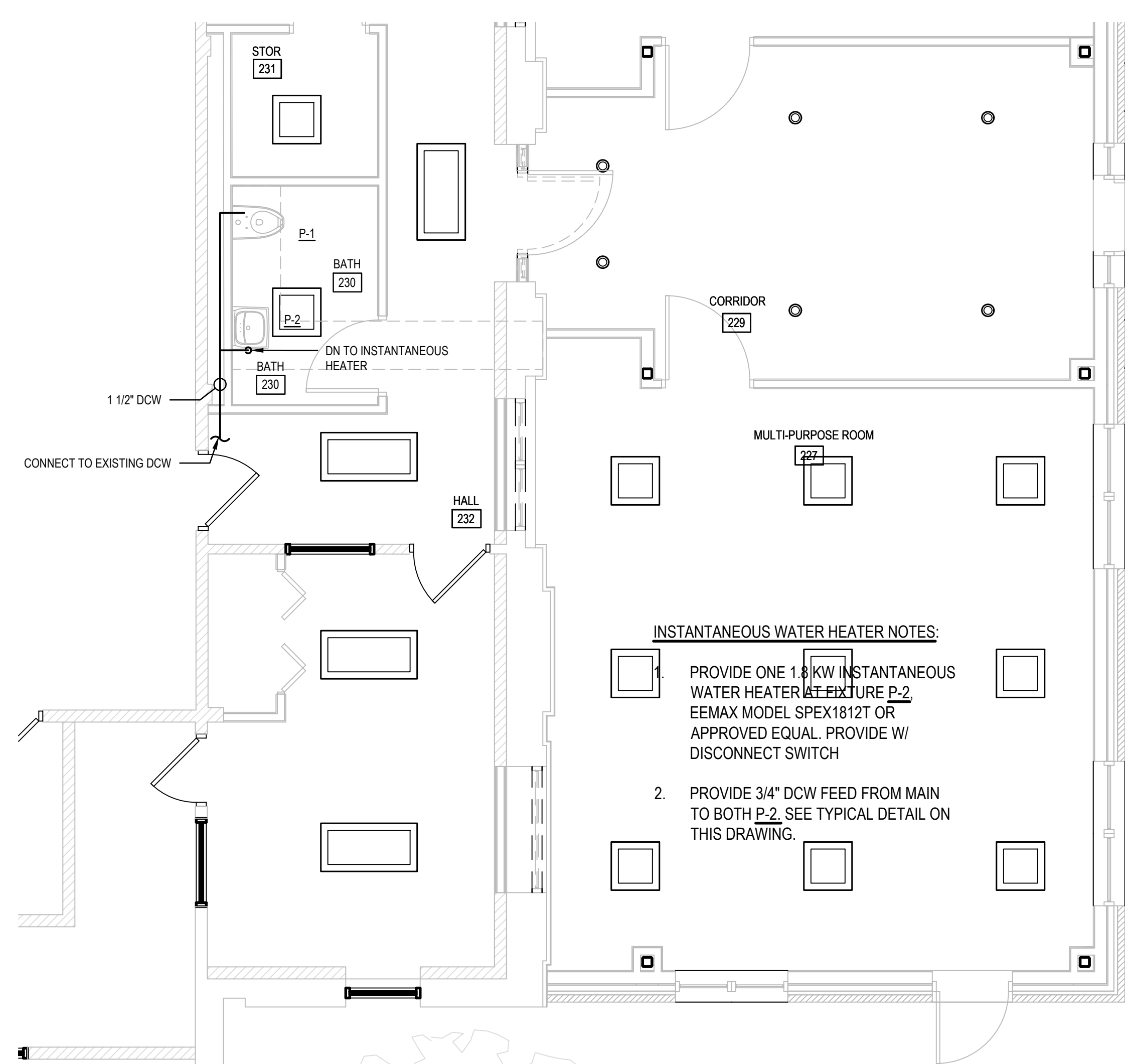
NOTES: PROVIDE EQUIPMENT AS SCHEDULED OR APPROVED EQUAL. PROVIDE FIXTURE STOPS FOR ALL EQUIPMENT.



3 POINT-OF-USE INSTANTANEOUS WATER HEATER DETAIL  
SCALE: NOT TO SCALE



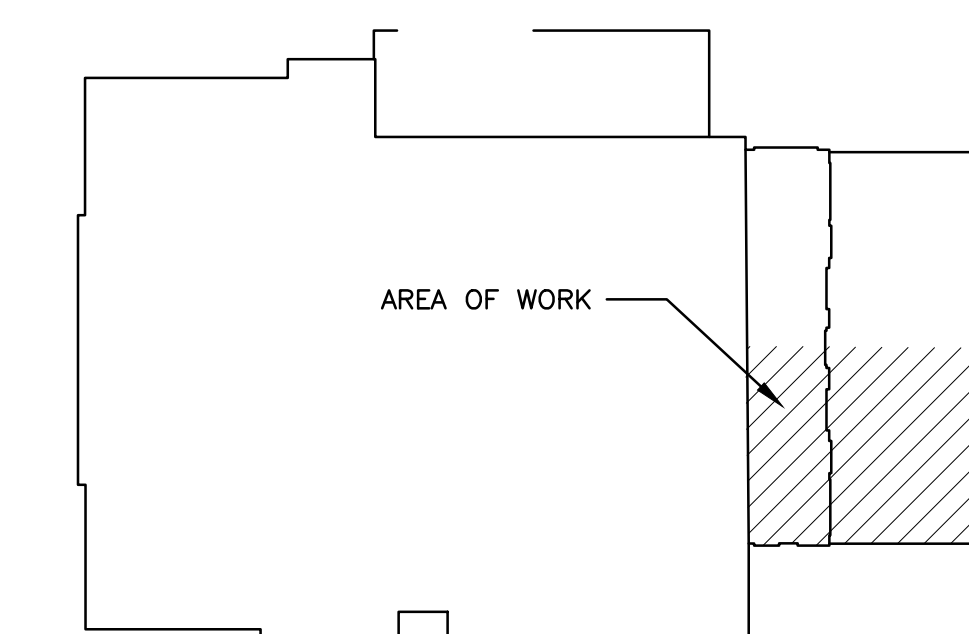
1 PLUMBING SANITARY NEW WORK PLAN  
SCALE: 1/4" = 1'-0"



2 PLUMBING DOMESTIC NEW WORK PLAN  
SCALE: 1/4" = 1'-0"

**INSTANTANEOUS WATER HEATER NOTES:**

- PROVIDE ONE 1.8 KW INSTANTANEOUS WATER HEATER (FIXTURE P-2, EEMAX MODEL SPEX1812T OR APPROVED EQUAL. PROVIDE W/ DISCONNECT SWITCH.
- PROVIDE 3/4" DCW FEED FROM MAIN TO BOTH P-2. SEE TYPICAL DETAIL ON THIS DRAWING.



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REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
PLUMBING PLAN  
ISSUED FOR  
BID  
NOVEMBER 6, 2024  
DRAWN: KW CHKD: BZ PROJECT NO: 24065  
SHEET NO:  
**P-000**