



DATE: December 20<sup>th</sup>, 2024

## **Addendum# 1**

BID NO.: 101445  
OPENING: 1/24/25 at 1:00 PM  
COMMODITY: RENOVATION OF 210 FLAGG ROAD – FACILITIES GROUP SPACE

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This addendum is being issued to correct a technical issue. The drawings originally uploaded did not include all pages. The drawings attached to this addendum are the full set. Please refer to these drawings only.

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Purchasing Department  
The University of Rhode Island

Rev. 9-1-15

# 210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION

210 FLAGG ROAD  
 KINGSTON, RHODE ISLAND  
 OCP PROJECT ID#: KC.G.210F.2022.001



PROJECT  
 LOCATION

## DRAWING LIST

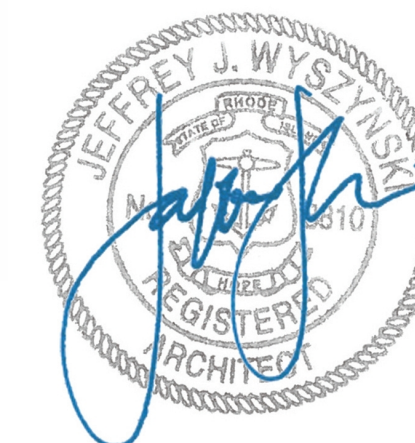
	REVISIONS
<b>GENERAL</b>	
G0.00	COVER SHEET
G1.12	LIFE SAFETY PLAN AND CODE DATA - SECOND FLOOR
<b>ARCHITECTURE</b>	
A0.10	GENERAL INFORMATION
AD.21.1	SECOND FLOOR DEMOLITION PLAN
AD.31.1	SECOND FLOOR REFLECTED CEILING PLAN - DEMO
A2.11.1	SECOND FLOOR CONSTRUCTION ANNOTATION PLAN
A2.21.1	SECOND FLOOR DIMENSION PLAN
A3.11.1	REFLECTED CEILING PLAN SECOND FLOOR
A8.10	DOOR SCHEDULES, AND CASEWORK ELEVATIONS & DETAILS
I2.12.1	SECOND FLOOR FINISH PLAN
<b>FIRE PROTECTION</b>	
FP0.01	FIRE PROTECTION LEGEND, SCHEDULES & DETAILS
FP1.10	FIRE PROTECTION SECOND FLOOR DEMOLITION PLAN
FP2.10	FIRE PROTECTION SECOND FLOOR PLAN
<b>PLUMBING</b>	
P1.00	SECOND FLOOR PLUMBING NEW WORK PLAN
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M0.01	MECHANICAL LEGEND
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M6.00	MECHANICAL SCHEDULES AND DETAILS
<b>ELECTRICAL</b>	
E0.01	ELECTRICAL SPECIFICATION AND DETAILS
E1.00	ELECTRICAL SECOND FLOOR DEMOLITION POWER PLAN
E1.10	ELECTRICAL SECOND FLOOR POWER PLAN
E2.00	ELECTRICAL SECOND FLOOR DEMOLITION LIGHTING PLAN
E2.10	ELECTRICAL SECOND FLOOR LIGHTING PLAN
<b>FIRE ALARM</b>	
FA1.00	ELECTRICAL SECOND FLOOR DEMOLITION FIRE ALARM PLAN
FA1.10	ELECTRICAL SECOND FLOOR FIRE ALARM PLAN

THE  
 UNIVERSITY  
 OF RHODE ISLAND



**TECTON  
 ARCHITECTS**

317 IRON HORSE WAY  
 SUITE 101  
 PROVIDENCE, RI 02908



**B2Q ASSOCIATES**

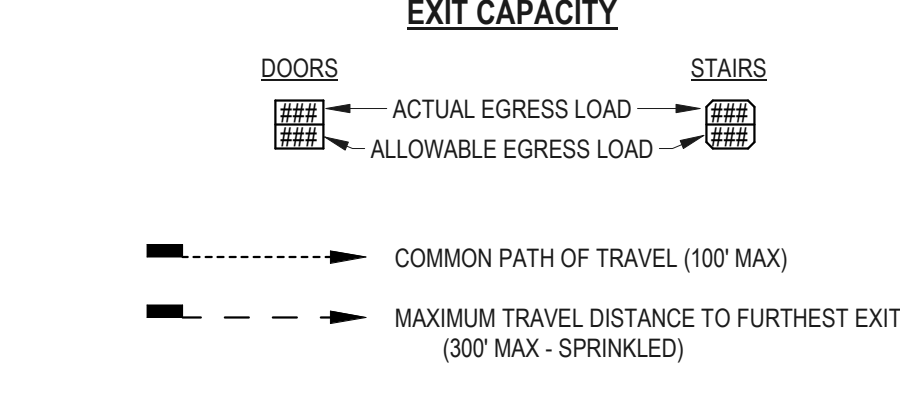
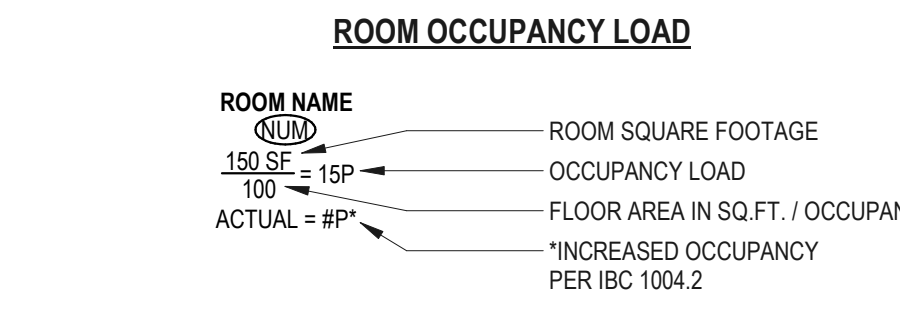
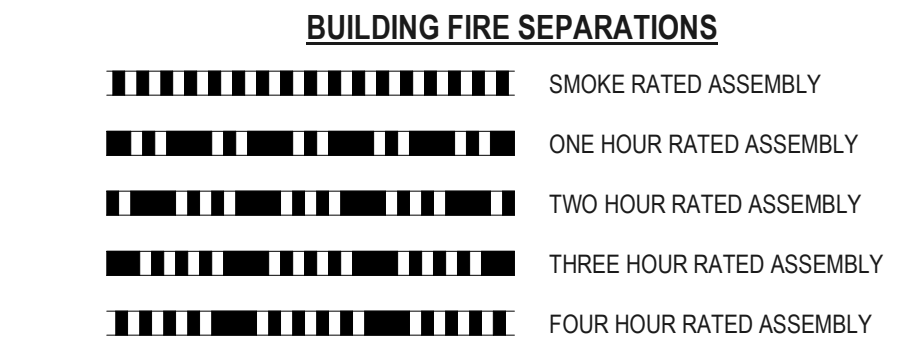
100 BURTT ROAD, SUITE 212  
 ANDOVER, MA 01810

**CONSTRUCTION DOCUMENTS**  
 9/26/2024

PROJECT NAME: 210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION

PROJECT NUMBER: URI72IN

CODE / EGRESS LEGEND



- BUILDING CODES**
- ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING CODES AND BY REFERENCE.
- 2019 RHODE ISLAND STATE FIRE SAFETY CODE
- 2019 RHODE ISLAND STATE BUILDING CODE
- RHODE ISLAND LIFE SAFETY CODE (NFPA 101 - 2018 EDITION) OF THE RHODE ISLAND FIRE SAFETY CODE
  - R.I.G.L. chapters 23-28.1
  - SBC-1 INTERNATIONAL BUILDING CODE/2018 (ICC)
  - SBC-3 INTERNATIONAL PLUMBING CODE/2018 (ICC)
  - SBC-4 INTERNATIONAL MECHANICAL CODE/2018 (ICC)
  - SBC-5 NATIONAL ELECTRICAL CODE/2020, NFPA 70/2018 (NEC)
  - SBC-8 INTERNATIONAL ENERGY CONSERVATION CODE/2018 (ICC)
  - ICC/ANSI A117.1/2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI)

**PROJECT SYNOPSIS**

THE SCOPE OF THE WORK LOCATED AT THE UNIVERSITY OF RHODE ISLAND SECOND FLOOR OF 210 FLAGG ROAD IS SUMMARIZED AS FOLLOWS:

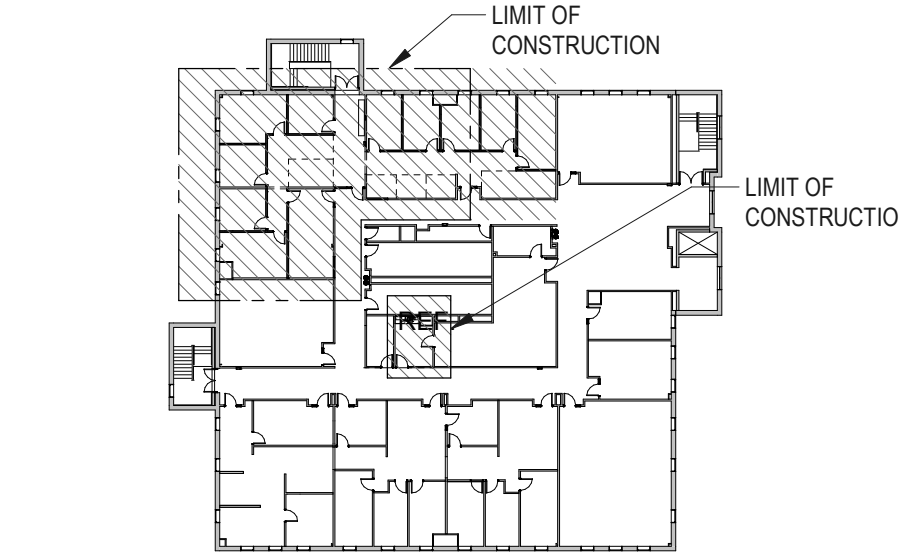
SECOND FLOOR IS 15,690 S.F., PROJECT AREA IS 2,895 S.F.

THE BUILDING IS 2B CONSTRUCTION, SPRINKLERED.

B - BUSINESS OCCUPANCY

SCOPE OF WORK SUMMARY:

A LEVEL 2 RENOVATION, 2,895 S.F. OF THE SECOND FLOOR OF A 2 STORY BUILDING TO CREATE OFFICES WITH THE CONVERSION OF ROOMS 202, 203, 204 AND 205, TO AN OFFICE SUITE. AND RENOVATION OF EXISTING BREAKROOM 214.



**KEY PLAN**  
1" = 50'-0"

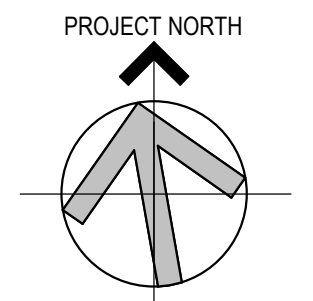


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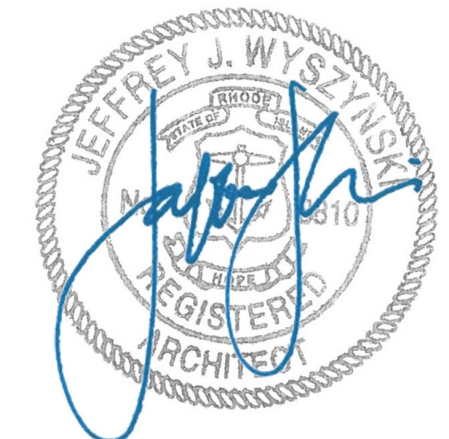
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Client/ Contractor  
**UNIVERSITY OF RHODE ISLAND**  
KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001



**CONSTRUCTION DOCUMENTS**



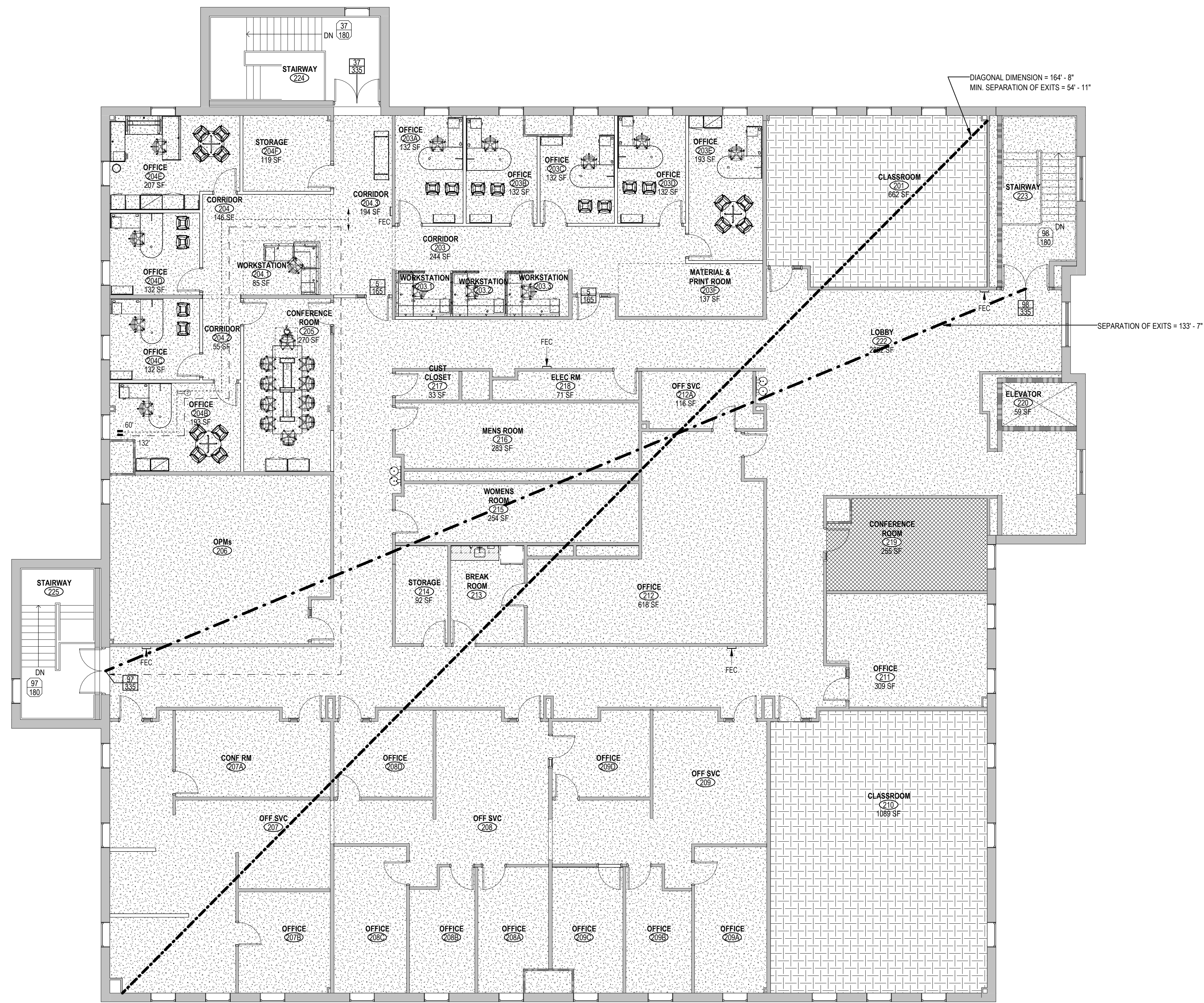
Issues / Revisions

No.	Date	Description
0915/2023		CONSTRUCTION DOCUMENTS
0926/2024		CONSTRUCTION DOCS R1

Drawing Title  
**LIFE SAFETY PLAN AND CODE DATA - SECOND FLOOR**

Project Manager: PB	Project No: UR172IN
Project Architect: PB	Production Leader: CB
Project Designer: CB	Peer Reviewer: RA

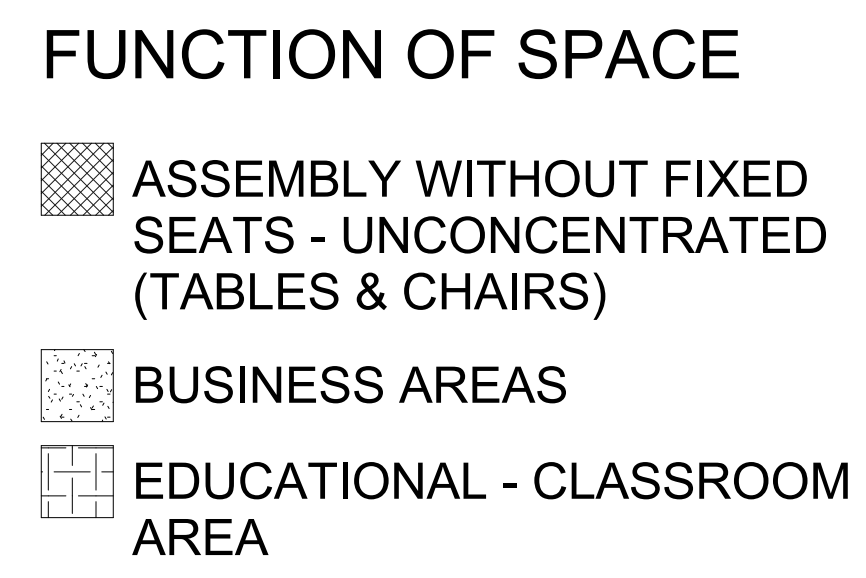
Drawing Number  
**G1.12**



**G10 SECOND FLOOR EGRESS PLAN**  
1/8" = 1'-0"

OCCUPANT LOAD CALCULATIONS per IBC...

FUNCTION OF SPACE	AREA	OCCUPANCY LOAD FACTOR	TOTAL OCCUPANTS
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	255 SF	15	17
ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	255 SF	15	17
BUSINESS AREAS	309 SF	100	4
BUSINESS AREAS	12150 SF	100	122
BUSINESS AREAS	12459 SF	200	126
EDUCATIONAL - CLASSROOM AREA	1089 SF	20	55
EDUCATIONAL - CLASSROOM AREA	663 SF	20	34
EDUCATIONAL - CLASSROOM AREA	1752 SF	40	89
GRAND TOTAL	14466 SF	255	232



**PLUMBING FIXTURE CALCULATIONS BY ACTUAL OCCUPANT LOAD PER 2018 IPC TABLE 403.1(1)**

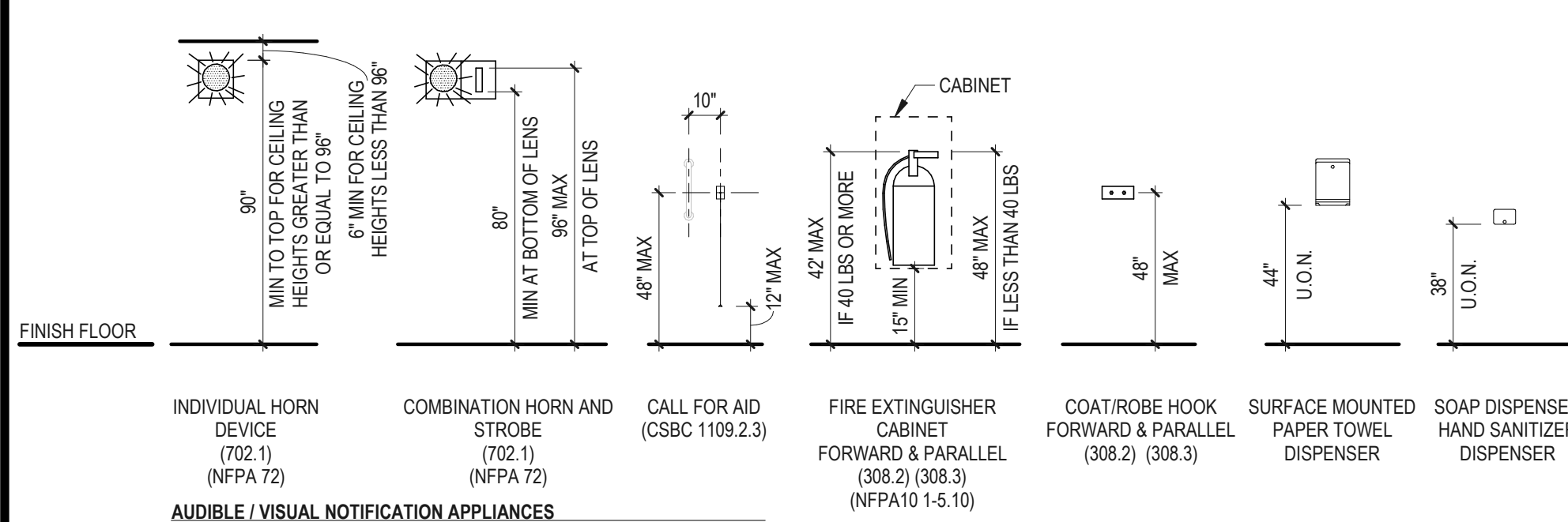
OCCUPANTS	USE GROUP	DESCRIPTION	LOAD	WATER CLOSETS		LAVATORIES		BATHTUBS &...		DRINKING...		SERVICE SINKS				
				RATIO	MALE	RATIO	FEMALE	RATIO	QTY	RATIO	QTY					
ASSEMBLY (A-3)		AUDITORIUMS WITHOUT PERMANENT SEATING, ART GALLERIES, EXHIBITION HALLS, MUSEUMS, LECTURE HALLS, LIBRARIES, ARCADES & GYMNASIUMS	17	1 PER 125	0.07	1 PER 65	0.14	1 PER 200	0.05	1 PER 200	0.05	N/A	N/A	1 PER 500	0.03	1 SERVICE SINK
BUSINESS (B)		BUILDINGS FOR THE TRANSACTION OF BUSINESS, PROFESSIONAL SERVICES, OTHER SERVICES INVOLVING MERCHANDISE, OFFICE BUILDINGS, BANKS, LIGHT INDUSTRIAL & SIMILAR USES	126	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	2.26	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	2.26	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1.58	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1.58	N/A	N/A	1 PER 100	1.26	1 SERVICE SINK
EDUCATIONAL (E)		EDUCATIONAL FACILITIES	89	1 PER 50	0.45	1 PER 50	0.45	1 PER 50	0.45	1 PER 50	0.45	SEE SECTION 411	1 PER 1000	0.09	1 SERVICE SINK	
SUBTOTAL					2.78		2.85		2.07		2.07		0.00		1.38	1.00
REQUIRED TOTALS					3		3		3		3		0		2	1
QUANTITY PROVIDED					3		6		5		5		0		2	1
ADJUSTED QUANTITIES					3											

URINALS: 3 provided

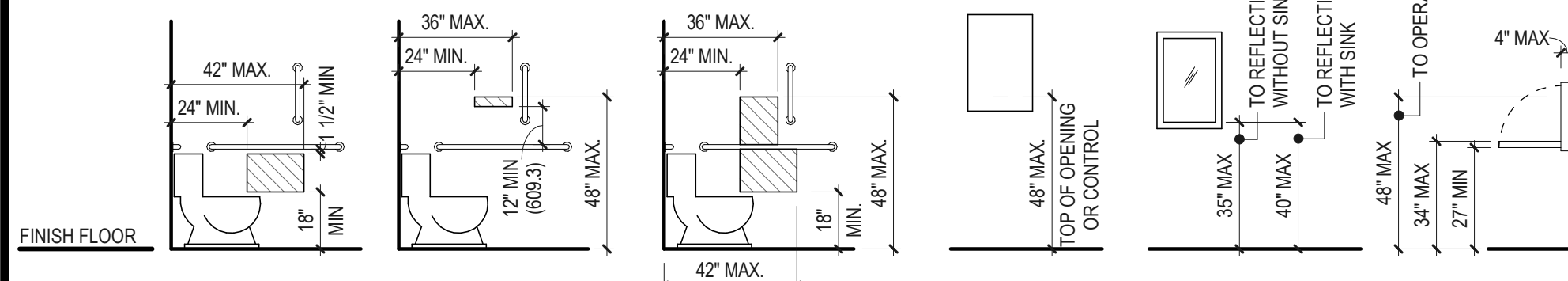
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**FIXTURE HEIGHTS**

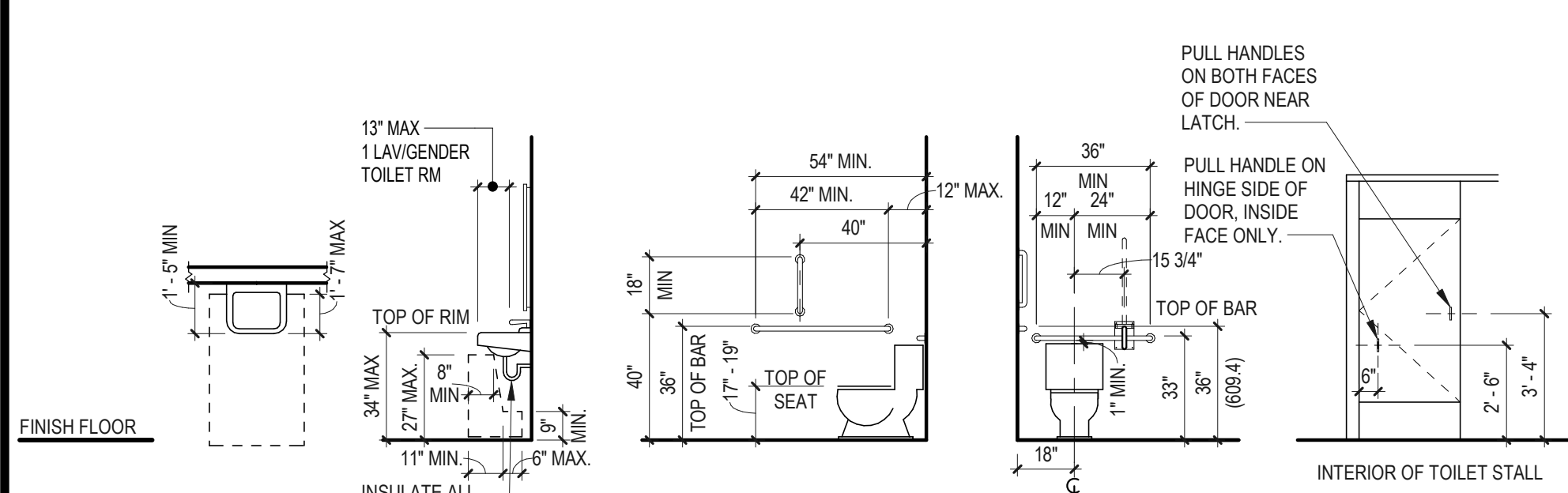
ALL REQUIREMENTS ARE BASED ON ICC/ANSI A117.1



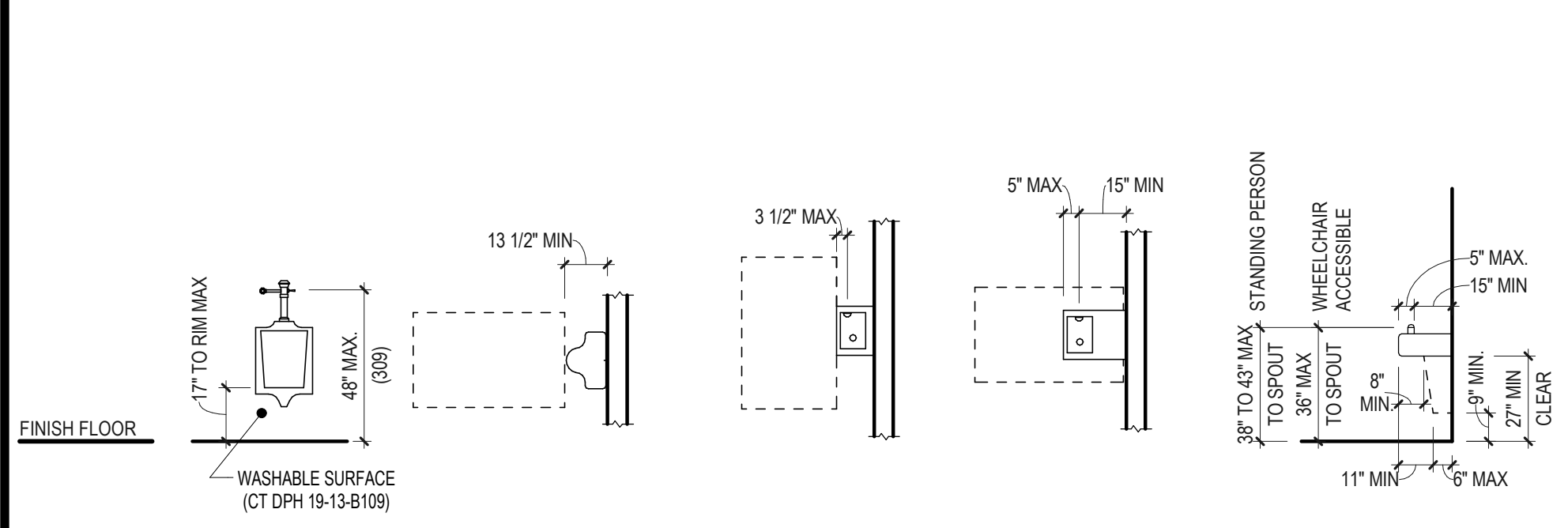
INDIVIDUAL HORN DEVICE (702.1) (NFPA 72)  
COMBINATION HORN AND STROBE (702.1) (NFPA 72)  
CALL FOR AID (CSBC 1109.2.3)  
FIRE EXTINGUISHER CABINET FORWARD & PARALLEL (308.2) (308.3)  
COAT/ROBE HOOK FORWARD & PARALLEL (308.2) (308.3)  
SURFACE MOUNTED PAPER TOWEL DISPENSER  
SOAP DISPENSER HAND SANITIZER DISPENSER



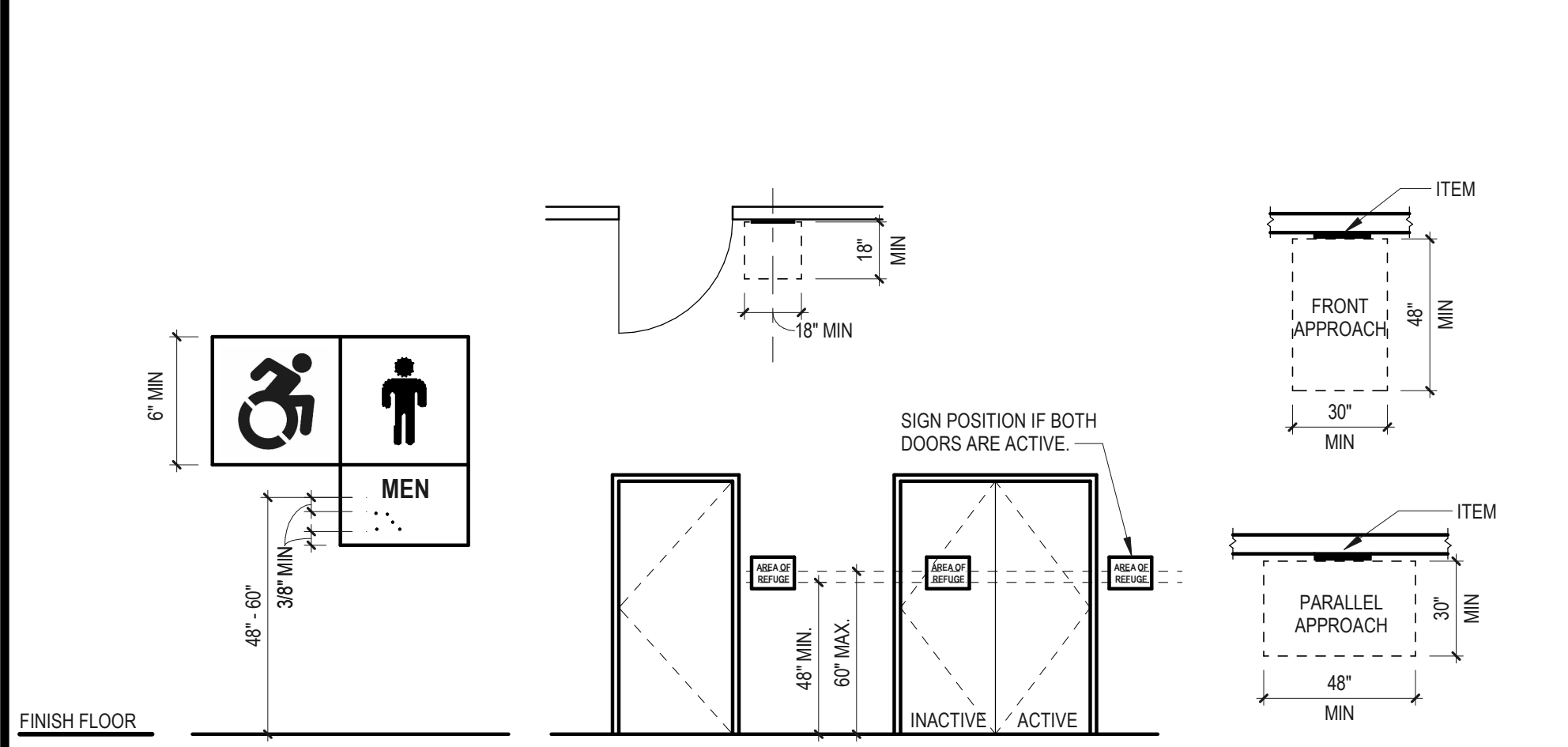
PROTRUDING DISPENSER BELOW GRAB BAR (604.7)  
PROTRUDING DISPENSER ABOVE GRAB BAR (604.7)  
RECESSED DISPENSER (604.7)  
ACCESSIBLE CONTROLS OR SLOT (I.E. LIGHT, FIRE ALARM, PULL BOX, ETC.) (309)  
MIRROR ADAAG (4.19.6) ANSI (603.3)  
BABY CHANGING STATION ANSI (309)



FRONT APPROACH PLAN (605)  
ELEVATION (606)  
SIDE GRAB BAR ELEVATION (604.5.1)  
HANDICAP TOILET REAR GRAB BAR ELEVATION (604.5.2)  
TYPICAL ACCESSIBLE COMPARTMENT DOOR (ANSI 404.2.6)



WASHABLE SURFACE (CT DPH 19-13-B109)  
FRONT APPROACH PLAN (605)  
PARALLEL APPROACH (602.5)  
FRONT APPROACH (602.5)  
ELEVATION (602.5, 306) ADAAG (4.15.5)

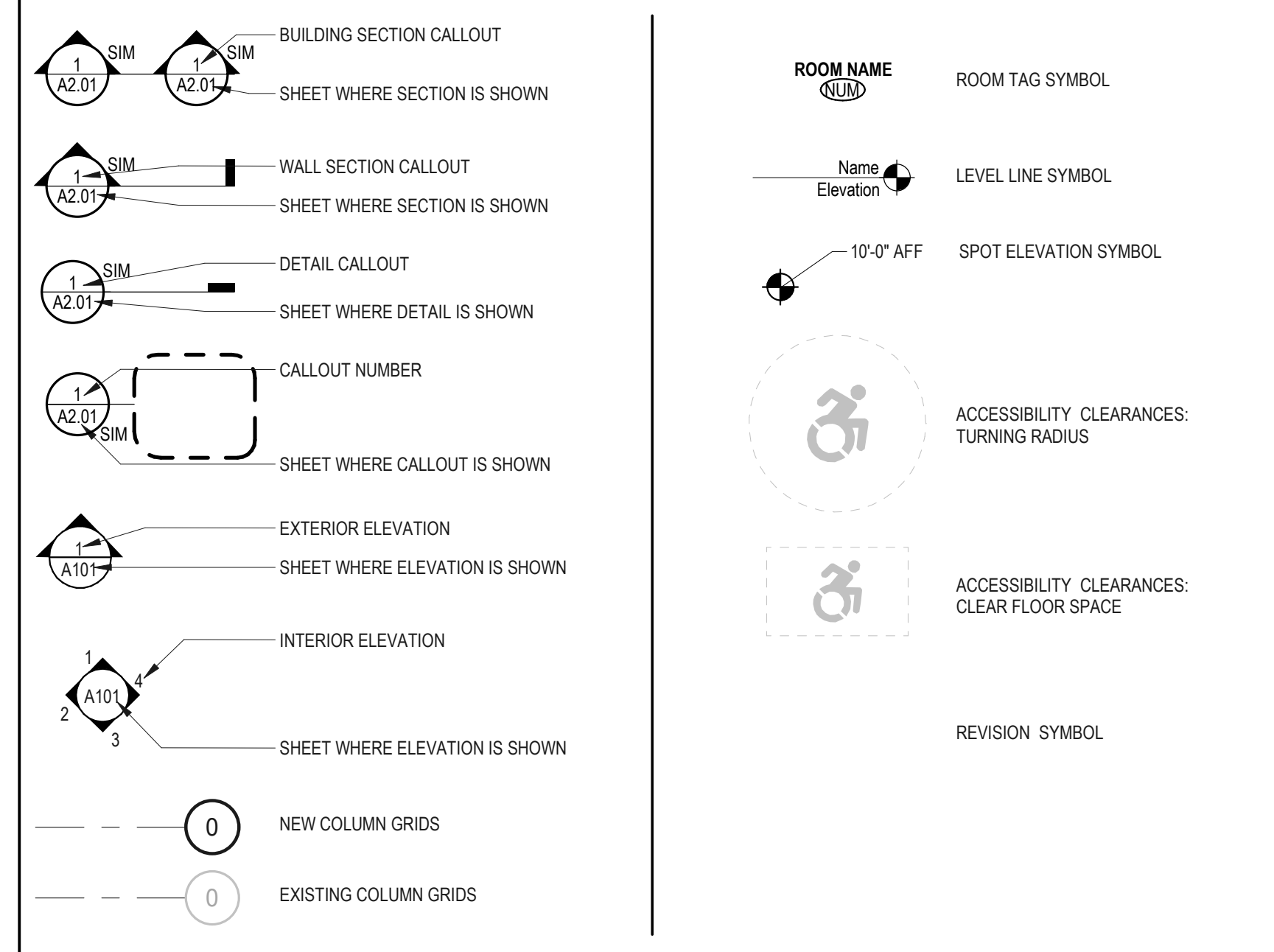


CLEAR SPACE AT DOOR SIGNAGE (703.3.10 & 703.3.11)  
POSITION OF CLEAR FLOOR OR GROUND SPACE (305.5)  
ALL GRAPHICS AND BRAILLE SHALL CONFORM TO ANSI 117.1 STANDARDS (703.3.10 & 703.4.4 & 703.5)

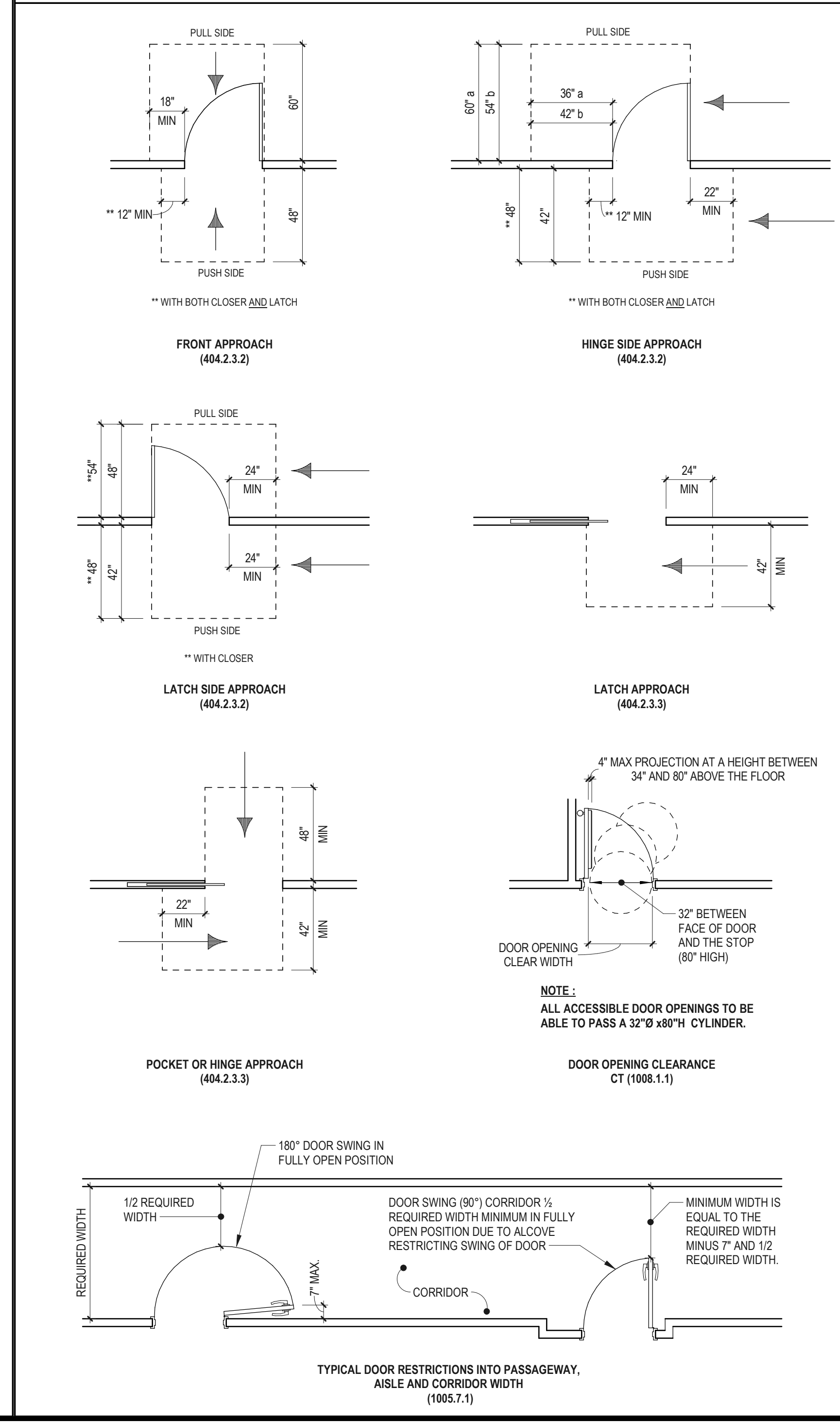
**MASTER ABBREVIATION LIST**

AB ANCHOR BOLT	EQUIP EQUIPMENT	LAM LAMINATE	RM ROOM
AC AIR CONDITIONER	EST ESTIMATE	LAV LAVATORY	RO ROUGH OPENING
ACI AMERICAN CONCRETE INSTITUTE	EXH EXHAUST	MAS MASONRY	ROMT REQUIREMENT
AF ACCESSORY FIXTURE	EXIST EXISTING	MAT MATERIAL	S SOUTH
AFF ABOVE FINISH FLOOR	EXP EXPANSION	MAX MAXIMUM	S-TRAP SEDIMENT TRAP
ALT ALTERNATE	EXPD EXPANDED	MECH MECHANICAL	SC SOLID CORE
ALUM ALUMINUM	EXT EXTERIOR	MEM MEMBRANE	SCED SCHEDULE
ANCH ANCHOR	F/F FACE OF FOUNDATION WALL	MEP MECHANICAL, ELECTRICAL, PLUMBING	SF SQUARE FOOT
ANOD ANODIZED	FA FRESH AIR	MFR MANUFACTURER	SH SHEET
ASTM AMERICAN SOCIETY FOR TESTING MATERIALS	FAFP FIRE ALARM ANNUNCIATOR PANEL	MN MINIMUM	SL SLIDING
BD BOARD	FACP FIRE ALARM CONTROL PANEL	MO MISCELLANEOUS	SPEC SPECIFICATION
BLDG BUILDING LINE	FD FLOOR DRAIN	MTL METAL	SPKR SPEAKER
BLK BLOCK	FE FIRE EXTINGUISHER	MULL MULLION	SS STAINLESS STEEL
BLKG BLOCKING	FEC FIRE EXTINGUISHER CABINET	NAT NATURAL	STA STATION
BM BEAM	FIN FINISH	NEC NECESSARY	STD STANDARD
BOF BOTTOM OF FOOTING ELEVATION	FLR FLOOR	NOM NOMINAL	STR STORAGE
BOT BOTTOM	FND FOUNDATION	NRC NOISE REDUCTION COEFFICIENT	STRUCT STRUCTURAL
BRK BRICK	FOF FACE OF FINISH	NTS NOT TO SCALE	SUSP SUSPEND (SUSPENDED)
BTW BETWEEN	FOM FACE OF MASONRY	OC ON CENTER	SYS SYSTEM
CAB CABINET	FOS FACE OF STUD	OD OUTSIDE DIAMETER	T TREAD
CER CERAMIC	FR FIRE RATED	OF/C OUTSIDE FACE OF CONCRETE	T/FRM TOP OF FRAME
CJ CLOSET	FTG FOOTING	OH OVERHEAD	T/SLB TOP OF SLAB
CLG CEILING	FUR FURRED (FURRING)	OPG OPENING	TB TACKBOARD
CM CONTRACT MANAGER	FVC FIRE VALVE CABINET	OPP OPPOSITE	TEMP TEMPORARY
CMU CONCRETE MASONRY UNIT	GA GALVE	PBD PARTICLE BOARD	THK THICK
CO CLEAN OUT	GALV GALVANIZED	PL PROPERTY LINE	TOF TOP OF FOUNDATION
COL COLUMN	GL GLASS	PLAM PLASTER	TOS TOP OF SLAB
COMP COMPACTED (COMPOSITION)	GLZ GLAZING	PLAS PLASTER	TOW TOP OF WALL ELEVATION
CONC CONCRETE	GRD GRADE	PLYWD PLYWOOD	UL UNDERWRITERS LABORATORIES, INC.
CONST CONSTRUCTION	GYP GYPSUM	PNL PANEL	UOD UNDERSIDE OF DECK UNLESS OTHERWISE NOTED
CONTR CONTINUOUS	H&V HEATING & VENTILATING	PSI POUNDS PER SQUARE INCH	UON UNLESS OTHERWISE NOTED
CONTR CONTRACTOR	HC HANDICAP	PT PAINT	VAR VARIES OR VARIABLE
CORR CORRUGATED	HDWD HARDWOOD	PTD PAINTED	VB VINYL BASE
CP CONTROL PANEL	HGT HEIGHT	PTN PARTITION	VCT VINYL COMPOSITION TILE
CSG CASING	HM HOLLOW METAL	PVC POLYVINYL CHLORIDE	VERT VERTICAL
CT CERAMIC TILE	HP HIGH POINT	QT QUARRY TILE	VEST VESTIBULE
CTR CENTER	HVAC HEATING, VENTILATION, AIR CONDITIONING	R RADIUS	VIF VERIFY IN FIELD
DIA DIAMETER	HWH HOT WATER HEATER	R/A RETURN AIR	VNR VENEER
DIM DIMENSION	ID INSIDE DIAMETER	RC REINFORCED CONCRETE	VOL VOLUME
DN DOWN	IN INCH	REF REFRIGERATOR	W WEST
DR DOOR	INSUL INSULATION	REFN REINFORCE	WC WATER CLOSET
DS DOWNSPOUT	INT INTERIOR	REOD REQUIRED ROUGH	WD WOOD
DTL DETAIL	JC JANITOR'S CLOSET	REIN REQUIRED	WDW WINDOW
DWG DRAWING	JST JOIST	RH/RH ROUGH	WGL WIRE GLASS
E EAST	JT JOINT	RL RAIN LEADER	WP WEATHERPROOF (WATERPROOFING)
EJ EXPANSION JOINT			WWF WELDED WIRE FABRIC
EL ELEVATION			
ELEC ELECTRICAL			
EQ EQUAL			

**GRAPHIC SYMBOLS**



**MANEUVERING CLEARANCES FOR ALL ACCESSIBLE DOORS**



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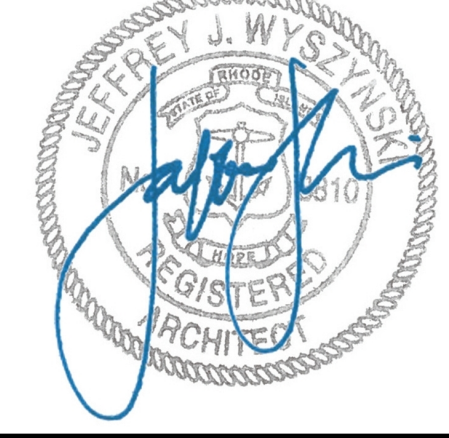
**UNIVERSITY OF RHODE ISLAND**

KINGSTON, RI. 02881

**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001

**CONSTRUCTION DOCUMENTS**



Issues / Revisions	No.	Date	Description
	08/15/2023		CONSTRUCTION DOCUMENTS
	09/26/2024		CONSTRUCTION DOCS R1

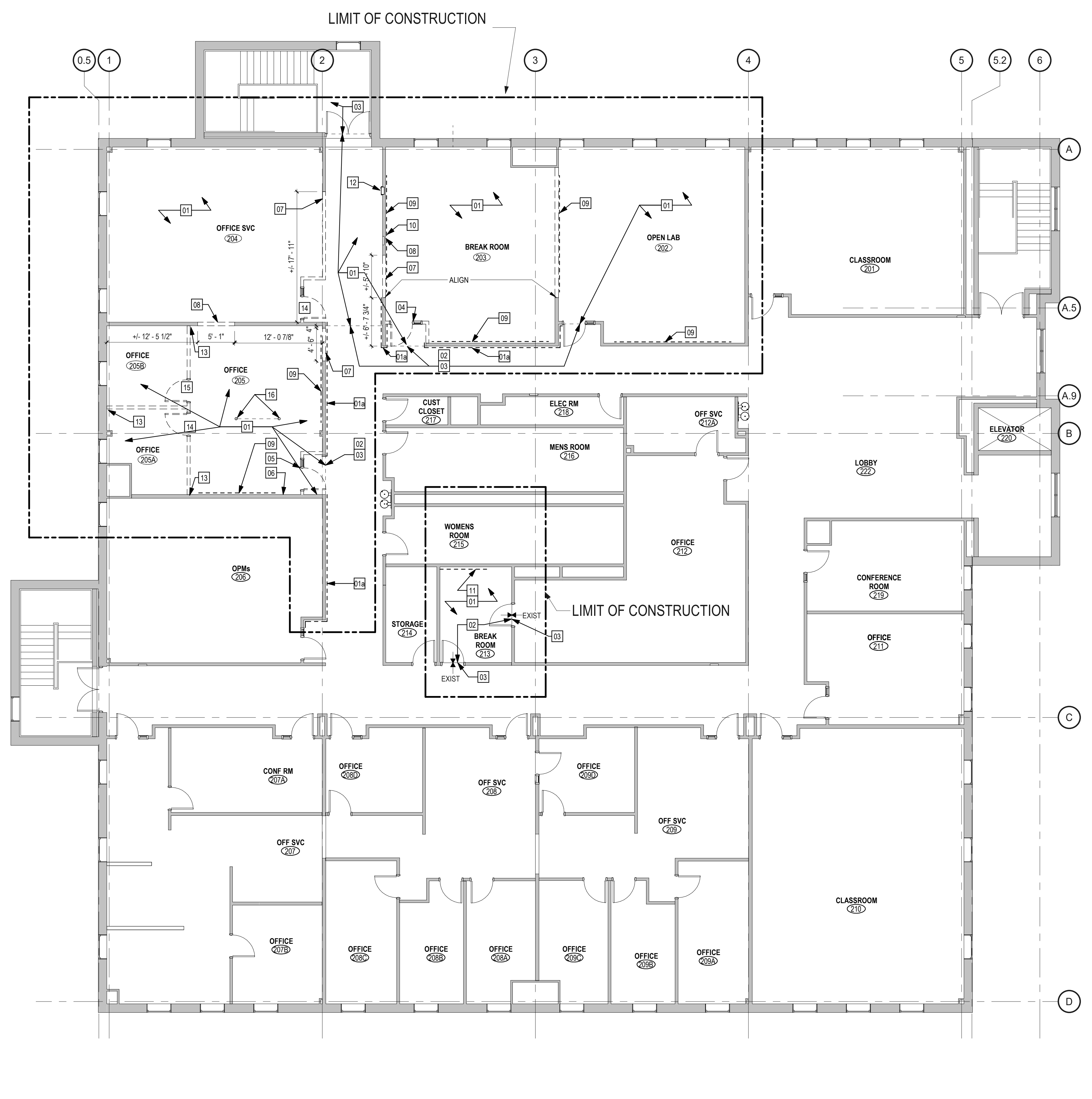
**GENERAL INFORMATION**

Project Manager:	PB	Project No.:	UR172IN
Project Architect:	PB	Production Leader:	CB
Project Designer:	CB	Peer Reviewer:	RA

**A0.10**

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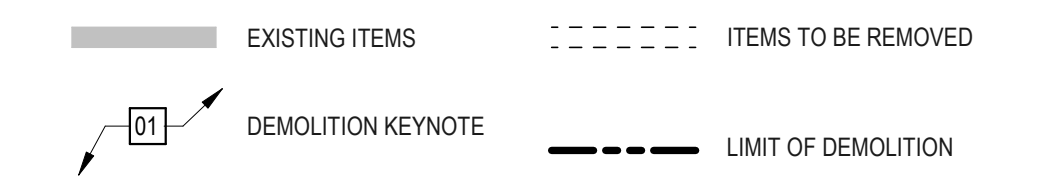


**H10 SECOND FLOOR DEMOLITION PLAN**  
1/8" = 1'-0"

**GENERAL NOTES - DEMOLITION**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL, INCLUDING ALL COSTS FOR CARRYING AND DUMPING, OF ALL MATERIAL DEMOLISHED FROM THE PROJECT. THE CONTRACTOR SHALL PROVIDE OWNER WITH FIRST RIGHTS TO ALL MATERIALS, INCLUDING DOORS, HARDWARE, WINDOWS, PLUMBING FIXTURES, ETC., BEFORE REMOVING FROM SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING TO REMAIN AREAS AND SURFACES AS NOTED AND/OR SHOWN. THIS INCLUDES ALL WORK NECESSARY TO READY SURFACES FOR NEW FINISH (N.I.C.) TO FOLLOW IN CONSTRUCTION PHASE. MATCH ALL ADJACENT MATERIALS WHERE PATCHING OCCURS.
3. ANY AND ALL PLUMBING FIXTURES/ACCESSORIES SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY RELATED PIPING WHICH IS BEING ABANDONED SHALL BE REMOVED AND CAPPED TO NEAREST TERMINATION POINT. ALL RELATED WORK REQUIRED IN ADJACENT WALLS, FLOORS BELOW, FLOORS ABOVE OR ON THE EFFECTED FLOOR ITSELF SHALL BE PATCHED AND PREPPED FOR NEW FINISH.
4. ALL WALLS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, UNLESS OTHERWISE NOTED. ANY WALL OR SURFACE BEING WORKED ON SHALL BE PATCHED AND REPAIRED WITH A COMPLETE FINISH TO THE NEAREST CORNER, CHANGE OF PLANE OR OTHER JUNCTURE WHICH ALLOWS FOR A SMOOTH AND CLEAN TRANSITION FROM THE NEWLY FINISHED SURFACE TO THE SURROUNDING EXISTING SURFACES (THE INTENT IS TO AVOID THE APPEARANCE OF A PATCHED CONDITION).
5. UNLESS NOTED OTHERWISE, ALL FLOOR SURFACES/ FINISHES AND FLOORING BASE TRIM ARE TO BE REMOVED TO FLOOR SLAB AND DISCARDED. CLEAN AND PREPARE CONCRETE AS NECESSARY FOR REFINISHING. THIS DEMO AND PREP PERTAINS TO ELEVATOR LOBBY SPACES AS WELL.
6. IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE OR SCHEDULED TO REMAIN.
7. WHEN WALLS, COLUMNS, ROOF CONSTRUCTION, OR OTHER SUPPORTING AND / OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT THE IMPOSED LOADS.
8. PRESERVE AND PROTECT ALL FLOOR, WALL, AND CEILING FINISHES TO REMAIN WHERE POSSIBLE IN AREAS OF DEMOLITION. PATCH TO MATCH AS REQUIRED.
9. REPAIR ALL REMAINING WALLS, CEILINGS AND FLOOR SURFACES WHERE DEMOLITION OCCURS. THIS INCLUDES MEP AND OTHER NECESSARY WORK IN CEILINGS AND WALLS AT FLOOR BELOW. SEE MEP DRAWINGS FOR PROBABLE EXTENT.
10. ALL EQUIPMENT OR FURNITURE SHOWN DASHED IS TO BE REMOVED AND STOCKPILED FOR OWNER REUSE OR STORAGE. SEE PROPOSED PLANS AND VERIFY WITH OWNER FOR ANY LAST MINUTE CHANGES.
11. REFER TO MEP PLANS AND OR SPECS FOR SCOPE OF ALL MEP DEMOLITION.
12. ALL DOORS AND WINDOWS SHOWN DASHED ARE TO BE REMOVED AND DISCARDED, INCLUDING FRAMES AND HARDWARE EXCEPT WHERE NOTED OTHERWISE.

**DEMOLITION LEGEND**



**KEYNOTES - DEMOLITION**

01	REMOVE WALL, BASE AND FLOORING TO SUBSTRATE. PREP TO RECEIVE NEW FLOOR FINISH.
01a	CAREFULLY REMOVE WALL, BASE, EXISTING WALL FINISH TO REMAIN. PREP TO RECEIVE NEW WALL BASE.
02	REMOVE TRANSITION STRIP. PREP TO RECEIVE NEW TRANSITION STRIP.
03	EXISTING FLOORING TO REMAIN.
04	REMOVE AND SALVAGE LOCKSET AND STRIKE FOR REINSTALLATION ON NEW DOOR. REMOVE DOOR, FRAME AND REMAINING HARDWARE. REFER TO DOOR SCHEDULE FOR LOCATION OF SALVAGED LOCKSET AND STRIKE.
05	REMOVE AND SALVAGE EXISTING DOOR, FRAME AND HARDWARE FOR REINSTALLATION ON PROJECT. REFER TO DOOR SCHEDULE.
06	REMOVE EXISTING GYPSUM BOARD FOR INSTALLATION OF IN-WALL BLOCKING AND IN-WALL STORAGE BOX. COORDINATE LOCATION WITH WALL MOUNTED MONITOR AND IN-WALL STORAGE BOX.
07	PROVIDE WALL OPENING FOR NEW DOOR AND FRAME. COORDINATE LOCATION WITH NEW DOOR AND FRAME.
08	PROVIDE WALL OPENING, COORDINATE EXTENTS WITH CONSTRUCTION AND REFLECTED CEILING PLANS.
09	REMOVE AND DISPOSE OF ALL EXISTING WALL MOUNTED MARKER BOARDS. SHOWN DASHED. DO NOT SALVAGE FOR OWNER. PATCH AND PREP WALL TO RECEIVE NEW FINISH.
10	EXISTING WALL MOUNTED CLOCK TO BE REMOVED AND SALVAGED TO OWNER.
11	REMOVE EXISTING GYPSUM BOARD AND INSULATION FOR INSTALLATION OF NEW PLUMBING AND VENT PIPING FROM FLOOR TO CEILING. REMOVE GYPSUM BOARD FOR INSTALLATION OF IN-WALL BLOCKING FOR NEW MILLWORK. COORDINATE EXTENT WITH CONSTRUCTION PLANS.
12	REMOVE AND SALVAGE EXISTING FIRE EXISTUISHER CABINET AND FIRE EXTINGUISHER. RETURN TO OWNER. PREP OPENING FOR INFILL.
13	PREP AND PATCH AT REMOVED WALLS AND DEVICES.
14	REMOVE DOOR, FRAME AND HARDWARE. SALVAGE AND RETURN TO OWNER.
15	REMOVE AND SALVAGE DOOR, FRAME AND HARDWARE FOR REINSTALLATION ON PROJECT. REFER TO DOOR SCHEDULE.
16	COREDRIILL FLOOR SLAB FOR TWO FLOOR PENETRATION DEVICES. COORDINATE LOCATION CONSTRUCTION PLAN. COORDINATE WITH URI FOR ACCESS TO SPACE BELOW. RESTORE ALL FINISHES/CEILINGS TO PREVIOUS CONDITIONS.

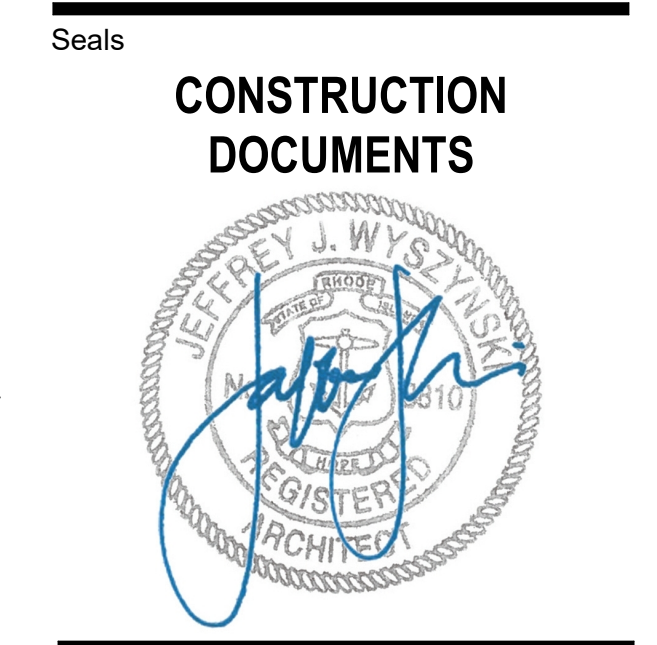
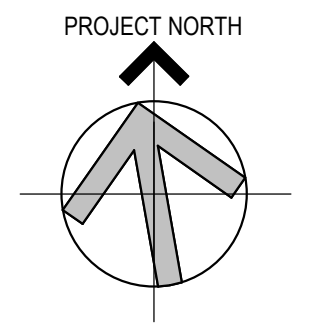


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Client/ Contractor  
**UNIVERSITY OF RHODE ISLAND**  
 KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
 210 FLAGG ROAD  
 KINGSTON, RHODE ISLAND  
 OCP PROJECT ID#: KC.G.210F.2022.001



Issues / Revisions

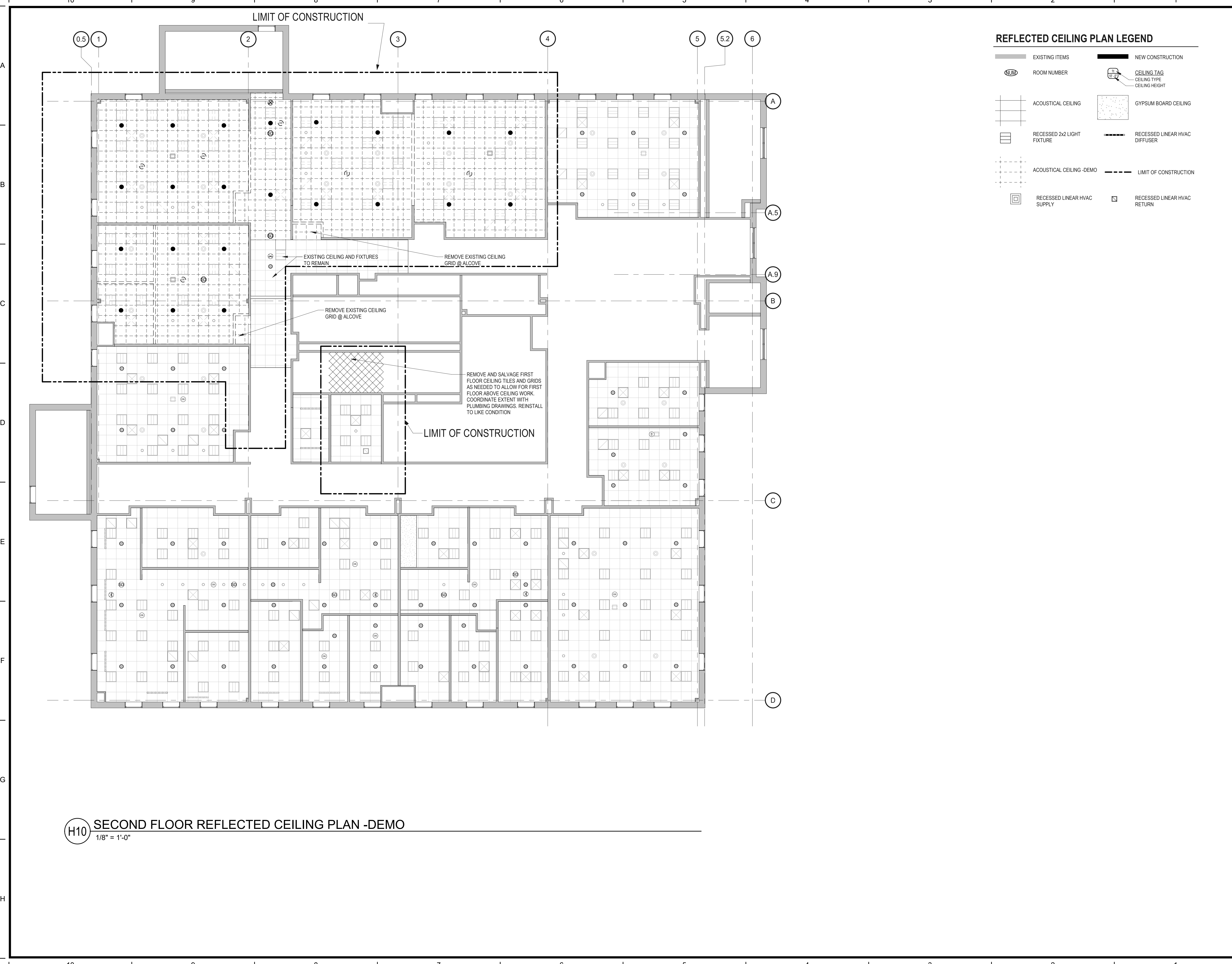
No.	Date	Description
0915/2023		CONSTRUCTION DOCUMENTS
0926/2024		CONSTRUCTION DOCS R1

Drawing Title  
**SECOND FLOOR DEMOLITION PLAN**

Project Manager:	PB	Project No.:	UR172IN
Project Architect:	PB	Production Leader:	CB
Project Designer:	CB	Peer Reviewer:	RA

Drawing Number  
**AD.21.1**

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**REFLECTED CEILING PLAN LEGEND**

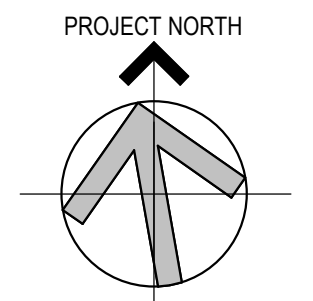
	EXISTING ITEMS		NEW CONSTRUCTION
	ROOM NUMBER		CEILING TAG CEILING TYPE CEILING HEIGHT
	ACOUSTICAL CEILING		GYPSUM BOARD CEILING
	RECESSED 2x2 LIGHT FIXTURE		RECESSED LINEAR HVAC DIFFUSER
	ACOUSTICAL CEILING - DEMO		LIMIT OF CONSTRUCTION
	RECESSED LINEAR HVAC SUPPLY		RECESSED LINEAR HVAC RETURN

# Tecton ARCHITECTS

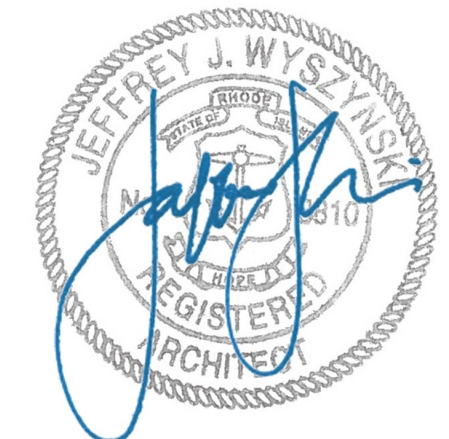
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KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001



Seals  
**CONSTRUCTION DOCUMENTS**



Issues / Revisions

No.	Date	Description
09/15/2023		CONSTRUCTION DOCUMENTS
09/26/2024		CONSTRUCTION DOCS R1

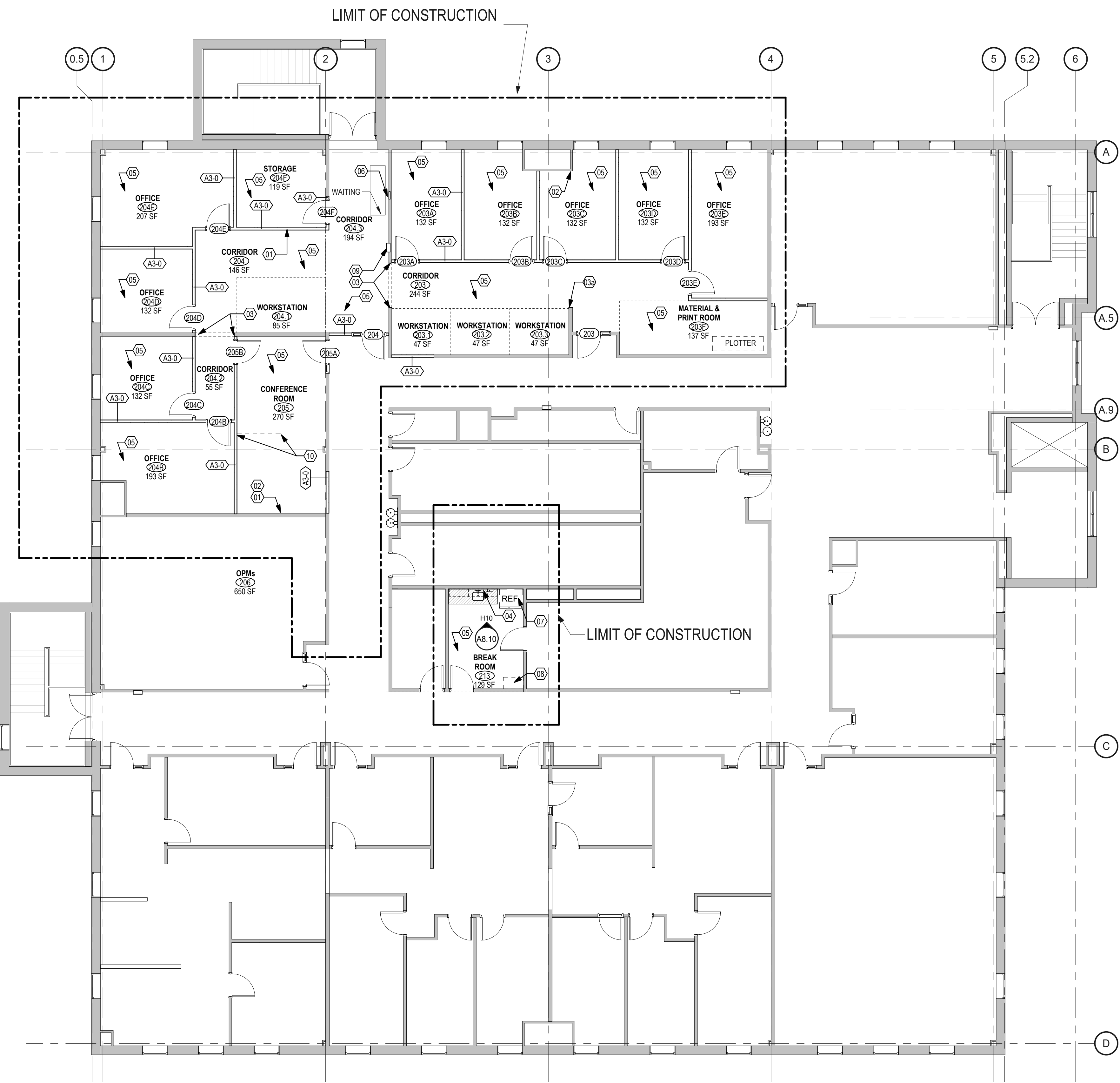
Drawing Title  
**SECOND FLOOR REFLECTED CEILING PLAN - DEMO**

Project Manager:	PB	Project No.:	UR172IN
Project Architect:	PB	Production Leader:	CB
Project Designer:	CB	Peer Reviewer:	RA

Drawing Number  
**AD.31.1**

**H10** SECOND FLOOR REFLECTED CEILING PLAN - DEMO  
1/8" = 1'-0"

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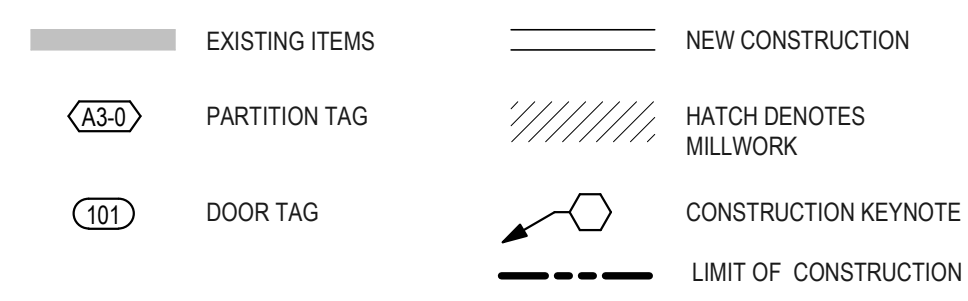


**H10 SECOND FLOOR CONSTRUCTION ANNOTATION PLAN**  
1/8" = 1'-0"

**GENERAL NOTES - CONSTRUCTION**

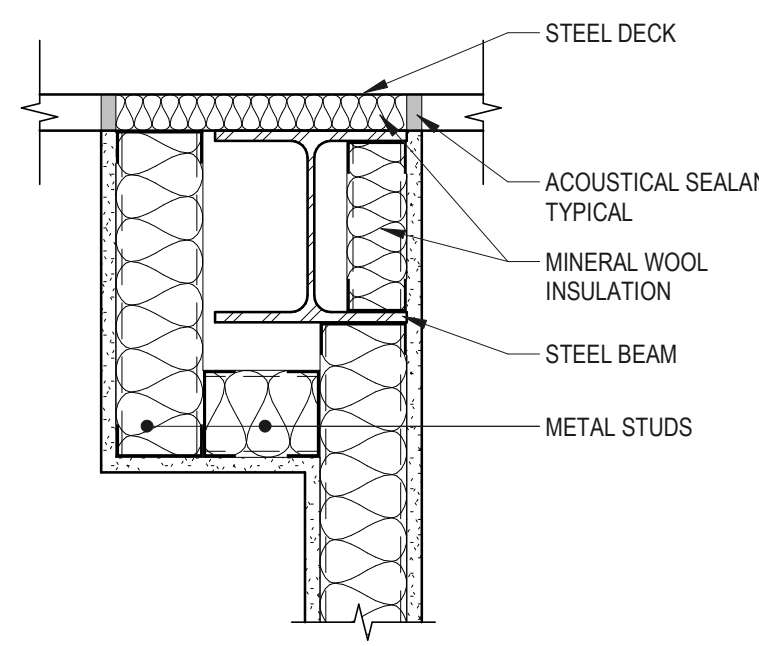
- ALL WALLS ARE TYPE A3-0 UNLESS OTHERWISE NOTED. PARTITION TYPES CONTINUE AROUND CORNERS UNLESS INDICATED OTHERWISE.
- WHERE TWO DENOTED WALL TYPES COINCIDE, THE MOST STRINGENT OF BOTH WALL CONSTRUCTION DEFINITIONS APPLIES TO THAT WALL (i.e. FIRE CODE GYPSUM, BATT INSULATION). WHERE A RATED CONSTRUCTION BEGINS/TERMINATES AT AN EXISTING COLUMN ENCLOSURE OR NEW FURRED, NON-RATED ENCLOSURE, THE HIGHER RATING MUST BE PROVIDED. THE INTENT IS TO PROVIDE A COMPLETE ENVELOPE OF INTENDED DESIGN RATINGS.
- PROVIDE SOLID WOOD BLOCKING FOR ALL INDICATED WALL HUNG EQUIPMENT.
- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- WHERE THE DRAWINGS AND SPECIFICATIONS CONFLICT THE MOST STRINGENT, GREATEST QUANTITY AND OR BEST QUALITY SHALL BE USED.
- FIRE RATED PARTITIONS INDICATED ON THE FLOOR PLANS ARE COMPONENTS OF CONTINUOUS RATED ASSEMBLIES CONSISTING OF WALLS, FLOOR, DOORS, INTERIOR BORROWED LIGHTS, MECHANICAL PENETRATIONS AND CEILINGS. REFER TO PLANS AND SPECIFICATIONS FOR METHODS OR ACHIEVING THE NECESSARY RATINGS. WHERE THE SPECIFIC METHOD OF ACHIEVING THE RATING IS NOT INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT PRIOR TO BIDDING.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED.
- ALL EXISTING FINISHED REMAINING IN PLACE (I.E. CARPET, VCT, CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- WHERE DOORS IN METAL STUD PARTITIONS ARE NOT SPECIFICALLY LOCATED ON THE PLANS WITH DIMENSION STRINGS, PROVIDE A MINIMUM HINGE SIDE JAMB DIMENSION OF 6". WHERE DOORS APPEAR TO BE CENTERED WITHIN PARTITIONS, LOCATE THE DOOR IN THE CENTER OF THE PARTITION.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- DIMENSIONS ARE TO FACE OF METAL STUD UNLESS OTHERWISE NOTED.
- GC TO PROVIDE AND INSTALL ADA SIGNS AS REQUIRED. REFER TO URI SIGNAGE STANDARDS AND GRAPHICS.
- SEE SPECIFICATION SECTION 01 5000, 01 5010 AND 01 5020 FOR TEMPORARY FACILITIES AND CONTROLS REQUIREMENTS.

**CONSTRUCTION LEGEND**

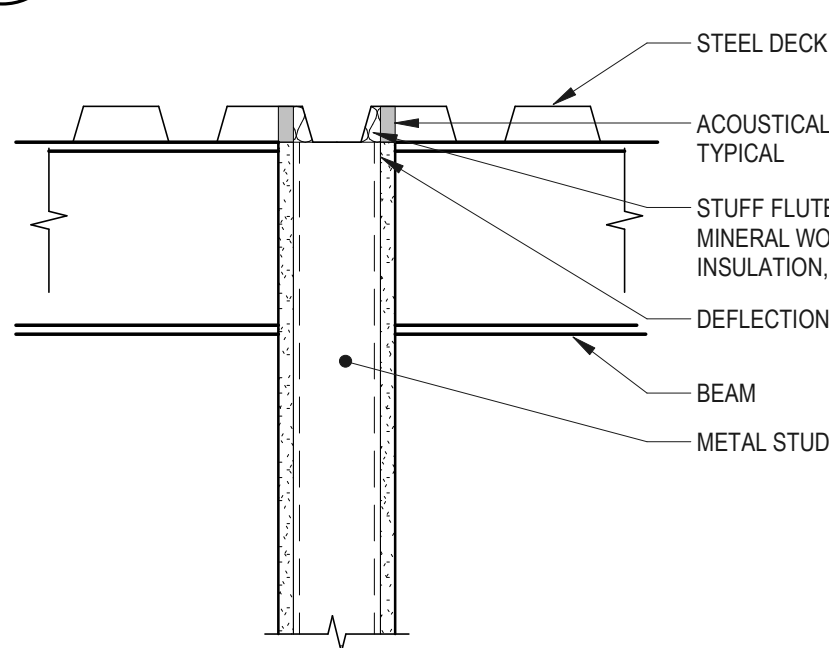


**KEYNOTES - CONSTRUCTION**

- |     |   |
|-----|---|
| 01  | PROVIDE AND INSTALL IN-WALL BLOCKING. COORDINATE LOCATION WITH MONITOR AND IN-WALL STORAGE BOX.   |
| 02  | PROVIDE AND INSTALL GYPSUM BOARD, PATCH AND PREP WALL SURFACE TO RECEIVE NEW FINISH.  |
| 03  | PROVIDE AND INSTALL 5/8" GYPSUM BOARD AND CORNERBEAD AT WALL OPENING JAMB LOCATION. REFER TO RCP FOR GYPSUM BOARD SOFFIT DETAIL. PATCH AND PREP FOR NEW FINISH.   |
| 03a | PROVIDE AND INSTALL 5/8" GYPSUM BOARD AND CORNERBEAD AT WALL OPENING JAMB LOCATION. PATCH AND PREP FOR NEW FINISH.  |
| 04  | PROVIDE AND INSTALL IN-WALL BLOCKING FOR UPPER CABINETS. INFILL ENTIRE DEPTH OF METAL STUD JOIST BAYS WITH MINERAL WOOL INSULATION AFTER INSTALLATION OF NEW PLUMBING. INSTALL 5/8" GYPSUM BOARD AT ALL LOCATIONS OF REMOVED GYPSUM BOARD. PATCH AND PREP ENTIRE WALL SURFACE FOR NEW FINISH.   |
| 05  | PREP EXISTING CONCRETE FLOORING AND PROVIDE AND INSTALL SELF LEVELER.   |
| 06  | PATCH TO MATCH EXISTING WALLS AT ALL IN-FILLS OF RELOCATED WALLS AND RELOCATED DEVICES.   |
| 07  | REFRIGERATOR - NOT IN CONTRACT  |
| 08  | MICROWAVE - NOT IN CONTRACT   |
| 09  | PROVIDE AND INSTALL FIRE EXTINGUISHER CABINET IN EXISTING WALL. FIRE EXTINGUISHER CABINET - BASIS OF DESIGN: LARSENS MANUFACTURING COMPANY; ARCHITECTURAL SERIES; VERTICAL DUO CLEAR ACRYLIC DOOR WITH LARSENS LOGO#4 STAINLESS STEEL; 2-1/2" ROLLED EDGE SEMI RECESSED IDENTIFICATION; VERTICAL DIE CUT LETTERING, RED, WORDS, "FIRE EXTINGUISHER"       |
| 10  | LOCATIONS INDICATED FOR FLOOR BOX POKE THRU DEVICES, DASHED LINE SHOWN FOR REFERENCE TO INDICATE ROUTING IN FIRST FLOOR CEILING TO/FROM POKE THRU DEVICES. POKE THRU DEVICE TO SUPPORT HDMI, CAT6A CABLING, VIDEO CABLE AND POWER. SEE MEP DRAWINGS. COORDINATE WITH URI FOR ACCESS TO SPACE BELOW. RESTORE ALL FINISHES/CEILINGS TO PREVIOUS CONDITIONS. |

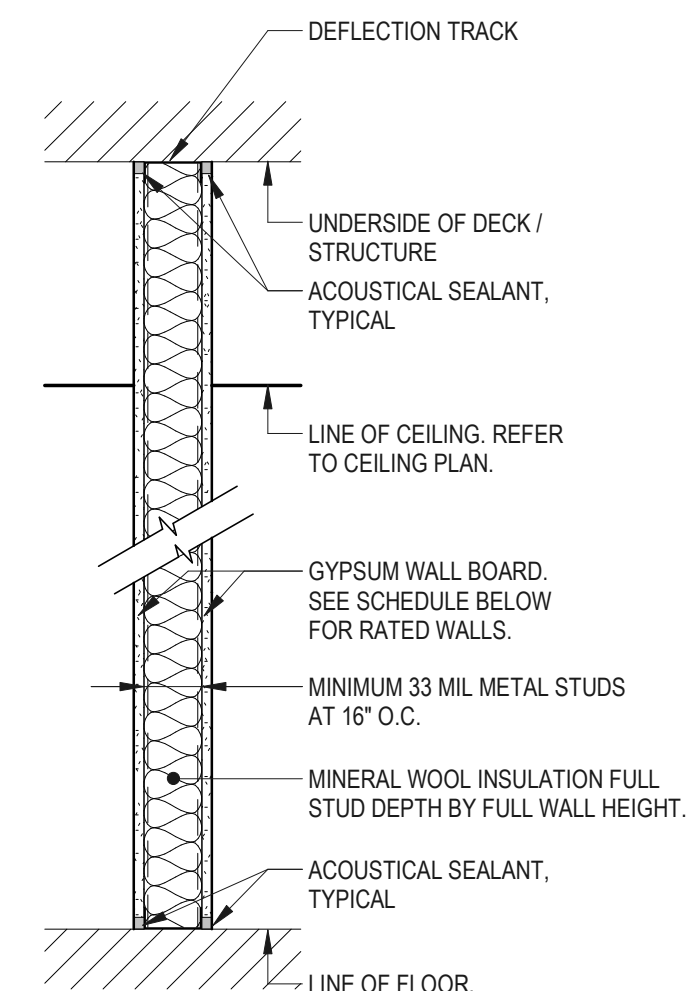


**G3 HEAD DETAIL - PARTITION A**  
1 1/2" = 1'-0"



**H3 HEAD DETAIL - PARTITION A**  
1 1/2" = 1'-0"

TYPE A				
FULL HEIGHT GYPSUM BOARD PARTITION				
PARTITION TYPE	WALL THICKNESS	STUD SIZE	STC RATING	UL DESIGN#
A3-0	4 7/8"	3 5/8"		



**H2 PARTITION - TYPE A**  
1" = 1'-0"



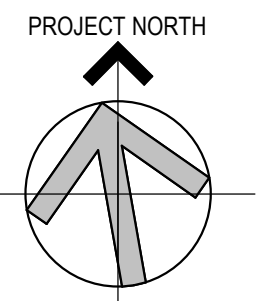
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**UNIVERSITY OF RHODE ISLAND**

KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001



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**CONSTRUCTION DOCUMENTS**



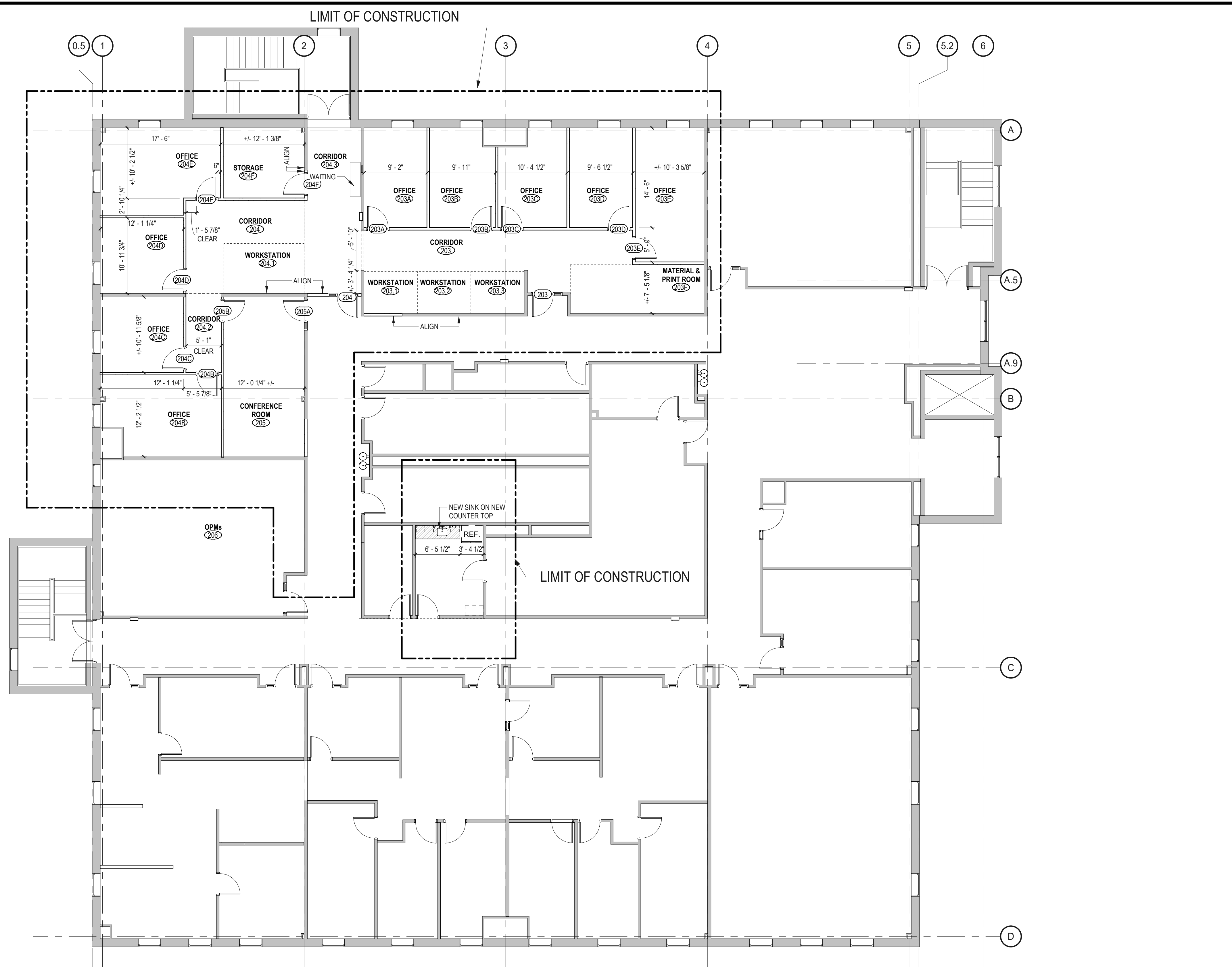
Issues / Revisions	
No.	Description
09/15/2023	CONSTRUCTION DOCUMENTS
09/26/2024	CONSTRUCTION DOCS R1

Drawing Title  
**SECOND FLOOR CONSTRUCTION ANNOTATION PLAN**

Project Manager: PB	Project No: UR172IN
Project Architect: PB	Production Leader: CB
Project Designer: CB	Peer Reviewer: RA

Drawing Number  
**A2.11.1**

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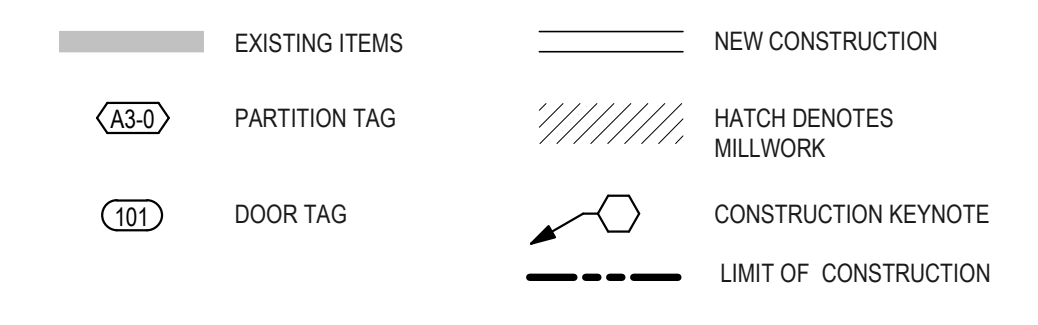


**H10** SECOND FLOOR DIMENSION PLAN  
1/8" = 1'-0"

**GENERAL NOTES - CONSTRUCTION**

- ALL WALLS ARE TYPE A3-0 UNLESS OTHERWISE NOTED. PARTITION TYPES CONTINUE AROUND CORNERS UNLESS INDICATED OTHERWISE.
- WHERE TWO DENOTED WALL TYPES COINCIDE, THE MOST STRINGENT OF BOTH WALL CONSTRUCTION DEFINITIONS APPLIES TO THAT WALL (i.e. FIRE CODE GYPSUM, BATT INSULATION). WHERE A RATED CONSTRUCTION BEGINS/TERMINATES AT AN EXISTING COLUMN ENCLOSURE OR NEW FURRED, NON-RATED ENCLOSURE, THE HIGHER RATING MUST BE PROVIDED. THE INTENT IS TO PROVIDE A COMPLETE ENVELOPE OF INTENDED DESIGN RATINGS.
- PROVIDE SOLID WOOD BLOCKING FOR ALL INDICATED WALL HUNG EQUIPMENT.
- FIRE SAFE ALL PENETRATIONS IN RATED WALL ASSEMBLIES. SEE TYPICAL RATED WALL PENETRATION DETAIL.
- ALIGN FACE OF NEW FINISH WITH FACE OF EXISTING FINISH AT ALL GYPSUM BOARD INFILL CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY LOCATION OF ALL ACCESS PANELS WITH MEP EQUIPMENT.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.
- WHERE THE DRAWINGS AND SPECIFICATIONS CONFLICT THE MOST STRINGENT, GREATEST QUANTITY AND OR BEST QUALITY SHALL BE USED.
- FIRE RATED PARTITIONS INDICATED ON THE FLOOR PLANS ARE COMPONENTS OF CONTINUOUS RATED ASSEMBLIES CONSISTING OF WALLS, FLOOR, DOORS, INTERIOR BORROWED LIGHTS, MECHANICAL PENETRATIONS AND CEILINGS. REFER TO PLANS AND SPECIFICATIONS FOR METHODS OR ACHIEVING THE NECESSARY RATINGS. WHERE THE SPECIFIC METHOD OF ACHIEVING THE RATING IS NOT INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT PRIOR TO BIDDING.
- PATCH, REPAIR, AND REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK OR CUTTING TO ALIGN WITH EXISTING SURFACES SCHEDULED TO REMAIN OR NEW FINISHES SPECIFIED.
- ALL EXISTING FINISHED REMAINING IN PLACE (I.E. CARPET, VCT, CEILINGS, ETC.) SHALL BE CLEANED UTILIZING EFFECTIVE CLEANING METHODS WHICH WILL PRODUCE THE MOST DESIRABLE RESULTS POSSIBLE.
- WHERE DOORS IN METAL STUD PARTITIONS ARE NOT SPECIFICALLY LOCATED ON THE PLANS WITH DIMENSION STRINGS, PROVIDE A MINIMUM HINGE SIDE JAMB DIMENSION OF 6". WHERE DOORS APPEAR TO BE CENTERED WITHIN PARTITIONS, LOCATE THE DOOR IN THE CENTER OF THE PARTITION.
- CAULK ALL JOINT OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- DIMENSIONS ARE TO FACE OF METAL STUD UNLESS OTHERWISE NOTED.
- GC TO PROVIDE AND INSTALL ADA SIGNS AS REQUIRED. REFER TO URI SIGNAGE STANDARDS AND GRAPHICS.
- SEE SPECIFICATION SECTION 01 5000, 01 5010 AND 01 5020 FOR TEMPORARY FACILITIES AND CONTROLS REQUIREMENTS.

**CONSTRUCTION LEGEND**



TYPE A				
FULL HEIGHT GYPSUM BOARD PARTITION				
PARTITION TYPE	WALL THICKNESS	STUD SIZE	STC RATING	UL DESIGN #
A3-0	4 7/8"	3 5/8"		
DESCRIPTION				



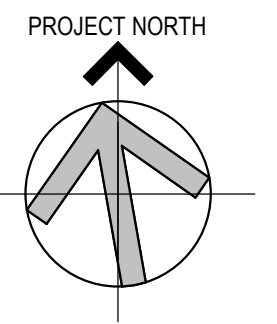
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Client/ Contractor  
**UNIVERSITY OF RHODE ISLAND**

KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001



Seals  
**CONSTRUCTION DOCUMENTS**



Issues / Revisions	
No.	Date
09/15/2023	CONSTRUCTION DOCUMENTS
09/26/2024	CONSTRUCTION DOCS R1

Drawing Title  
**SECOND FLOOR DIMENSION PLAN**

Project Manager: PB	Project No: UR172IN
Project Architect: CB	Production Leader: CB
Project Designer: CB	Peer Reviewer: RA

Drawing Number  
**A2.21.1**



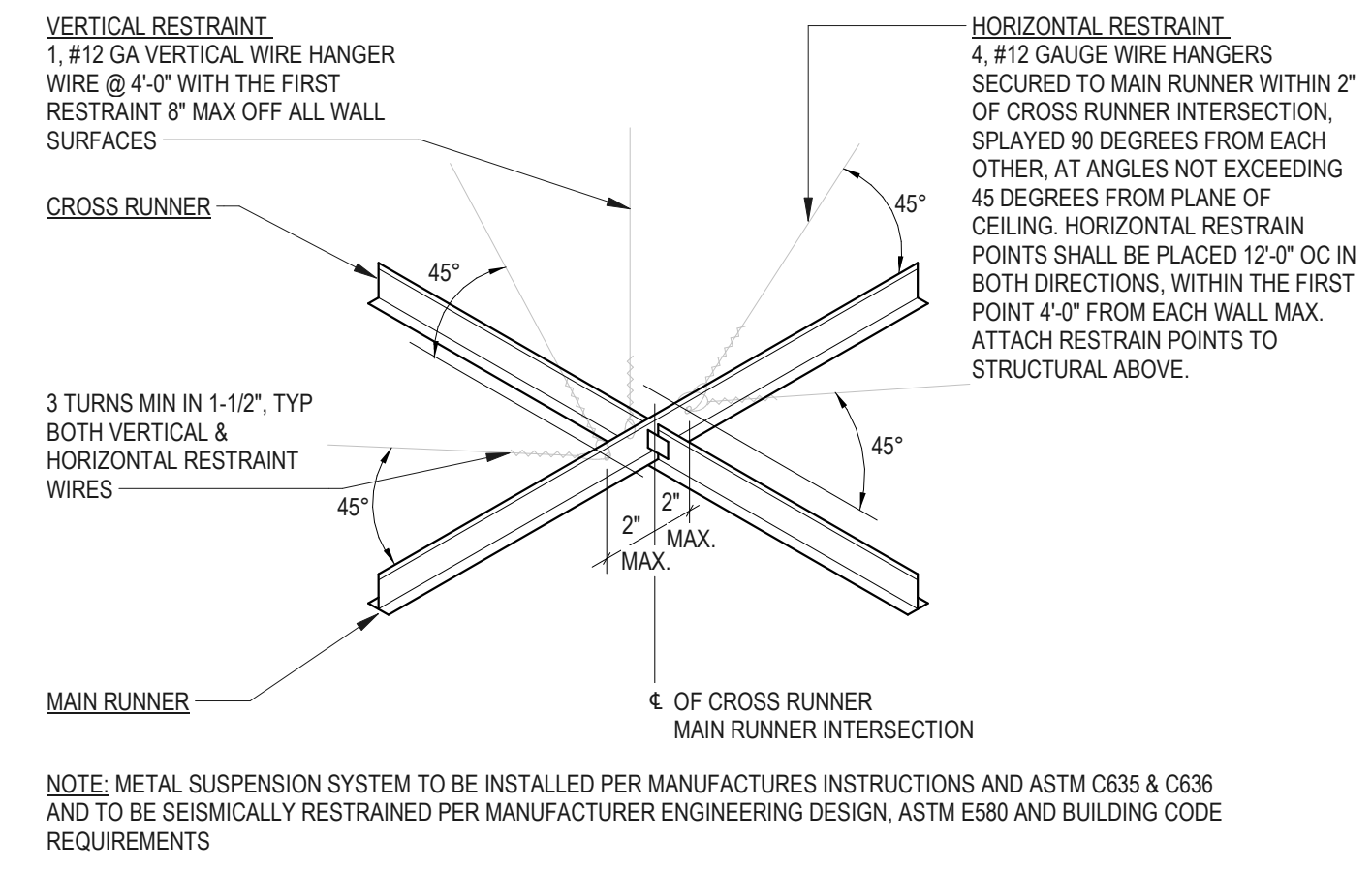
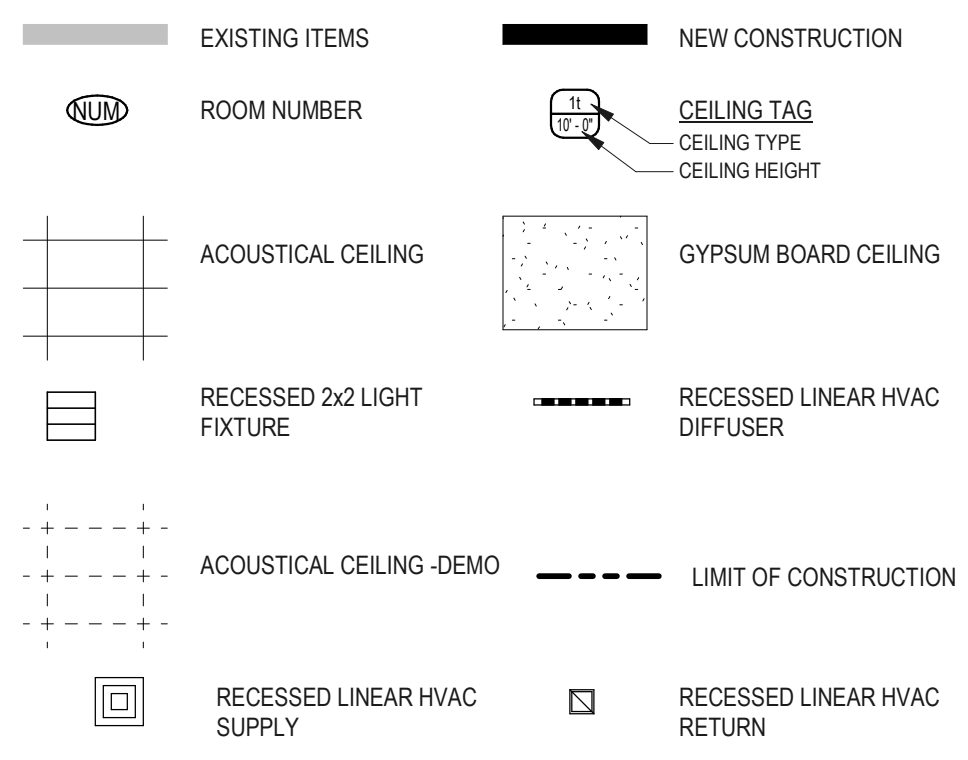
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**GENERAL NOTES - CEILING**

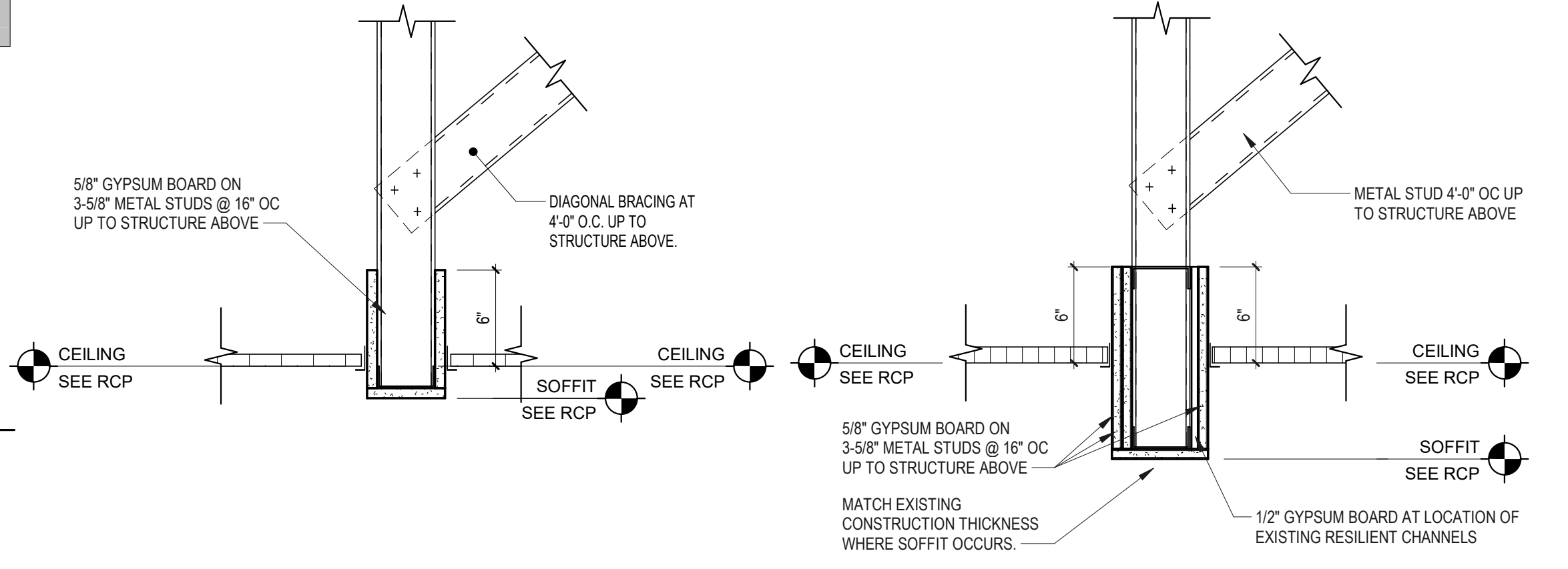
- SEE WALL TYPES FOR INDICATION WHERE WALLS PENETRATE CEILING GRIDS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL CEILING GRIDS AND LIGHTING SHALL BE CENTERED, WITH BALANCED CUTS.
- ALL CEILING ITEMS ARE TO BE CENTERED IN 2x4, 2x2 OR IMPLIED 2x2 CEILING TILE, WHICHEVER APPLIES. THIS PLAN IS INTENDED FOR COORDINATION AND LOCATION PURPOSES ONLY. SEE MEP FOR SPECIFIC CEILING MOUNTED ITEMS.
- REFER TO DETAILS FOR CEILING SEISMIC RESTRAINT DETAIL.
- REFER TO DETAILS FOR THE TYPICAL GYPSUM BOARD SOFFIT DETAIL.
- AT AREAS OF NEW CONSTRUCTION WHERE THE EXISTING CEILING IS TO REMAIN, THE CONTRACTOR WILL BE RESPONSIBLE FOR PATCHING AND REPAIRING THE EXISTING CEILING AS NECESSARY.

**REFLECTED CEILING PLAN LEGEND**



**G3 CEILING SEISMIC RESTRAINT DETAIL (TYP.)**  
1 1/2" = 1'-0"

**H5 SECOND FLOOR REFLECTED CEILING PLAN**  
1/8" = 1'-0"



**H4 SOFFIT DETAIL**  
1 1/2" = 1'-0"

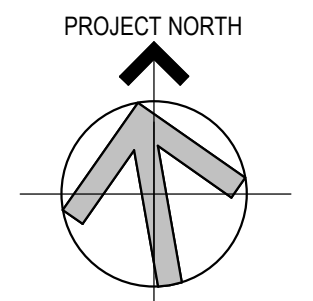
**H3 HEADER SOFFIT DETAIL**  
1 1/2" = 1'-0"



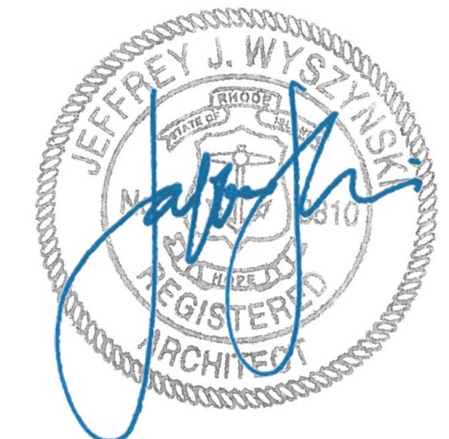
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Project  
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Seals  
**CONSTRUCTION DOCUMENTS**



Issues / Revisions	Date	Description
No.		
0915/2023		CONSTRUCTION DOCUMENTS
0926/2024		CONSTRUCTION DOCS R1

Drawing Title  
**REFLECTED CEILING PLAN SECOND FLOOR**

Project Manager: PB	Project No: UR172IN
Project Architect: PB	Production Leader: CB
Project Designer: CB	Peer Reviewer: RA

Drawing Number  
**A3.11.1**

DOOR AND FRAME SCHEDULE - PRIORITY 1

LEVEL	ROOM NAME	DOOR NUMBER	RATINGS			DOOR							FRAME					HARDWARE SET	DOOR NUMBER	REMARKS						
			FIRE RATING	DOOR LABEL	STC RATING	SIZE			DESCRIPTION				DESCRIPTION		DETAILS											
						LEAF QUANTITY	OPENING WIDTH	WIDTH - LEAF 1	HEIGHT	TYPE - PANEL 1	MATERIAL	FINISH	UNDERCUT	INSULATED	TYPE	MATERIAL	FINISH				SIDE LIGHT WIDTH	HEAD	JAMB	SILL	SPECIAL	
SECOND FLOOR																										
SECOND FLOOR	OFFICE	203A				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	203A	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	203B				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	203B	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	203C				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	203C	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	203D				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	203D	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	203E				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	203E	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	CORRIDOR	204				1	3'-0"	3'-0"	7'-0"	F	SCWD	PREFINISH	3/4"					HM-2	HM	PAINT	1'-0"	E4	E2	03	204	GLAZING TYPE 1 INSTALL SALVAGED LOCKSET ON NEW DOOR AND FRAME FROM DEMOLITION KEYNOTE 04. GC TO RE-HAND EXISTING LOCKSET TO NEW DOOR. URI LOCKSHOP TO RE-PROGRAM LOCKSET.
SECOND FLOOR	OFFICE	204B				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	204B	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	204C				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	204C	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	204D				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	204D	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	OFFICE	204E				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	02	204E	GLAZING TYPE 1, WINDOW FILM TYPE WF-1
SECOND FLOOR	STORAGE	204F				1	3'-0"	3'-0"	7'-0"	F	SCWD	PREFINISH	3/4"				EXISTING	HM	PAINT		E4	E2	EXISTING	204F	INSTALL SALVAGED DOOR, FRAME AND HARDWARE FROM DEMOLITION KEYNOTE 15. COORDINATE FILAN KEYING OF EXISTING LOCKSET WITH URI.	
SECOND FLOOR	CONFERENCE ROOM	205A				1	3'-0"	3'-0"	7'-0"	F	SCWD	PREFINISH	3/4"				EXISTING	HM	PAINT	1'-0"	E4	E2	EXISTING	205A	GLAZING TYPE 1, WINDOW FILM TYPE WF-1, NSTALL SALVAGED DOOR, FRAME AND HARDWARE FROM DEMOLITION KEYNOTE 05. GC TO RE-HAND EXISTING LOCKSET TO NEW HANDING. URI LOCKSHOP TO RE-PROGRAM LOCKSET.	
SECOND FLOOR	CONFERENCE ROOM	205B				1	3'-0"	3'-0"	7'-0"	FG	SCWD	PREFINISH	3/4"					HM-1	HM	PAINT		E4	E2	04	205B	GLAZING TYPE 1, WINDOW FILM TYPE WF-1, PUSH BUTTON OF PRIVACY LOCKSET TO BE LOCATED ON CORRIDOR 204.2 SIDE OF THE DOOR.

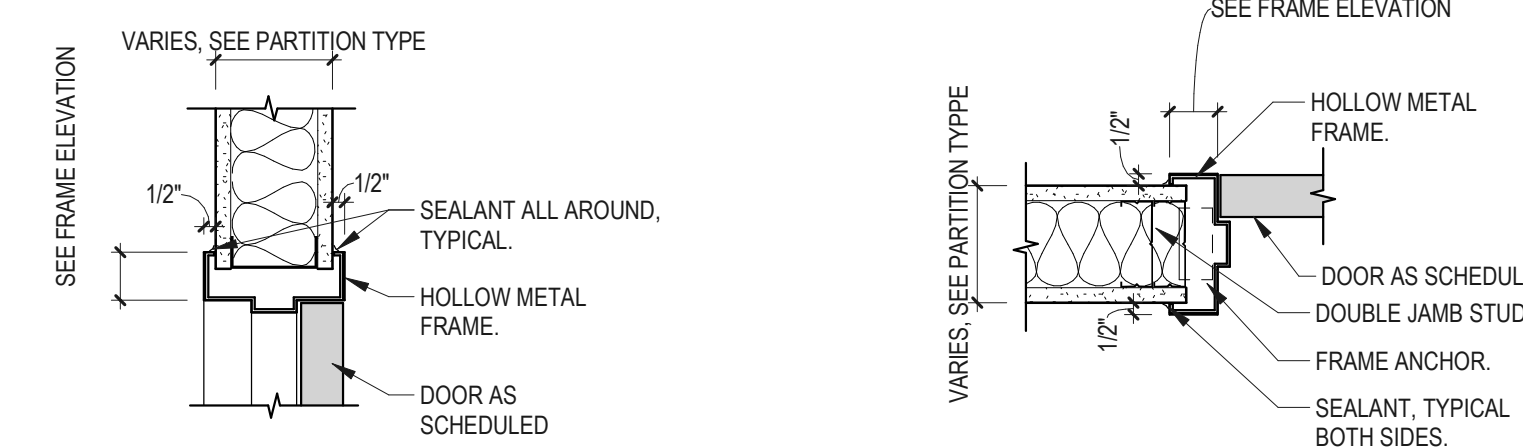
GENERAL NOTES:

- REFER TO SPECIFICATION FOR DOOR, FRAME AND HARDWARE MANUFACTURER AND GRADE.
- ALL INTERIOR DOOR TO BE UNDERCUT 3/4", UNLESS OTHERWISE NOTED.
- TRANSITION STRIPS TO BE INSTALLED AT ALL FLOORING MATERIAL CHANGES.
- ALL HARDWARE TO MATCH EXISTING STANDARD.
- SEE ALSO SPECIFICATIONS FOR HARDWARE SETS.

NOTE:

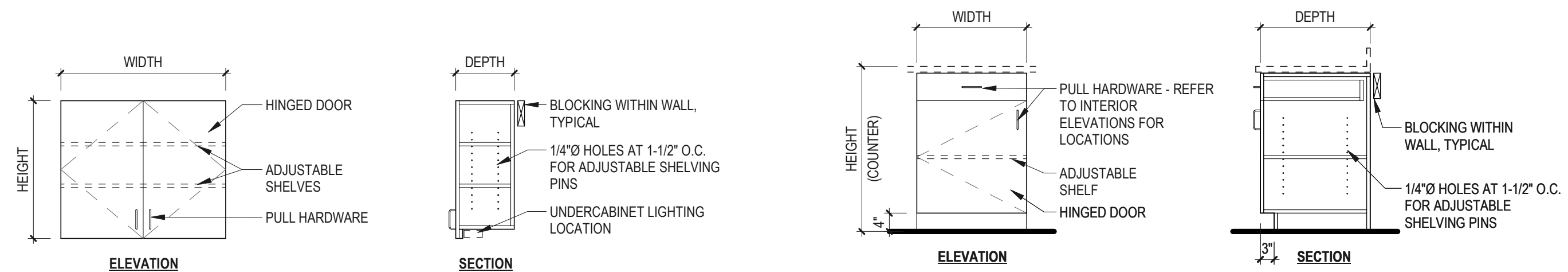
EXISTING DOOR 203 AND SIDELITE 203 TO RECEIVE WF-1 WINDOW FILM.

GLAZING LEGEND	
<b>INTERIOR GLAZING</b>	GU-1: CLEAR GLASS
<b>WINDOW FILM</b>	WF-1: 3M FASARA GLASS FINISHES FROSTMATTE SH2FNCR 1270, FINE CRYSTAL
<b>RATED ASSEMBLIES</b>	FIRE LITE GLASS TO BE USED AT ALL RATED ASSEMBLIES
	T = TEMPERED GLASS
	(SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)



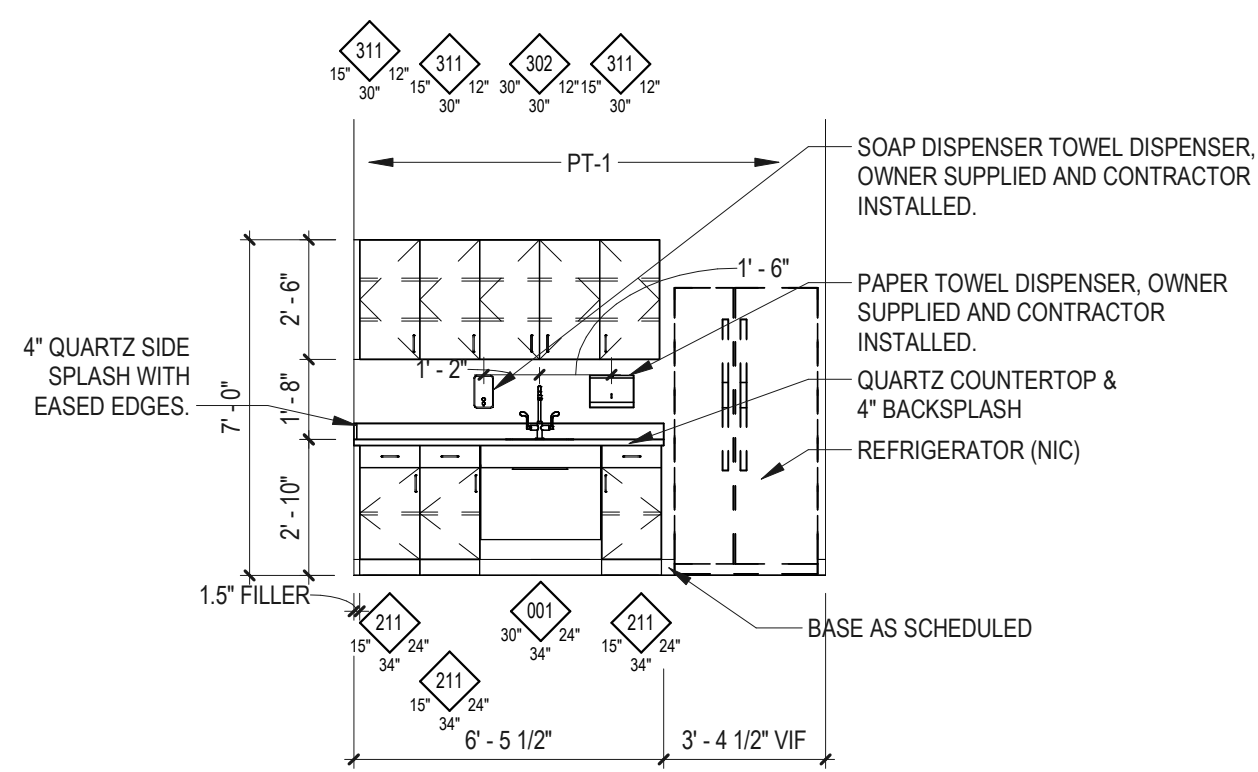
E4 HM DOOR HEAD  
1 1/2" = 1'-0"

E2 HM DOOR JAMB  
1 1/2" = 1'-0"



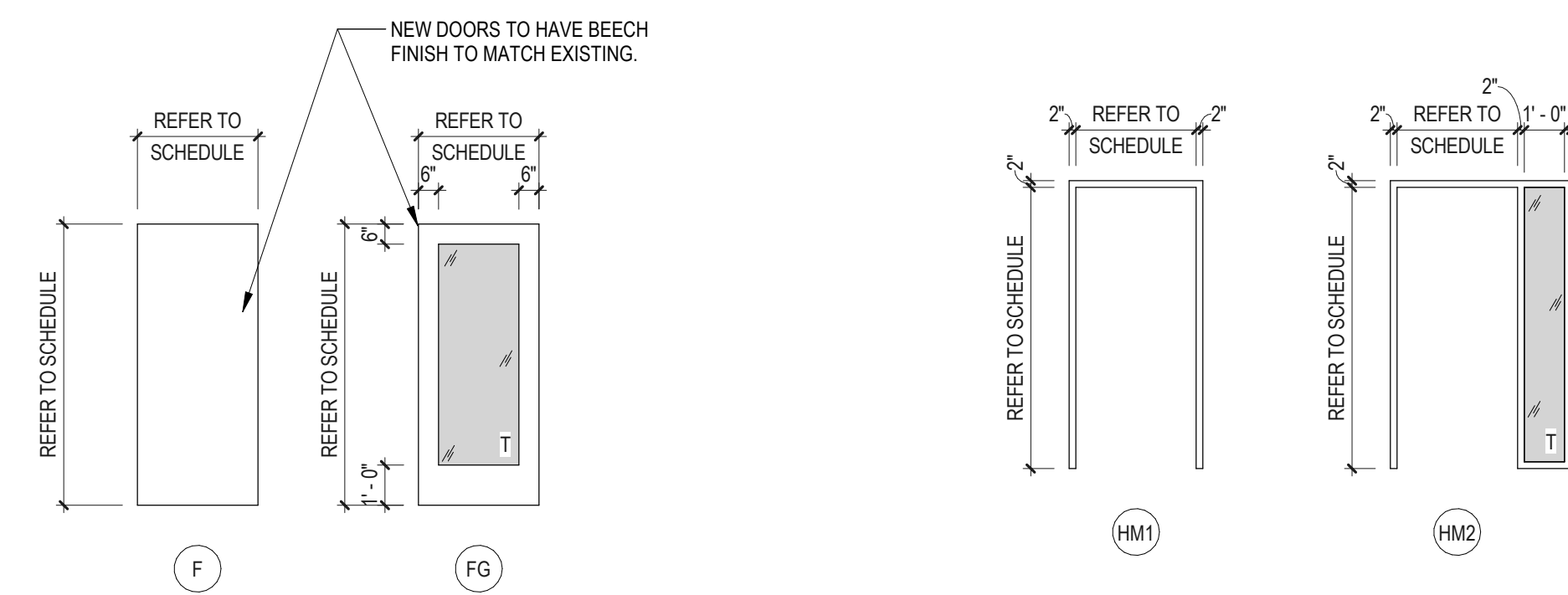
F10 CDS #302 - WALL CABINET DOUBLE DOOR  
1/2" = 1'-0"

F8 CDS #211 - BASE CABINET SINGLE DOOR, SINGLE DRAWER  
1/2" = 1'-0"



H10 BREAK ROOM  
1/4" = 1'-0"

H8 CDS #001 - ADA SINK VALANCE  
1/2" = 1'-0"



H7 DOOR TYPES  
1/4" = 1'-0"

H1 HOLLOW METAL FRAME TYPE  
1/4" = 1'-0"

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Client/ Contractor  
**UNIVERSITY OF RHODE ISLAND**  
KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001

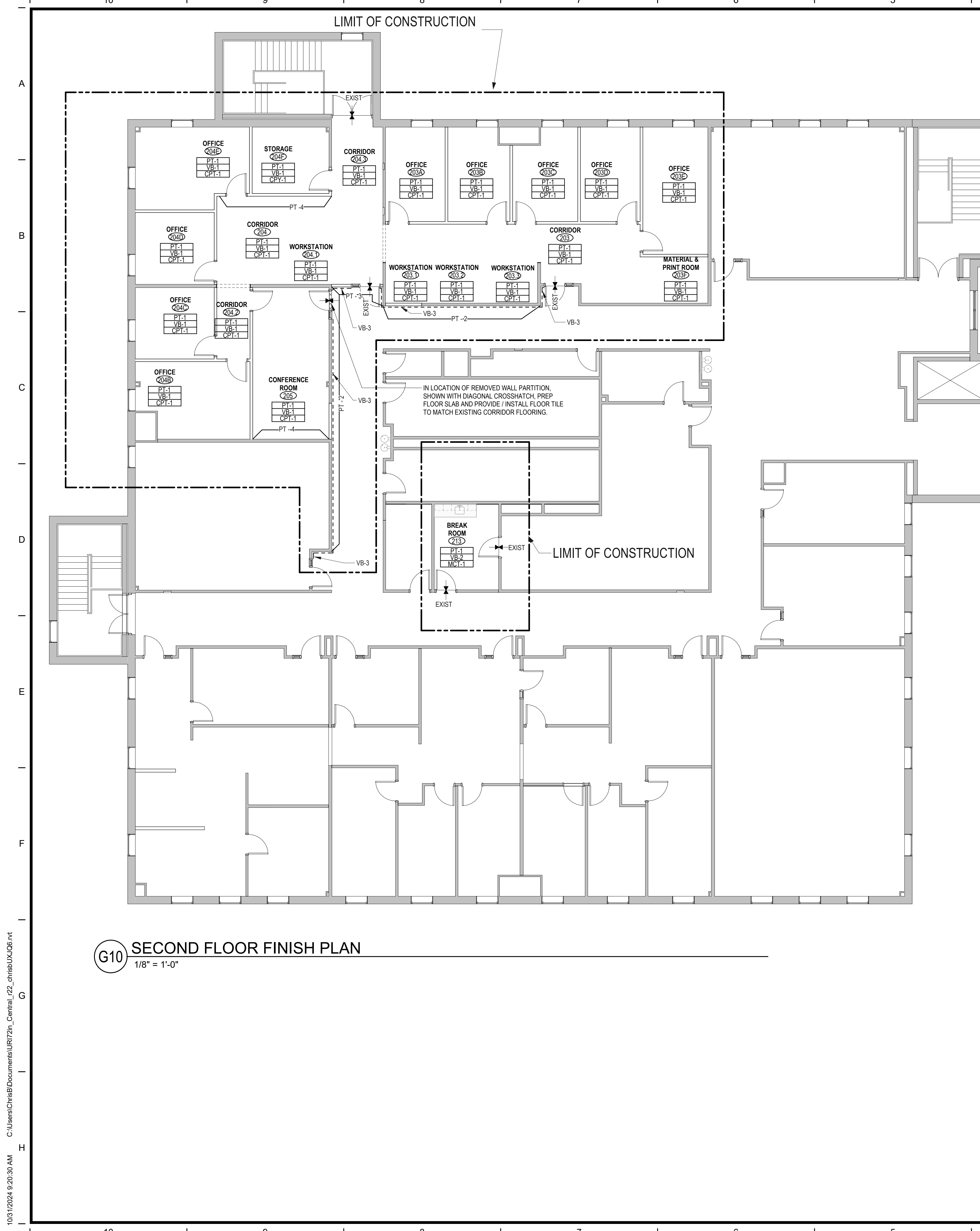
Seals  
**CONSTRUCTION DOCUMENTS**

Issues / Revisions	
No.	Date
09/15/2023	CONSTRUCTION DOCUMENTS
09/26/2024	CONSTRUCTION DOCS R1

Drawing Title  
**DOOR SCHEDULES, AND CASEWORK ELEVATIONS & DETAILS**

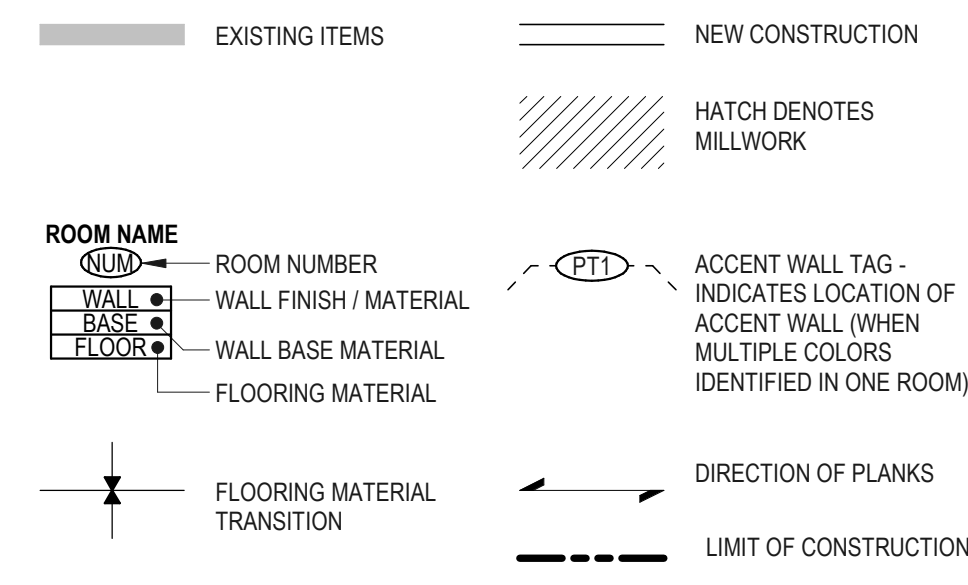
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Project Architect: PB	Production Leader: CB
Project Designer: CB	Peer Reviewer: RA

Drawing Number  
**A8.10**



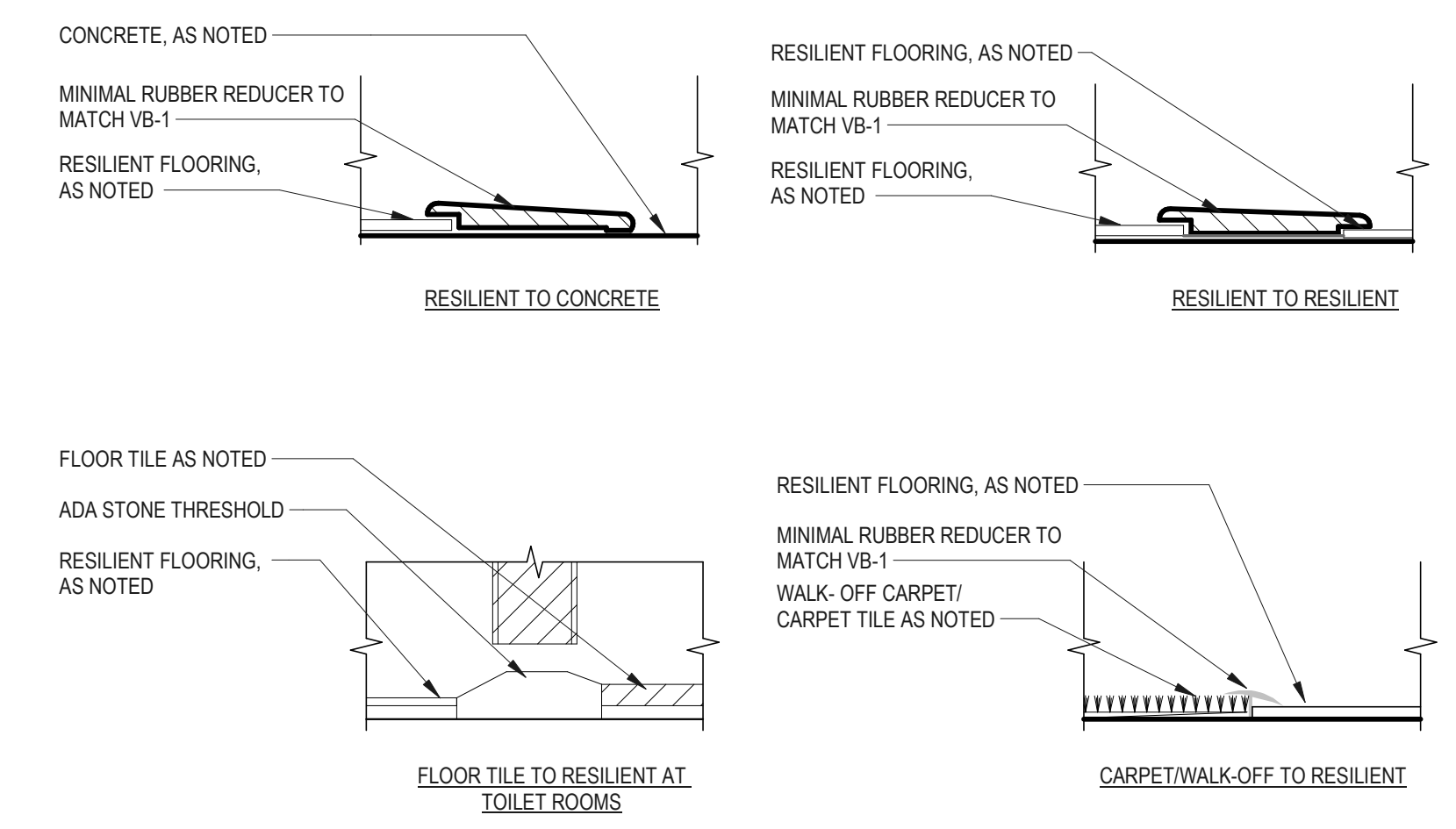
**G10** SECOND FLOOR FINISH PLAN  
1/8" = 1'-0"

**FINISHES LEGEND**



**GENERAL NOTES - FINISHES**

- FOR ROOMS WITH MULTIPLE WALL FINISHES CALLED OUT REFER TO ACCENT WALL TAGS. FOR ROOMS WITH MULTIPLE FLOORING FINISHES CALLED OUT REFER TO FINISH DETAIL PLANS.
- FOR INTERIOR PAINT FINISHES:
  - ALL INTERIOR WALLS TO BE EGGSHELL FINISH, UNLESS EPOXY FINISH IS NOTED.
  - ALL DOOR AND WINDOW FRAMES TO BE SEMI-GLOSS FINISH.
  - ALL GYPSUM BOARD CEILINGS TO BE PAINTED TO BE FLAT FINISH.
  - ALL PAINTED METAL TO BE SEMI-GLOSS FINISH, UNLESS EPOXY FINISH IS NOTED.
- ALL EXPOSED COLUMNS THAT ARE NOT INCORPORATED IN A WALL ARE TO BE PAINTED PT-1, UNLESS OTHERWISE NOTED. EXPOSED STRUCTURE THAT IS INCORPORATED IN A WALL IS TO BE PAINTED TO MATCH ADJACENT WALL.
- FLOOR FINISHES TO EXTEND UNDER CASEWORK AND SPECIALTY/FIREMATIC EQUIPMENT.
- INSTALL SCHEDULED FLOOR FINISH UP AND ONTO ALL RAISED SLAB LOCATIONS.
- ALL DOOR FRAMES TO BE PAINTED PT-5, TYP.



**D4** TRANSITION DETAILS  
6" = 1'-0"

**MATERIALS LIST**

ITEM	DESCRIPTION	ITEM	DESCRIPTION
<b>WALK-OFF CARPET</b>	<b>NOT USED</b>	<b>PAINT</b>	
WM-1	ITEM: NOT USED	PT-1	MFR: SHERWIN-WILLIAMS FINISH: REFER TO SPECS, VARIES BASED ON SUBSTRATE/ APPLICATION
	COLLECTION: NOT USED		COLOR: SW 7006 OR SW 7008
	COLOR: NOT USED		LOCATION: TYPICAL WALL PAINT
	BACKING: NOT USED	PT-2	MFR: SHERWIN-WILLIAMS FINISH: REFER TO SPECS, VARIES BASED ON SUBSTRATE/ APPLICATION
	INSTALL: NOT USED		COLOR: CORRIDOR, MATCH EXISTING BLUE PAINT
	LOCATION: NOT USED	PT-3	MFR: SHERWIN-WILLIAMS FINISH: REFER TO SPECS, VARIES BASED ON SUBSTRATE/ APPLICATION
<b>CARPET</b>			COLOR: CORRIDOR, MATCH EXISTING YELLOW PAINT
CPT-1	ITEM: CARPET TILE	PT-4	MFR: SHERWIN-WILLIAMS FINISH: REFER TO SPECS, VARIES BASED ON SUBSTRATE/ APPLICATION
	MFR: SHAW		COLOR: ANCHORS AWEIGH, SW 9179
	COLLECTION: IMMERSE		LOCATION: ACCENT, AS INDICATED ON FLOORPLANS
	STYLE #: J0187	PT-5	MFR: SHERWIN-WILLIAMS FINISH: REFER TO SPECS, VARIES BASED ON SUBSTRATE/ APPLICATION
	COLOR NAME: FOCUS		COLOR: MATCH EXISTING DOOR COLOR
	COLOR #: 87400		LOCATION: DOOR FRAMES
	SIZE: 24"X24"		
	INSTALL: BRICK ASHLAR		
	LOCATION: AS NOTED	<b>CABINETS</b>	
<b>MARMOLEUM</b>		MFR	WOLFE
MCT-1	ITEM: MARMOLEUM TILE		DARTMOUTH PAINTED WHITE CABINETS
	MFR: FORBO	<b>HARDWARE</b>	
	COLLECTION: TRADITIONAL VINYL 1/8" (TYPE TV)	MFR	BERENSON
	COLOR: GRAPHITE	FINISH	BRUSHED NICKEL
	COLOR #: 3048	PRODUCT #	9401-2BPN-P
	SIZE: 13.11IN x 13.11IN		
	THICKNESS: 0.08IN	<b>CEILINGS</b>	
	INSTALL: ASHLAR	ACT-1	MFR: ARMSTRONG
<b>VINYL WALL BASE</b>			PRODUCT: FINE FISURED
VB-1	ITEM: VINYL BASE		EDGE DETAIL: 15/16" SQUARE LAY-IN
	MFR: JOHNSONITE - TARKETT		TILE COLOR: WHITE
	PRODUCT: TRADITIONAL VINYL 1/8" (TYPE TV)		SIZE: 2 x 2 x 5/8"
	PRODUCT #: TBD		PRODUCT #: 1940
	COLOR: TBD		NRC VALUE: 0.8
	PROFILE: COVE		CAC VALUE: 35
	SIZE: 4" X 120'		GRID: 15/16" PRELUDE
	LOCATION: ACCENT WALL BASE, AS NOTED		GRID COLOR: WHITE
VB-2	ITEM: VINYL BASE		LOCATION: GENERAL CEILINGS, AS NOTED
	MFR: JOHNSONITE - TARKETT	<b>SOLID SURFACE COUNTER TOP</b>	
	PRODUCT: TRADITIONAL VINYL 1/8" (TYPE TV)	SS-1	QUARTZ WORK TOP- LX VIATRA MINUET WITH 4" BACK SPLASH
	PRODUCT #: TBD		
	COLOR: MATCH EXISTING CORRIDOR WALL BASE		
	PROFILE: COVE		
	SIZE: 4" X 120'		
	LOCATION: CORRIDOR		

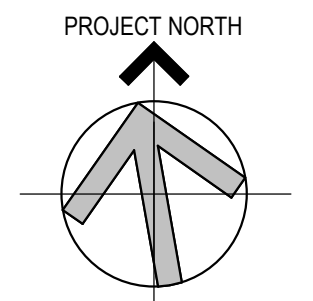


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Client/ Contractor  
**UNIVERSITY OF RHODE ISLAND**  
KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001



Seals  
**CONSTRUCTION DOCUMENTS**

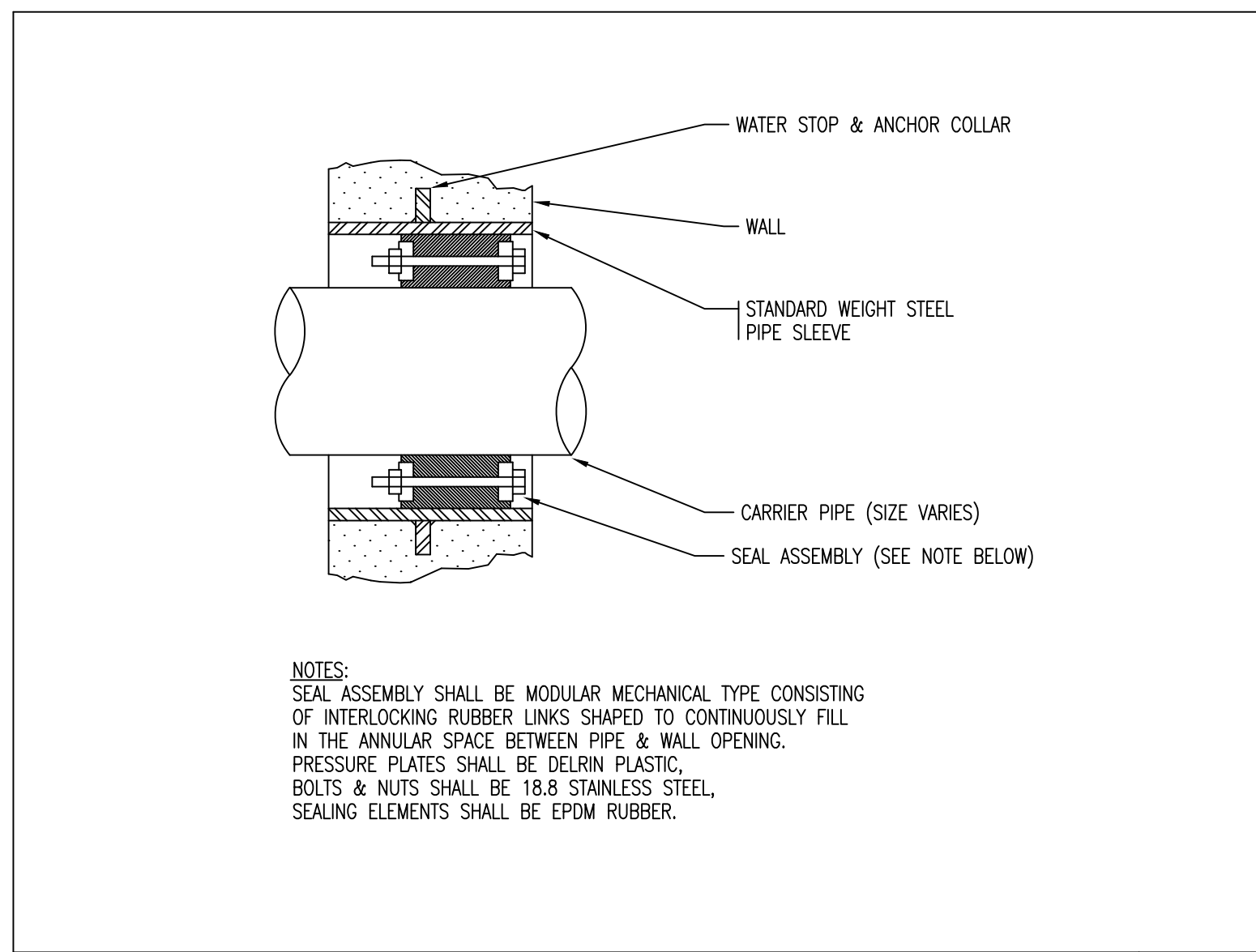
Issues / Revisions	No.	Date	Description
	0915/2023		CONSTRUCTION DOCUMENTS
	0926/2024		CONSTRUCTION DOCS R1

Drawing Title  
**SECOND FLOOR FINISH PLAN**

Project Manager:	PB	Project No.:	UR172IN
Project Architect:	PB	Production Leader:	CB
Project Designer:	CB	Peer Reviewer:	RA

Drawing Number  
**12.12.1**

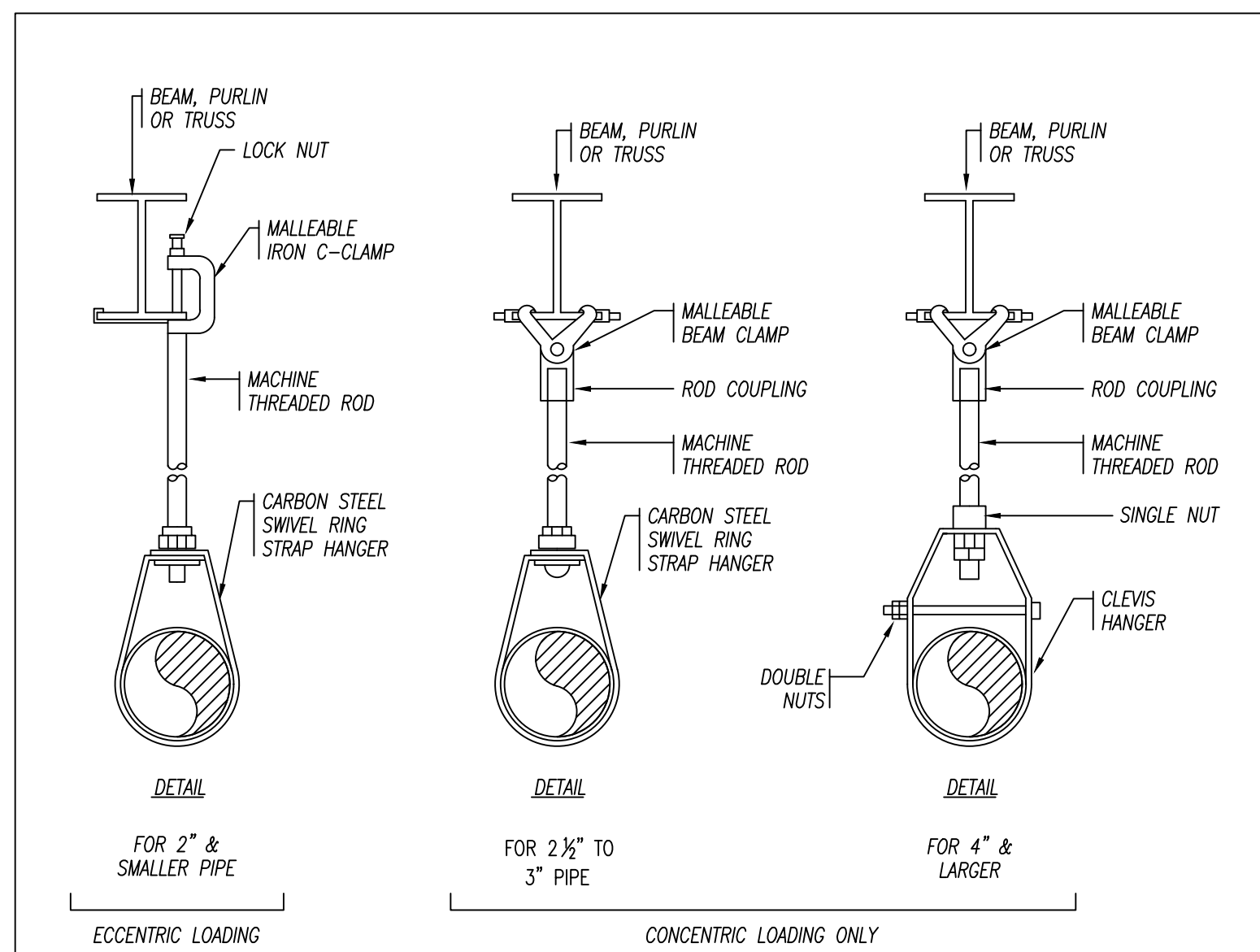
10/6/2024 9:20:30 AM C:\Users\ChrisB\Documents\UR172in\_Central\_r22\_chrisb\DX106.rvt



**NOTES:**  
SEAL ASSEMBLY SHALL BE MODULAR MECHANICAL TYPE CONSISTING OF INTERLOCKING RUBBER LINKS SHAPED TO CONTINUOUSLY FILL IN THE ANNULAR SPACE BETWEEN PIPE & WALL OPENING. PRESSURE PLATES SHALL BE DELRIN PLASTIC. BOLTS & NUTS SHALL BE 18.8 STAINLESS STEEL. SEALING ELEMENTS SHALL BE EPDM RUBBER.

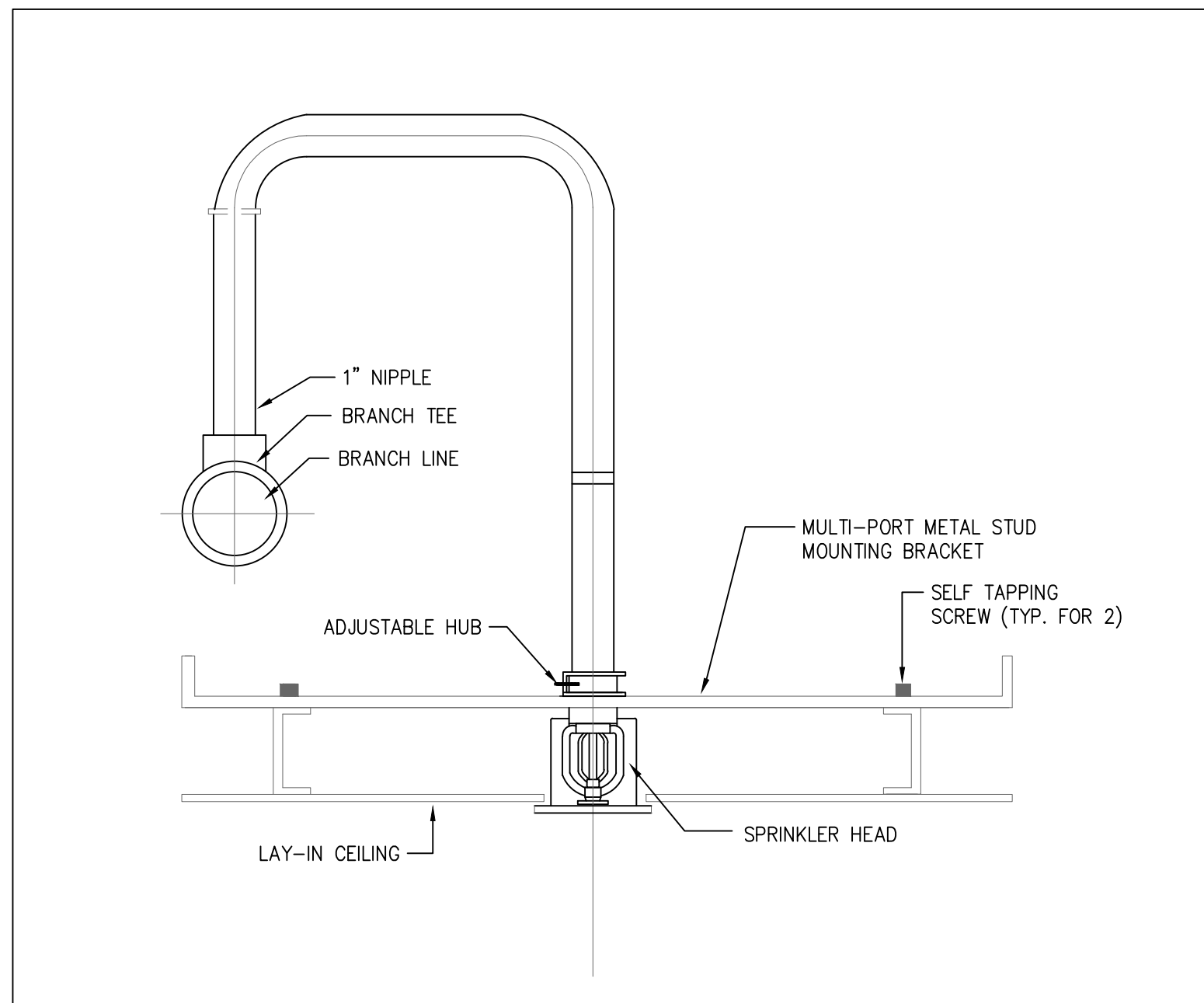
**WATER TIGHT SEAL DETAIL**

N.T.S.



**PIPE HANGERS FROM BOTTOM OF BEAM, PURLIN OR TRUSS**

N.T.S.



**TYPICAL FOR AREAS WHERE SPRINKLERS ARE REQUIRED BELOW CEILING**

N.T.S.

**FIRE PROTECTION NOTES**

- BASIS OF DESIGN: KINGSTON, RI FIRE DEPARTMENT AND RHODE ISLAND STATE CODES.
- SPRINKLERS SYSTEMS, SHALL BE INSTALLED BY A LICENSED SPRINKLER CONTRACTOR WITH LICENSED SPRINKLER FITTERS.
- SPRINKLER SYSTEM
  - SPRINKLERS SHALL BE INSTALLED IN ALL AREAS OF THE BUILDING WHERE SHOWN, INCLUDING ROOMS CONTAINING ELECTRICAL EQUIPMENT.
  - THE SPRINKLER SYSTEM SHALL BE SIZED BASED ON HYDRAULIC CALCULATIONS THAT PROVIDE A MINIMUM 10 PSI SAFETY MARGIN.
  - THE PRIMARY SPRINKLER SYSTEM SHALL BE AN AUTOMATIC WET TYPE SYSTEM.
  - THE AUTOMATIC WET SPRINKLER SYSTEMS SHALL BE MONITORED BY AN EXISTING ALARM CHECK VALVE LOCATED IN THE SPRINKLER SERVICE ROOM.
- PIPE HANGERS TO BE INSTALLED IN ACCORDANCE WITH NFPA-13:
  - NO OTHER PIPING OR DEVICES ARE TO BE ATTACHED TO SPRINKLER PIPE HANGING SYSTEM.
  - PIPING SHALL BE INSTALLED WITH EARTHQUAKE BRACING IN ACCORDANCE WITH NFPA 13 AND THE STATE BUILDING CODE.
- SPRINKLERS:
  - SPRINKLER HEADS ARE TO BE QUICK RESPONSE 155 DEGREE TYPE UNLESS NOTED OTHERWISE.
  - CONCEALED TYPE SPRINKLER HEADS ARE TO BE MOUNTED IN CENTER OF CEILING TILES.
  - CONCEALED HEADS IN ALL AREAS ARE TO BE WHITE. DEEP ADJUSTABLE ESCUTCHEONS ARE TO BE USED ADJACENT TO SURFACE MOUNTED LIGHTING.
  - SPRINKLER HEADS FOR GENERAL AREAS WITHOUT CEILINGS SHALL BE UPRIGHT TYPE WITH ORDINARY TEMPERATURE RATING.
  - SPRINKLER HEADS FOR MECHANICAL AND ELECTRIC ROOMS WITHOUT CEILINGS SHALL BE UPRIGHT WITH INTERMEDIATE TEMPERATURE RATING.
- PIPE:
  - ALL 2-1/2" THROUGH 6" PIPING SHALL BE ASTM A-175 BLACK SCHEDULE 10 PIPE WITH GROOVED CONNECTIONS.
  - ALL 1" THROUGH 2" PIPING SHALL BE ASTM A-53 BLACK SCHEDULE 40 PIPE WITH THREADED CONNECTIONS.
- SHUTDOWNS
  - CONTRACTOR SHALL PROVIDE THE OWNER'S AGENT WRITTEN NOTIFICATION A MINIMUM OF 72 HOURS PRIOR TO ANY SYSTEM SHUTDOWNS. (\*VERIFY AND COORDINATE TIME DURATION WITH DISCIPLINE SPECIFICATION\*)

**TEMPORARY SPRINKLER PROTECTION DURING CONSTRUCTION**

- FP CONTRACTOR TO INSTALL TEMPORARY SPRINKLER PROTECTION WITHIN PROJECT SCOPE DURING CONSTRUCTION BY TURNING ANY PENDENT SPR HEADS UPRIGHT TO CLOSE TO DECK. FP CONTRACTOR TO INCLUDE THIS COST IN THE BID.
- FIRE PROTECTION CONTRACTOR SHALL INCLUDE IN HIS BID ALL REQUIREMENTS SET FORTH IN NFPA-241 "STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS, DEMOLITION OPERATIONS THAT PERTAIN TO FIRE PROTECTION & SPRINKLER.

**DESIGN DENSITIES**

EXISTING BUILDING CONSTRUCTION : NON-COMBUSTIBLE CONCRETE BLOCK & STEEL CONSTRUCTION.  
- PROJECT INCLUDES RENOVATION TO EXISTING OFFICE SPACES  
DESIGN NFPA 13 2013: LIGHT HAZARD  
LIGHT HAZARD .10 GPM / 1500 SQ. FT. + 100 GPM HOSE

CENTERLINE OF TILE		YES	NO					
SPRINKLER SYMBOLS								
SYM	NAME	METAL	TEMP	K	NPT	MFG.	MODEL#	FINISH
○*	PENDENT	BRASS	155*	5.60	1/2"	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING

\* CONFIRM IF REQUIRED TO BE QUICK RESPONSE

**FIRE PROTECTION LEGEND**

EXISTING	SYMBOL	ABBR	DESCRIPTION
— SPR —	— SPR —	SPR	SPRINKLER PIPING
X X X X	X X X X		EXISTING SPR PIPE TO BE REMOVED
—	—		CONNECT NEW TO EXISTING PIPING
—	—		GATE VALVE
—	—		PIPE CAP
—	—		PIPE CONTINUATION
—	—		PIPE UP THRU SLAB OF FLOOR ABOVE
—	—		PIPE DOWN THRU FLOOR SHOWN
—	—		PIPE DROP
—	—		PIPE RISE
	X	(ETBR)	EXISTING TO BE REMOVED
	⊙	(G)	SPRINKLER GUARD
	⊙	(E)	EXISTING SPR HEAD
	⊙	(R)	EXISTING SPR HEAD TO BE RELOCATED & REUSED
	—	CTE	CONNECT TO EXISTING
	—	ETR	EXISTING TO REMAIN
	—	ETBR	EXISTING TO BE REMOVED
	—	ETBR&R	EXISTING TO BE REMOVED & REPLACED
	—	VIF	VERIFY IN FIELD
	—	NF	NON FERROUS PIPING

**HYDRANT FLOW WATER DATA**

STATIC: — PSI  
RESIDUAL: — PSI  
PITOT: — PSI  
FLOW: — GPM

IF REQUIRED FP CONTRACTOR TO INCLUDE IN HIS BID THE COST TO PERFORM HYDRANT FLOW TEST.

**FIRE PROTECTION DEMOLITION NOTES**

- THIS SUBCONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING SPRINKLERS AND SPRINKLER PIPING IN THE BUILDING INDICATED WHEN THE PHASING SCHEDULE ALLOWS. SPRINKLER SYSTEMS SHALL REMAIN UNLESS OTHERWISE INDICATED. SPECIAL ATTENTION MUST BE GIVEN TO THE REQUIRED PHASING OF THE CONSTRUCTION AS IT RELATES TO FIRE PROTECTION.
- DISCONNECTED PIPING SHALL BE REMOVED AND NEATLY STOCKPILED WHERE AND, AS DIRECTED BY THE THE GENERAL CONTRACTOR, UNTIL MATERIAL CAN BE DISPOSED OF AS REQUIRED
- ALL DISCONNECTED AND REMOVED PIPING SHALL BE PLUGGED OR CAPPED BACK AT MAIN OR RISER. ALL UNUSED BRANCH PIPING MUST BE REMOVED.

**APPLICABLE CODES**

2021 RHODE ISLAND BUILDING CODE (IBC 2018 WITH AMENDMENTS)  
2021 RHODE ISLAND PLUMBING CODE (IPC 2018 WITH AMENDMENTS)  
2021 RHODE ISLAND MECHANICAL CODE (IMC 2018 WITH AMENDMENTS)  
2021 STATE OF RHODE ISLAND ENERGY CONSERVATION CODE (ECC 2018 WITH AMENDMENTS)  
RHODE ISLAND ACCESSIBILITY CODE 2009 (A117.1, 2009)  
2010 ADA STANDARDS  
2021 RHODE ISLAND ELECTRICAL CODE (NFPA 70, 2020)  
RHODE ISLAND LIFE SAFETY CODE (NFPA 101, 2018)  
LIFE SAFETY CODE OF CMS (NFPA 101, 2012)  
RHODE ISLAND FIRE CODE (NFPA 1, 2018)  
RHODE ISLAND FIRE SPRINKLER CODE 2016 (NFPA 13, 2016)  
RHODE ISLAND STANDPIPE AND HOSE SYSTEM INSTALLATION CODE 2016 (NFPA 14, 2016)  
RHODE ISLAND FIRE ALARM CODE (NFPA 72, 2019)  
RHODE ISLAND COMMERCIAL ENERGY CODE 2016 (ASHRAE 90.1, 2016)

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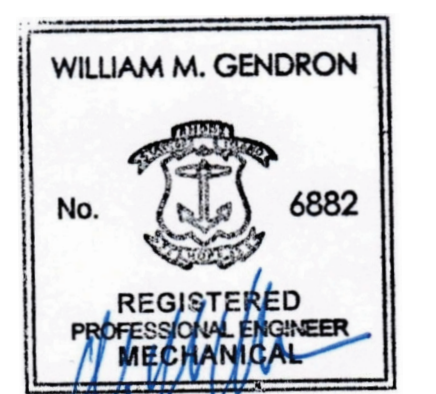
Project

**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001

Seals

**CONSTRUCTION DOCUMENTS**



Issues / Revisions

No.	Date	Description
1	09/15/2023	CONSTRUCTION DOCUMENTS
2	09/28/2024	CONSTRUCTION DOCS R1

Drawing Title

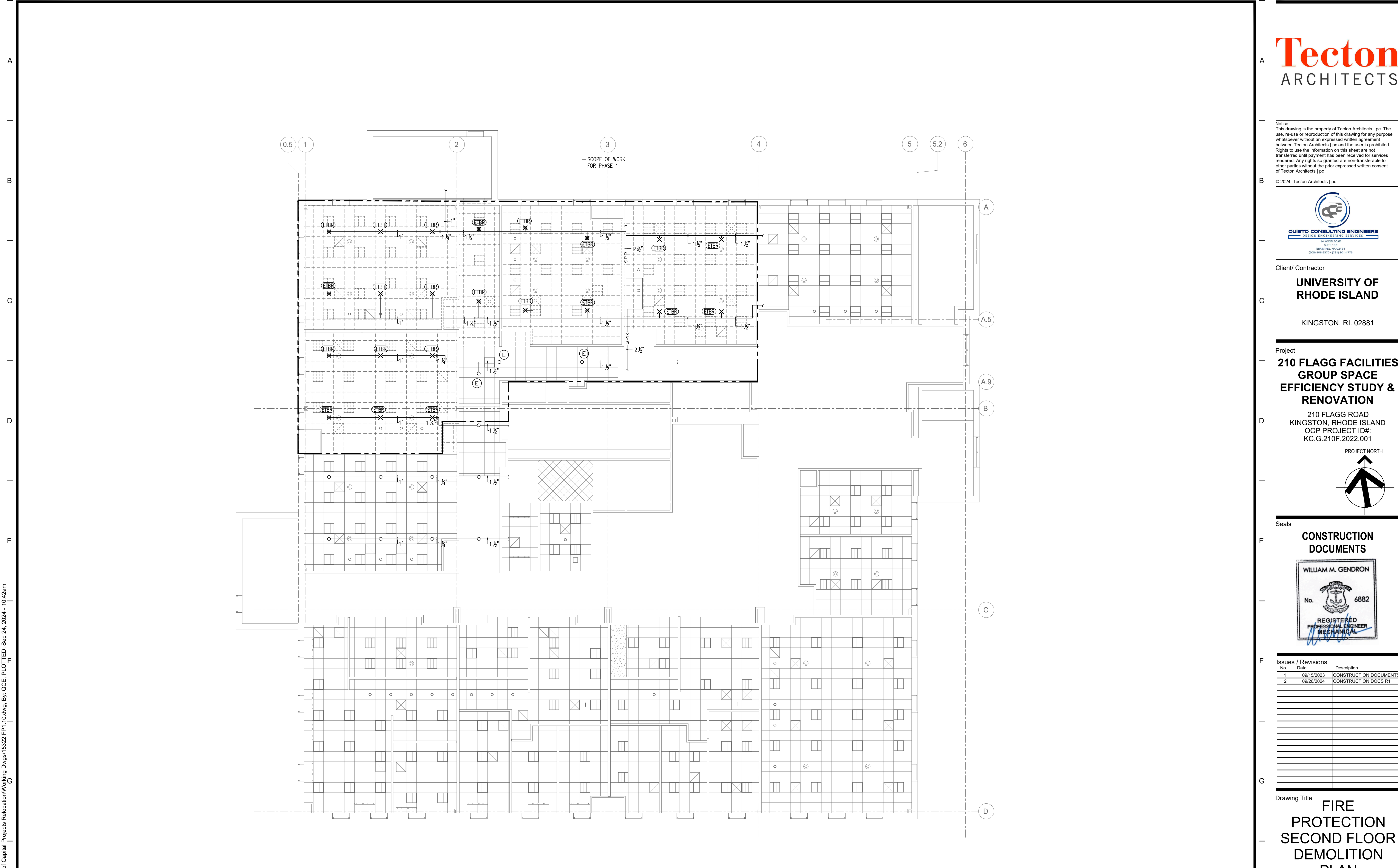
**FIRE PROTECTION LEGEND, SCHEDULES & DETAILS**

NOT TO SCALE

Project Manager: SPO	Project No: UR17ZIN
Project Architect: SPO	Production Leader: SPO
Project Designer: SPO	Peer Reviewer: SPO

Drawing Number

**FP0.01**



**FP SECOND FLOOR DEMOLITION PLAN**  
 1/8" = 1'-0"

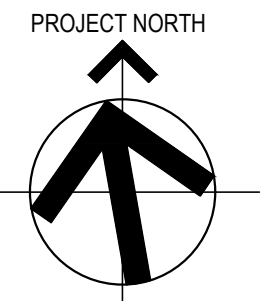
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 KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
 210 FLAGG ROAD  
 KINGSTON, RHODE ISLAND  
 OCP PROJECT ID#: KC.G.210F.2022.001



Seals

**CONSTRUCTION DOCUMENTS**

WILLIAM M. GENDRON

No. 6882

REGISTERED PROFESSIONAL ENGINEER MECHANICAL

Issues / Revisions

No.	Date	Description
1	09/15/2023	CONSTRUCTION DOCUMENTS
2	09/26/2024	CONSTRUCTION DOCS R1

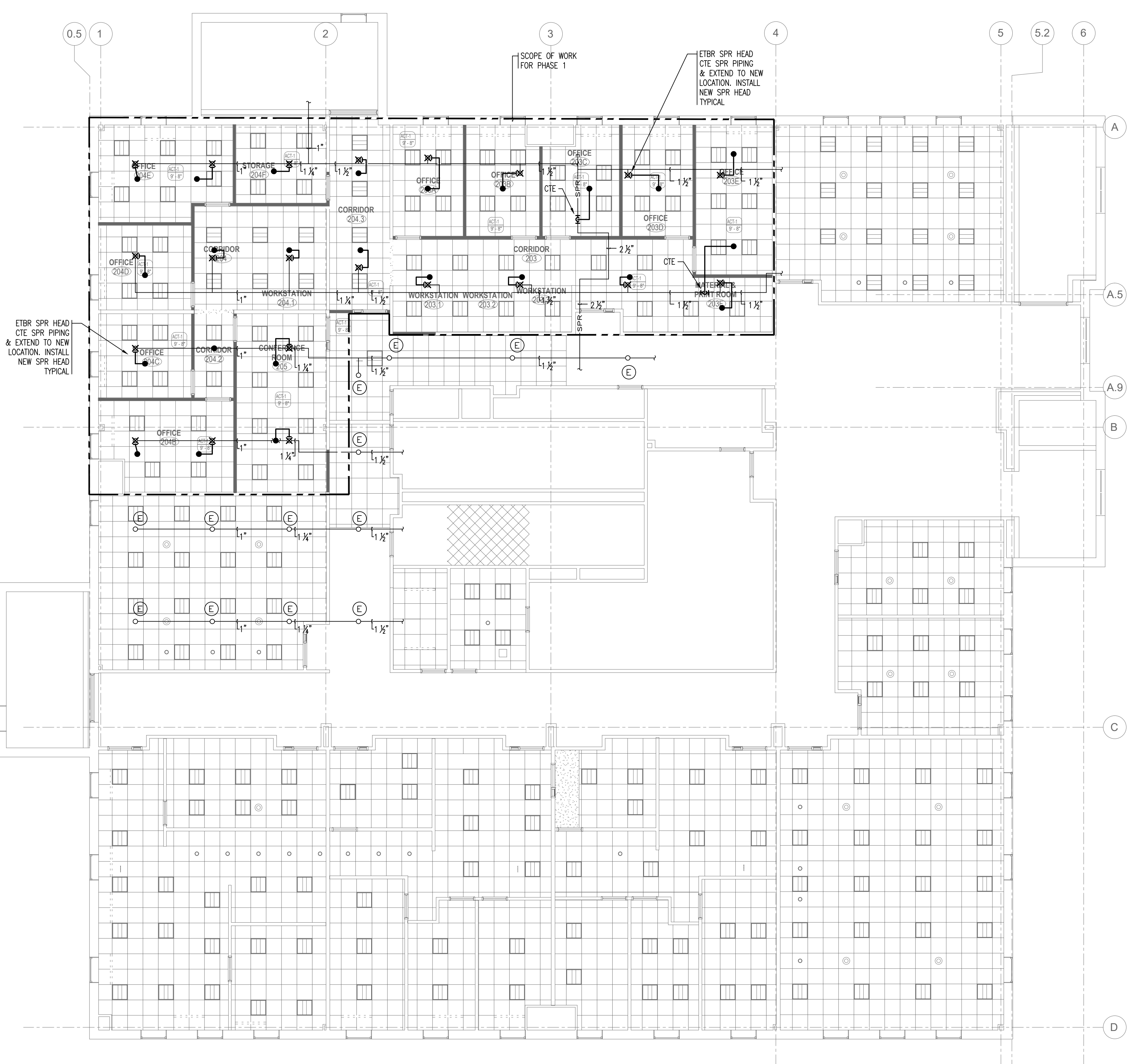
Drawing Title  
**FIRE PROTECTION SECOND FLOOR DEMOLITION PLAN**

Project Manager: SPQ Project No: UR17ZIN  
 Project Architect: Production Leader: SPQ  
 Project Designer: SPQ Peer Reviewer: SPQ

Drawing Number  
**FP1.10**

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I:\Projects\2022\1522 UR Office of Capital Projects Relocation\Working Dwg\1522 FP2.10.dwg, By: OCE, PLOTTED: Sep 24, 2024 - 10:41am



**FP SECOND FLOOR PLAN**  
1/8" = 1'-0"

**Tecton**  
ARCHITECTS

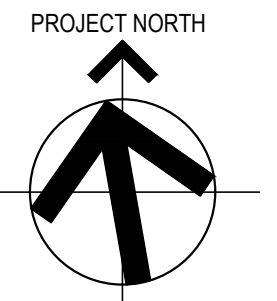
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**UNIVERSITY OF RHODE ISLAND**  
KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#:  
KC.G.210F.2022.001



Seals  
**CONSTRUCTION DOCUMENTS**  
WILLIAM M. GENDRON  
No. 6882  
REGISTERED PROFESSIONAL ENGINEER MECHANICAL  
*[Signature]*

Issues / Revisions

No.	Date	Description
1	09/15/2023	CONSTRUCTION DOCUMENTS
2	09/26/2024	CONSTRUCTION DOCS R1

Drawing Title  
**FIRE PROTECTION SECOND FLOOR PLAN**

Project Manager:	SPQ	Project No:	UR172IN
Project Architect:	SPQ	Production Leader:	SPQ
Project Designer:	SPQ	Peer Reviewer:	SPQ

Drawing Number  
**FP2.10**

## PLUMBING FIXTURE SCHEDULE

MARK	SERVICE	MANUFACTURER	MODEL	WASTE (SS)	VENT	DCW	DHW	REMARKS
S-1	KITCHEN SINK	BLANCO	QUATRUS R0 ADA	2"	1-1/2"	-	-	1,2,3
F-1	KITCHEN SINK FAUCET	KOHLER	K-24982-CP	-	-	1/2"	1/2"	1,2,4

### REMARKS:

- ALL FIXTURES TO BE PROVIDED BY PLUMBING CONTRACTOR AND COMPLETE WITH ACCESSORIES, STOPS, AND P-TRAPS.
- REFER TO ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING LOCATION AND ELEVATION.
- STAINLESS STEEL SATIN BRUSHED UNDERMOUNT SINK. FURNISH WITH BASKET STRAINER, STRAINER COVER, AND SINK CLIPS.
- SINGLE HOLE SEMI-PROFESSIONAL FAUCET FURNISHED WITH COATED HOSE, REMOVABLE COIL, AND THREE-FUNCTION SPRAY HEAD.

### PLUMBING LEGEND

	SS	SANITARY SEWER PIPING
	PW	PUMPED WASTE
	VENT	VENT PIPING
	DCW	COLD WATER
	DHW	HOT WATER
	CO	CLEANOUT
		GATE VALVE
		BALL VALVE
		BALANCING VALVE
		CHECK VALVE
		GAS COCK
	FD	FLOOR DRAIN
	FS	FLOOR SINK
		CLEANOUT
		FLUSH FLOOR CLEANOUT
		DROP
	VTR	VENT THROUGH ROOF

### GENERAL NOTES

- GENERAL NOTES, SYMBOLS LIST AND DETAILS ARE APPLICABLE TO ALL PLUMBING DRAWINGS.
- DRAWINGS ARE DIAGRAMMATIC. DETERMINE LOCATIONS OF SYSTEMS AND COMPONENTS IN FIELD.
- DIMENSIONS SHOWN ON PLAN ARE HORIZONTAL. DIMENSIONS SHOWN IN ELEVATION ARE VERTICAL.
- DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES IN FIELD, WHETHER OR NOT SHOWN ON DRAWINGS. EXERCISE CAUTION AND IDENTIFY LOCATIONS OF UNMARKED UTILITY LINES AS NECESSARY TO PERFORM WORK OF THIS SECTION.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LATEST PLUMBING CODE AND ALL APPLICABLE LOCAL CODES.
- IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO COORDINATE THE WORK WITH THAT OF ALL OTHER TRADES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, HVAC, PLUMBING, STRUCTURAL AND GENERAL ARCHITECTURE.
- ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE, AND SHALL BE RESOLVED PRIOR TO THE INSTALLATION OF THE WORK.
- ALL PIPING PENETRATING CEILINGS AND WALLS SHALL BE INSTALLED WITH ESCUTCHEONS AT THE PENETRATION. ALL PIPING PENETRATING EXTERIOR WALLS AND ROOFS SHALL BE FLASHED IN AN APPROVED MANNER AND SHALL BE SEALED WEATHERTIGHT. PIPING PENETRATING FIRE RATED PARTITIONS SHALL BE PROVIDED WITH FIRE RATED SEALS AS REQUIRED BY LOCAL CODE AUTHORITY.
- MANUFACTURERS' MODEL NUMBERS ARE SPECIFIED SOLELY TO ESTABLISH STANDARDS OF QUALITY FOR PERFORMANCE AND MATERIALS.
- INSTALLATION SHALL ADHERE TO MANUFACTURERS' RECOMMENDATIONS.
- PROVIDE ACCESS PANELS TO SYSTEM COMPONENTS THAT ARE CONCEALED AND REQUIRE PERIODIC SERVICE.
- PROVIDE SHUTOFF VALVES ON ALL BRANCH PIPING AND ON ALL SUPPLIES TO INDIVIDUAL FIXTURES AND EQUIPMENT. PROVIDE BALL VALVES ON ALL WATER MAIN BRANCHES IN CORRIDORS AND WHERE INDICATED ON DRAWINGS.
- PROVIDE CLAMPS, OFFSETS, EXPANSION JOINTS, ANCHORS AND GUIDES AS NEEDED TO PREVENT STRESS ON PIPING.
- PROVIDE VENTS AT HIGH POINTS IN PIPING SYSTEMS AND DRAIN VALVES AT LOW POINTS.
- PITCH PRESSURE PIPING IN DIRECTION OF FLOW.
- VERIFY EXACT SIZES, LOCATIONS, INVERTS AND ELEVATIONS PRIOR TO RUNNING ANY PIPING. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL FIXTURES AND EQUIPMENT.

## GENERAL DRAWING NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, AND CLEARANCES REQUIRED PRIOR TO ORDERING NEW EQUIPMENT.
- ALL EXISTING EQUIPMENT, PIPING, ELECTRICAL, AND STRUCTURAL COMPONENTS ARE NOT ILLUSTRATED ON DRAWINGS. FIELD VERIFY ADDITIONAL MISCELLANEOUS COORDINATION FOR REMOVAL OR RELOCATION NECESSARY TO COMPLETE THE INSTALLATION OF NEW WORK.
- COORDINATE ALL EQUIPMENT SHUTDOWNS WITH OWNER.
- CONTRACTOR SHALL FIELD VERIFY THE STRUCTURAL INTEGRITY OF ALL EXISTING DUCTWORK AND PIPING TO BE REUSED. REPORT ANY OBSERVED DEFICIENCIES TO ENGINEER AND OWNER FOR REVIEW.

## KEYNOTE LEGEND

- CONNECT NEW 1/2"DCW&DHW TO EXISTING 2"DCW&DHW MAIN. CONNECT NEW 2"SS TO EXISTING 2"SS LOCATED ABOVE LEVEL 1 CEILING, BELOW. CONNECT NEW 1-1/2"V TO EXISTING VENT.

# Tecton

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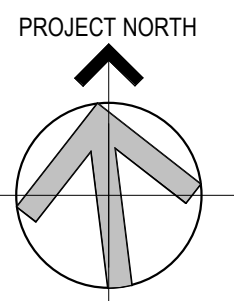
**UNIVERSITY OF RHODE ISLAND**

KINGSTON, RI 02881

Project

**FACILITIES GROUP  
SPACE EFFICIENCY  
STUDY AND  
RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND



Seals

**CONSTRUCTION DOCUMENTS**



*Paul J. Banks*

Issues / Revisions

No.	Date	Description
1	08/15/2023	CONSTRUCTION DOCUMENTS
2	09/26/2024	CONSTRUCTION DOCUMENTS

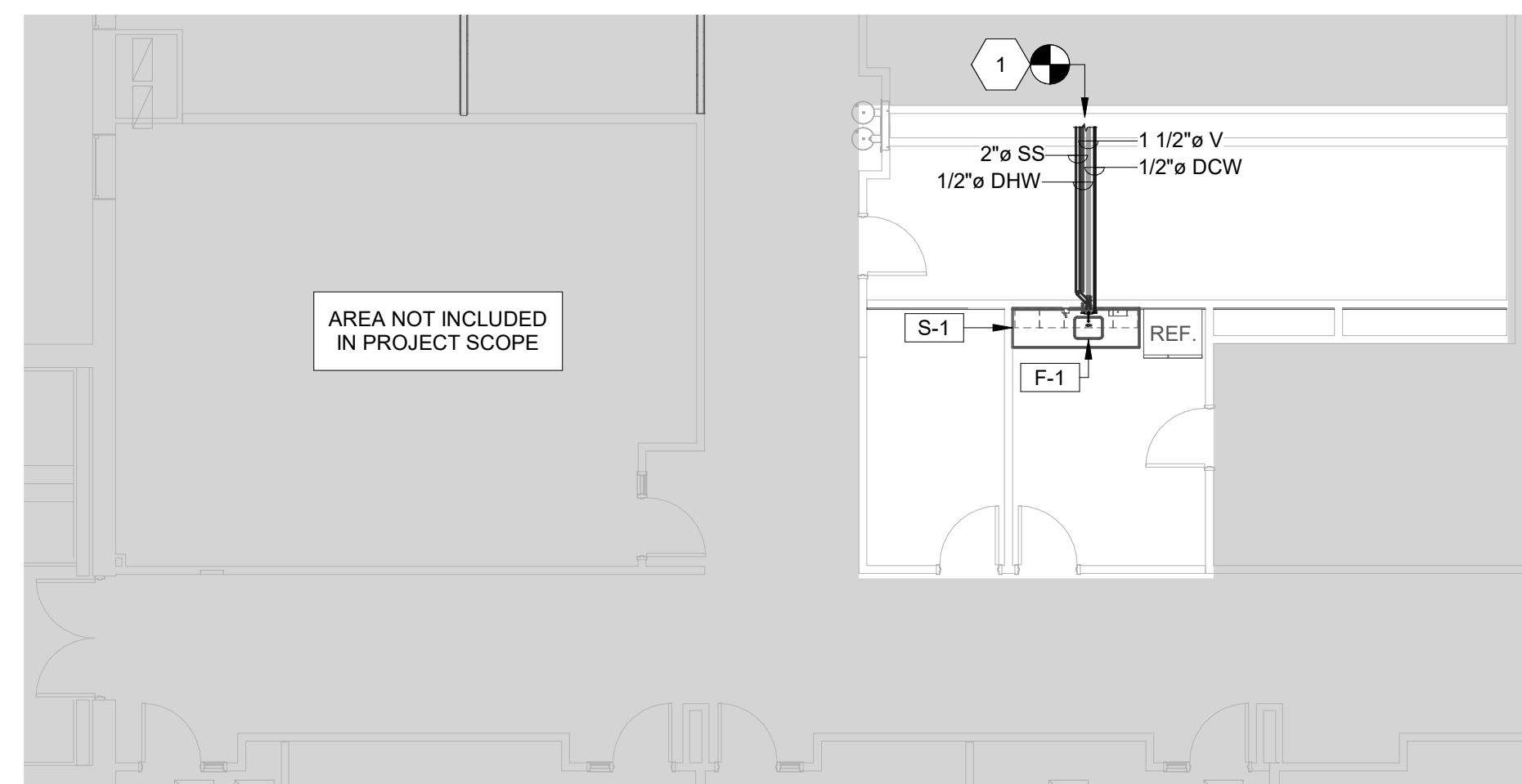
Drawing Title

**SECOND FLOOR  
PLUMBING NEW  
WORK PLAN**

Project Manager:	JB	Project No:	UR172IN
Project Architect:	JB	Production Leader:	JB
Project Designer:	SH	Peer Reviewer:	PB

Drawing Number

**P1.00**



**1 SECOND FLOOR PLUMBING NEW WORK PLAN**

1/8" = 1'-0"





### GENERAL DRAWING NOTES

- 1 CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, AND CLEARANCES REQUIRED PRIOR TO ORDERING NEW EQUIPMENT.
- 2 ALL EXISTING EQUIPMENT, PIPING, ELECTRICAL, AND STRUCTURAL COMPONENTS ARE NOT ILLUSTRATED ON DRAWINGS. FIELD VERIFY ADDITIONAL MISCELLANEOUS COORDINATION FOR REMOVAL OR RELOCATION NECESSARY TO COMPLETE THE INSTALLATION OF NEW WORK.
- 3 COORDINATE ALL EQUIPMENT SHUTDOWNS WITH OWNER.
- 4 CONTRACTOR SHALL FIELD VERIFY THE STRUCTURAL INTEGRITY OF ALL EXISTING DUCTWORK AND PIPING TO BE REUSED. REPORT ANY OBSERVED DEFICIENCIES TO ENGINEER AND OWNER FOR REVIEW.

### KEYNOTE LEGEND

- 1 SA&RA UP TO EXISTING RTU-11 LOCATED ON ROOF LEVEL ABOVE.
- 2 SA FROM EXISTING RTU-13.
- 3 SA&RA UP TO EXISTING RTU-1 LOCATED ON ROOF LEVEL ABOVE.
- 4 SA&RA UP TO EXISTING RTU-12 LOCATED ON ROOF LEVEL ABOVE.
- 5 SA&RA UP TO EXISTING RTU-2 LOCATED ON ROOF LEVEL ABOVE.
- 6 EXISTING SUPPLY AIR GRILLE TO BE RELOCATED. SAVE FOR REUSE.

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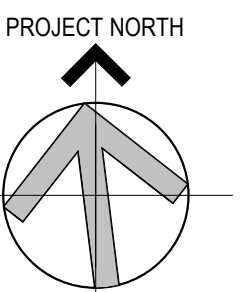
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KINGSTON, RI 02881

Project

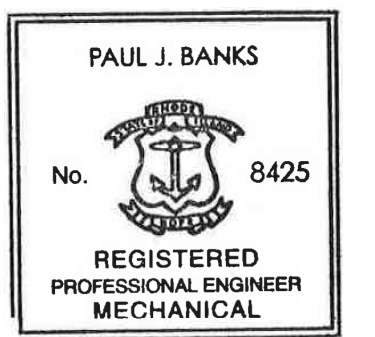
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SPACE EFFICIENCY  
STUDY AND  
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KINGSTON, RHODE ISLAND



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**CONSTRUCTION DOCUMENTS**



*Paul J. Banks*

Issues / Revisions

No.	Date	Description
1	08/15/2023	CONSTRUCTION DOCUMENTS
2	09/26/2024	CONSTRUCTION DOCUMENTS

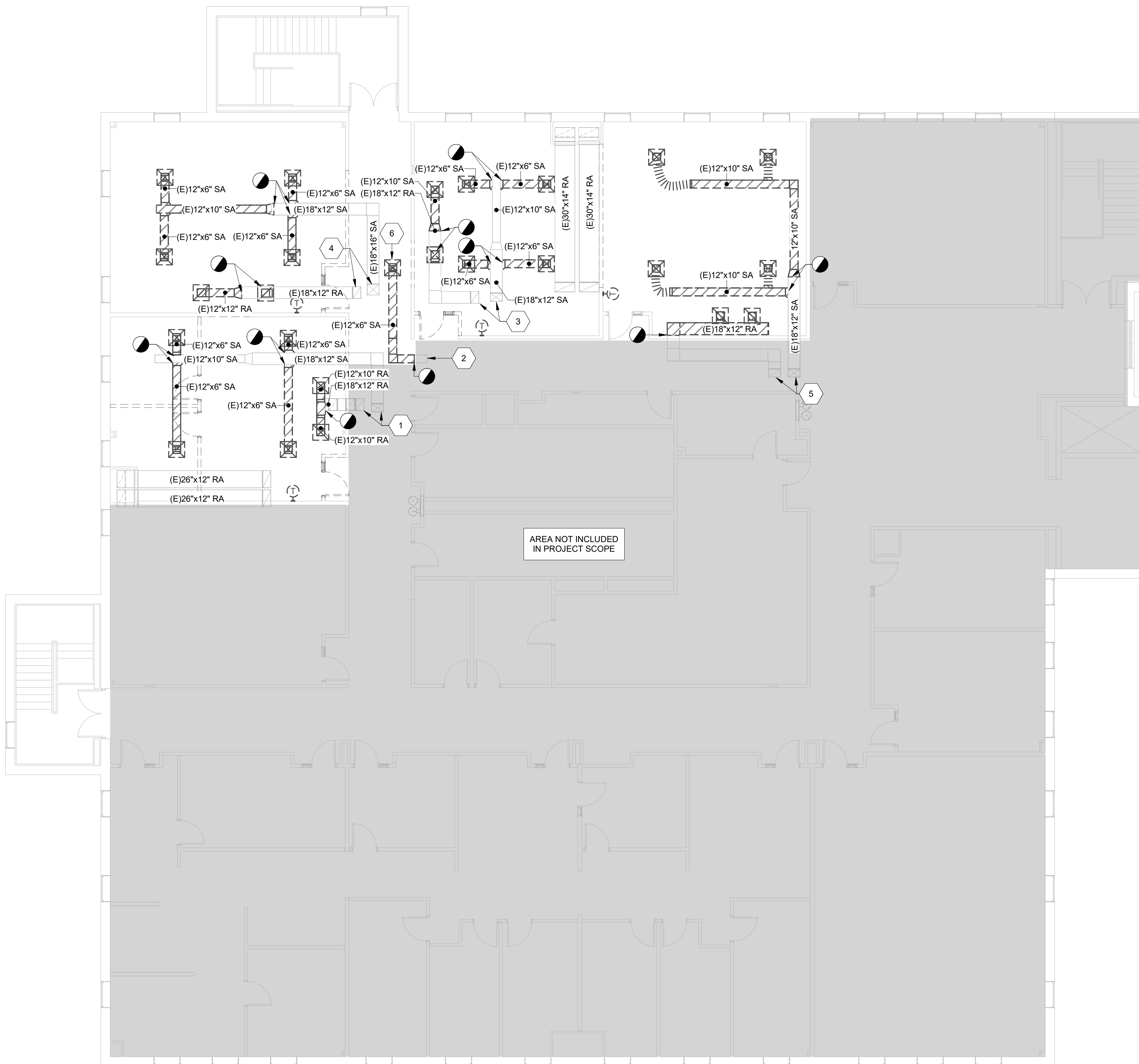
Drawing Title

**SECOND FLOOR  
MECHANICAL  
DEMOLITION  
PLAN**

Project Manager:	JB	Project No:	URI72IN
Project Architect:	JB	Production Leader:	JB
Project Designer:	SH	Peer Reviewer:	PB

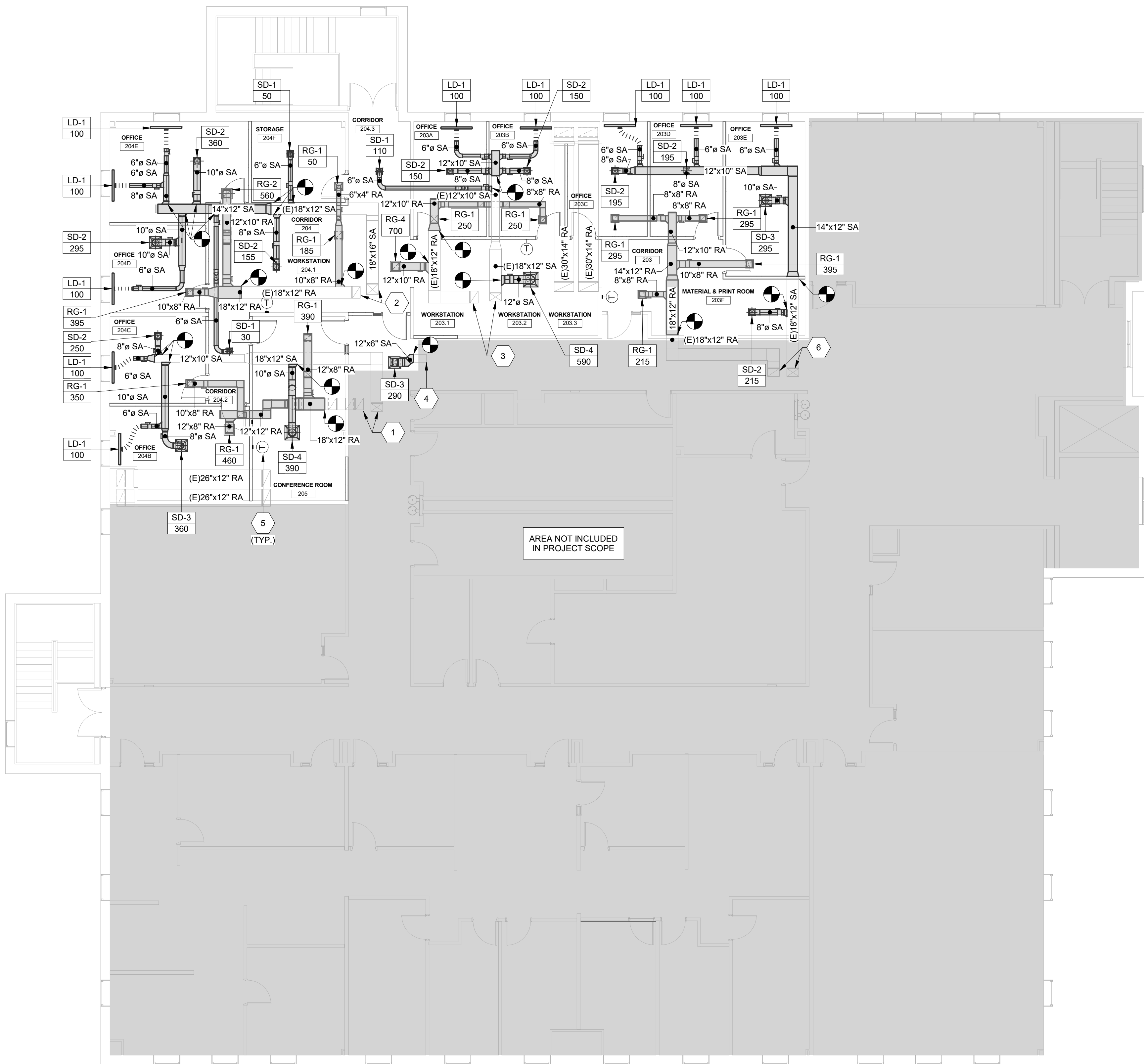
Drawing Number

**MD1.00**



**1 SECOND FLOOR MECHANICAL DEMOLITION PLAN**  
1/8" = 1'-0"

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### GENERAL DRAWING NOTES

- 1 CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, AND CLEARANCES REQUIRED PRIOR TO ORDERING NEW EQUIPMENT.
- 2 ALL EXISTING EQUIPMENT, PIPING, ELECTRICAL, AND STRUCTURAL COMPONENTS ARE NOT ILLUSTRATED ON DRAWINGS. FIELD VERIFY ADDITIONAL MISCELLANEOUS COORDINATION FOR REMOVAL OR RELOCATION NECESSARY TO COMPLETE THE INSTALLATION OF NEW WORK.
- 3 COORDINATE ALL EQUIPMENT SHUTDOWNS WITH OWNER.
- 4 CONTRACTOR SHALL FIELD VERIFY THE STRUCTURAL INTEGRITY OF ALL EXISTING DUCTWORK AND PIPING TO BE REUSED. REPORT ANY OBSERVED DEFICIENCIES TO ENGINEER AND OWNER FOR REVIEW.

### KEYNOTE LEGEND

- 1 SA&RA UP TO EXISTING RTU-11 LOCATED ON ROOF LEVEL ABOVE. RE-BALANCE MINIMUM OUTSIDE AIR TO 130-CFM.
- 2 SA&RA UP TO EXISTING RTU-12 LOCATED ON ROOF LEVEL ABOVE. RE-BALANCE MINIMUM OUTSIDE AIR TO 95-CFM.
- 3 SA&RA UP TO EXISTING RTU-1 LOCATED ON ROOF LEVEL ABOVE. RE-BALANCE MINIMUM OUTSIDE AIR TO 105-CFM.
- 4 SA FROM EXISTING RTU-13.
- 5 PROVIDE NEW TRANE PROGRAMMABLE THERMOSTAT AND CONNECT TO EXISTING RTU SERVING EACH ZONE. EXISTING CO2 SENSOR WITHIN UNIT AND OUTSIDE AIR CONTROL TO REMAIN.
- 6 SA&RA UP TO EXISTING RTU-2 LOCATED ON ROOF LEVEL ABOVE. RE-BALANCE MINIMUM OUTSIDE AIR TO 105-CFM.



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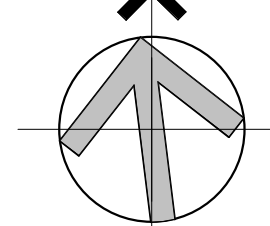
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Project

**FACILITIES GROUP  
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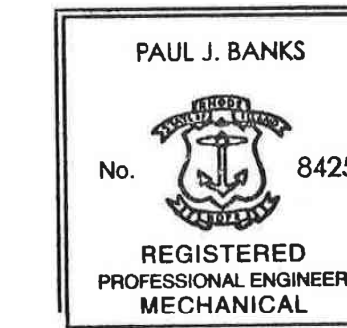
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PROJECT NORTH



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*Paul J. Banks*

Issues / Revisions

No.	Date	Description
1	08/15/2023	CONSTRUCTION DOCUMENTS
2	09/26/2024	CONSTRUCTION DOCUMENTS

Drawing Title

**SECOND FLOOR  
MECHANICAL  
NEW WORK  
PLAN**

Project Manager:	JB	Project No:	URI72IN
Project Architect:	JB	Production Leader:	JB
Project Designer:	SH	Peer Reviewer:	PB

Drawing Number

**M1.00**

1 SECOND FLOOR MECHANICAL NEW WORK PLAN  
1/8" = 1'-0"

## GRILLE, REGISTER, & DIFFUSER SCHEDULE

MARK	TYPE	MANUFACTURER	MODEL	MAX AIRFLOW (CFM)	MOUNTING	INLET SIZE (IN.)	SLOT NUMBER, WIDTH	FACE SIZE (LxW) (IN.)	STATIC PRESSURE DROP (IN. WG.)	THROW	MAX NOISE CRITERIA	REMARKS
SD-1	SUPPLY DIFFUSER	PRICE	SCDA	140	LAY IN	6	-	12x12	0.082	4-6-9	18	1,2,3
SD-2	SUPPLY DIFFUSER	PRICE	SCDA	280	LAY IN	8	-	12x12	0.152	6-9-13	28	1,2,3
SD-3	SUPPLY DIFFUSER	PRICE	SCDA	350	LAY IN	8	-	20x20	0.118	4-7-10	25	1,2,3
SD-4	SUPPLY DIFFUSER	PRICE	SCDA	630	LAY IN	12	-	24x24	0.112	5-8-13	26	1,2,3
LD-1	LINEAR DIFFUSER	PRICE	SDS	100	SDB	6	2, 1/2	48	0.05	10-12-16	-	1,2,3
RG-1	RETURN GRILLE	PRICE	535	455	LAY IN	-	-	12x12	0.9	-	26	1,2,3
RG-2	RETURN GRILLE	PRICE	535	800	LAY IN	-	-	16x16	0.097	-	28	1,2,3

- REMARKS:
- COLOR BY ARCHITECT.
  - PROVIDE TRANSITION AS NECESSARY.
  - PROVIDE WITH ACT BLANK-OFF PLATE AS REQUIRED.

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KINGSTON, RI 02881

Project  
**FACILITIES GROUP SPACE EFFICIENCY STUDY AND RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND

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**CONSTRUCTION DOCUMENTS**

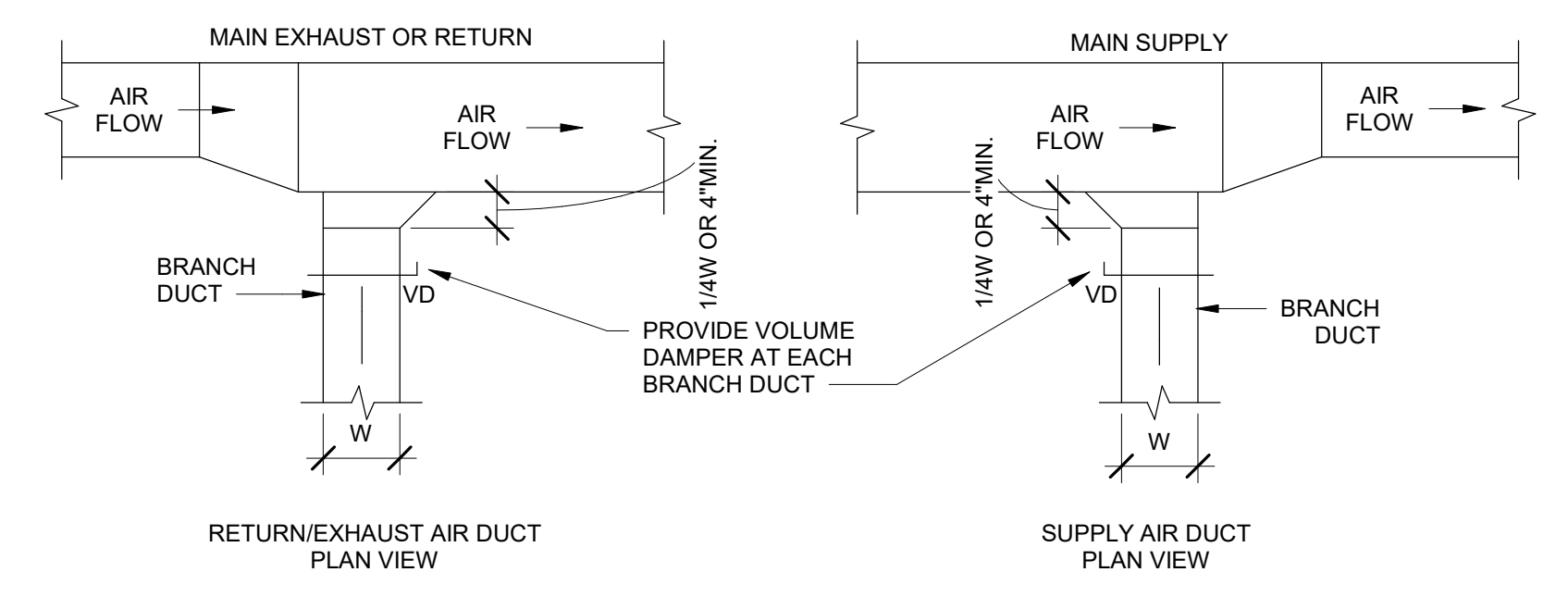


Issues / Revisions	No.	Date	Description
	1	08/15/2023	CONSTRUCTION DOCUMENTS
	2	09/26/2024	CONSTRUCTION DOCUMENTS

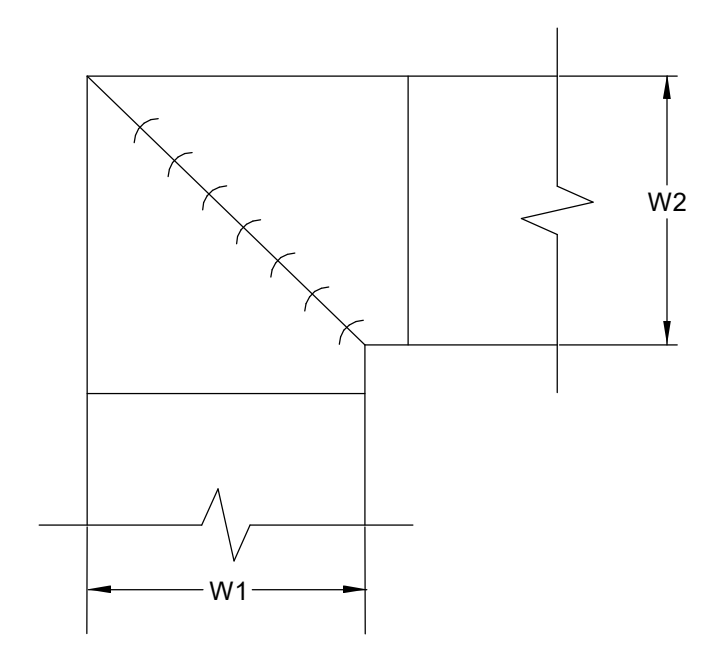
Drawing Title  
**MECHANICAL SCHEDULES & DETAILS**

Project Manager:	JB	Project No:	UR172IN
Project Architect:	JB	Production Leader:	JB
Project Designer:	SH	Peer Reviewer:	PB

Drawing Number  
**M6.00**



1 RECTANGULAR DUCT SUPPLY AIR TAKE-OFF  
NTS

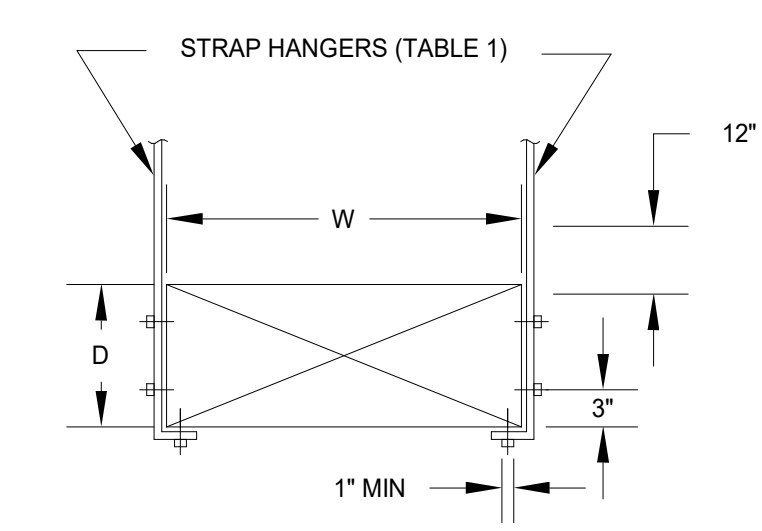


- NOTES:
- ALL VANE ELBOWS SHALL BE CONSTRUCTED AND INSTALLED AS DETAILED BY SMACNA.
  - WHEN W1 DOES NOT EQUAL W2, VANE SHALL BE SINGLE THICKNESS VANE TYPE REGARDLESS OF W DIMENSION.
  - ALL SINGLE THICKNESS VANES SHALL HAVE A 2" RADIUS, 1-1/2" MAXIMUM SPACE BETWEEN VANES AND A 3/4" TRAILING EDGE.
  - WHEN W EQUALS W2 AND W1 IS GREATER THAN 20" VANES SHALL BE DOUBLE VANE TYPE.

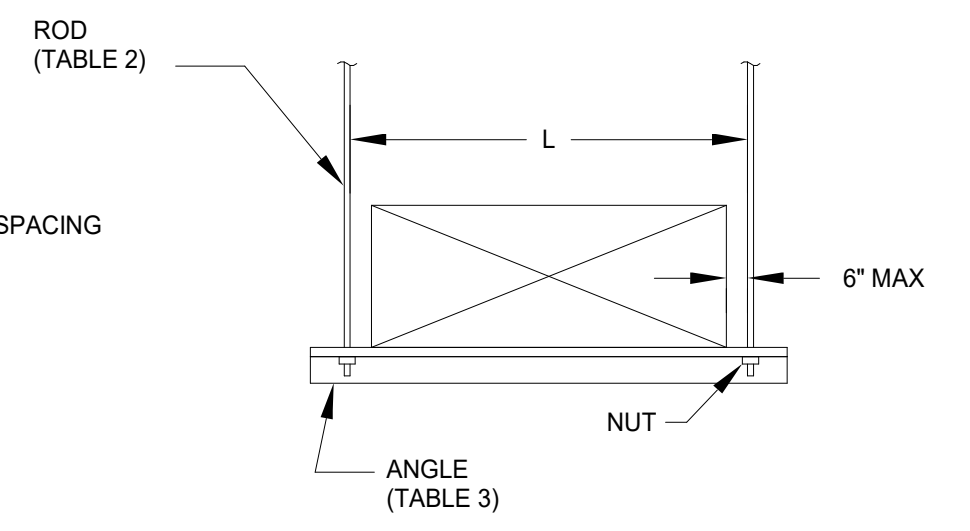
2 DUCTWORK RECTANGULAR VANED ELBOWS  
NTS

CHECKLIST:

- COORDINATE WITH CEILING HEIGHTS



W+D MAX.	8'-0" MAX.
72"	1" X 22 GA
96"	1" X 20 GA
120"	1" X 18 GA
168"	
192"	

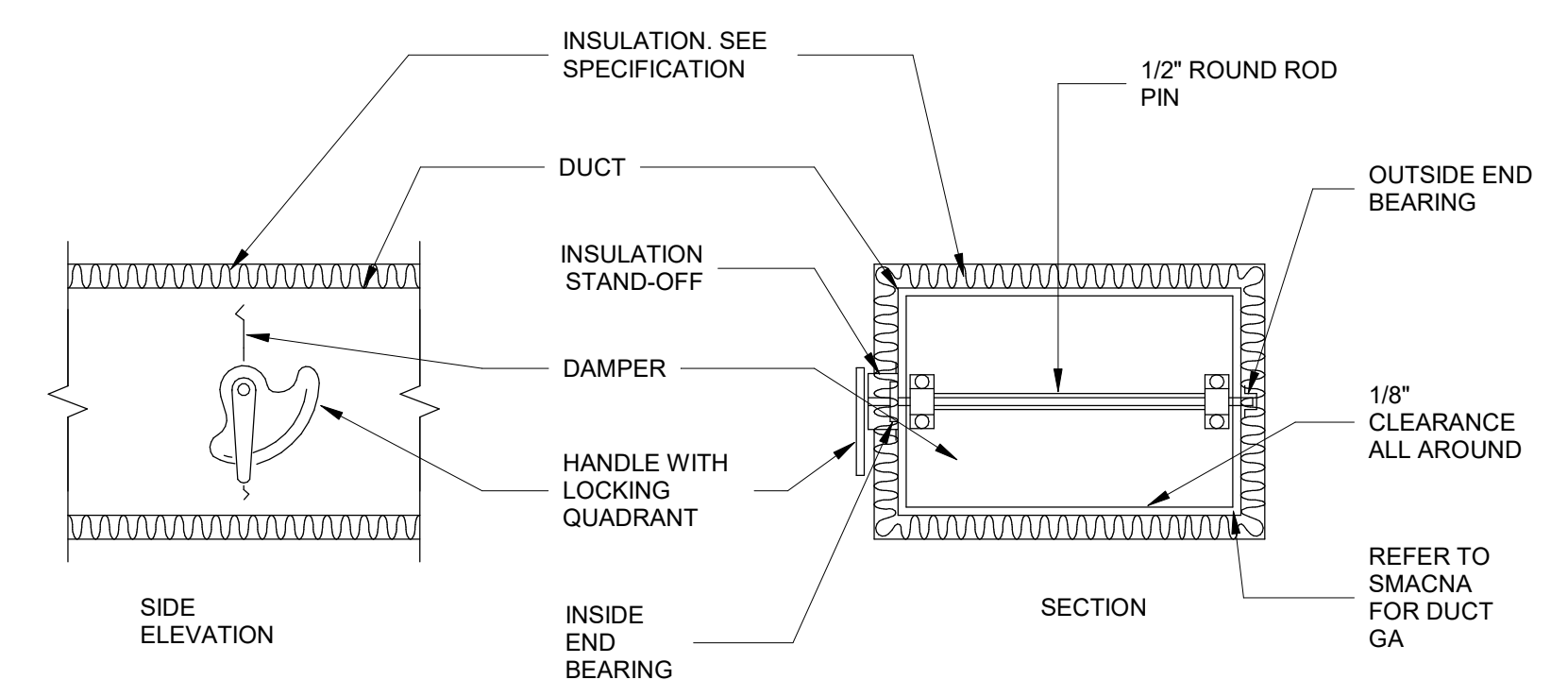


STRAPS	LBS	STRAPS	LBS
2 - 1" X 22 GA	520	2 - 3/8" DIA	360
2 - 1" X 22 GA	640	2 - 3/8" DIA	2500
2 - 1" X 22 GA	840	2 - 3/8" DIA	4000
2 - 1" X 22 GA	1400	2 - 3/8" DIA	6000

L	2" X 2" X 1/4"	2 1/2" X 2 1/2" X 1/4"
36"	1200 LBS	1940 LBS
48"	1160 LBS	1900 LBS
60"	1060 LBS	1800 LBS
72"	900 LBS	1640 LBS
84"	660 LBS	1400 LBS
96"	320 LBS	1060 LBS

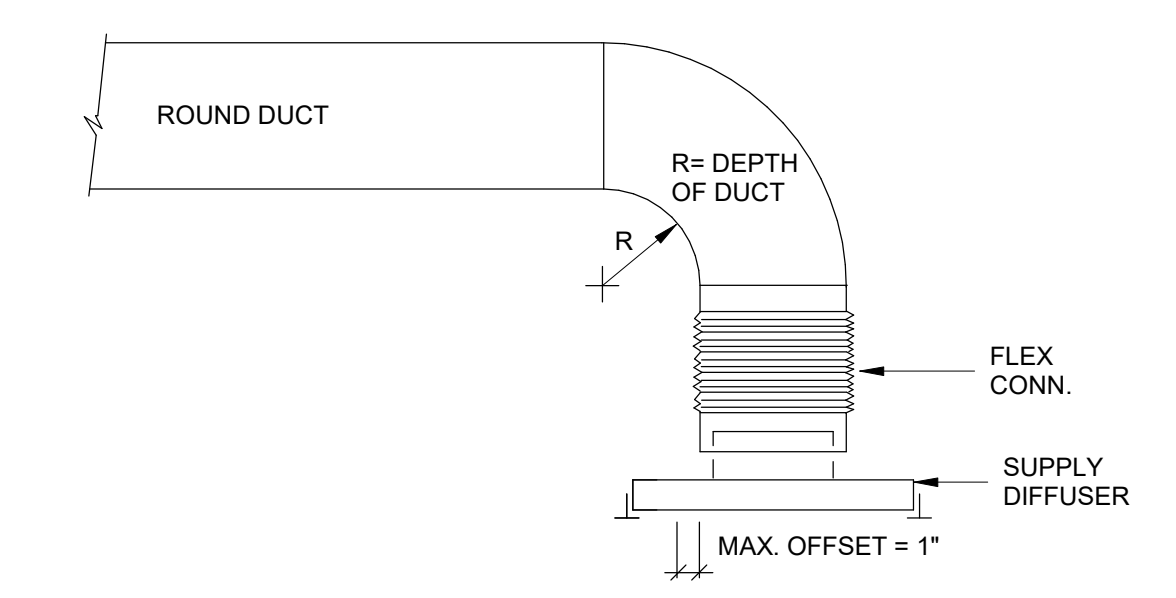
- NOTES:
- TABULATED DATA FROM SMACNA ALLOWS FOR DUCT REINFORCING AND INSULATION, BUT NO EXTERNAL LOAD.
  - PROVIDE HIGH DENSITY INSERT AT TRAPEZE FOR INSULATED DUCTS.
  - NO PIPING OR ELECTRIC CONDUIT SHALL BE HUNG FROM THE DUCTWORK.

3 RECTANGULAR DUCT HANGERS  
NTS



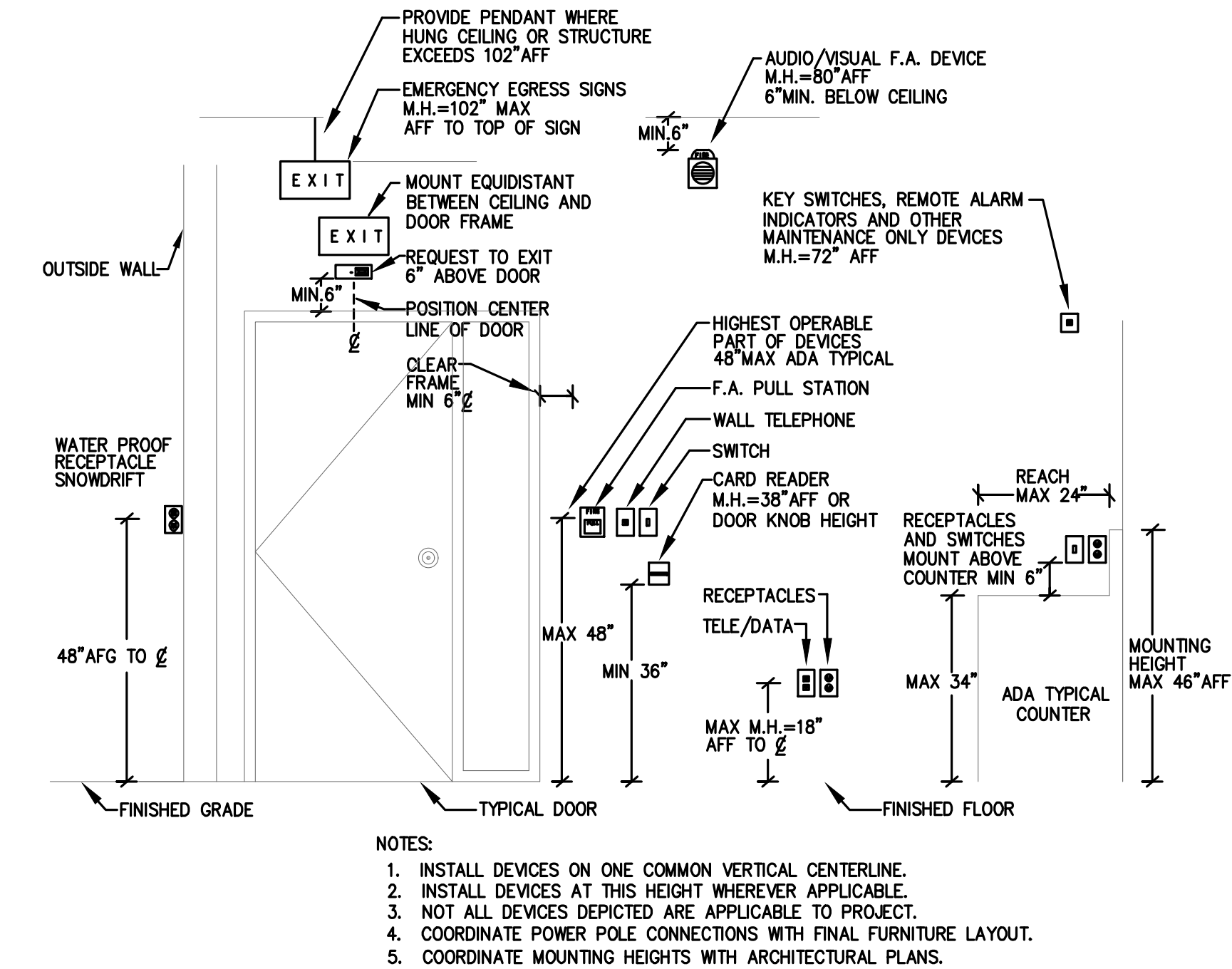
- NOTES:
- DELETE INSULATION STAND-OFF ON DUCTWORK WITHOUT EXTERIOR.
  - DETAIL SHOWS SINGLE BLADE DAMPER. DAMPER INSTALLATION SHALL BE SIMILAR FOR MULTI-BLADE DAMPERS & ROUND.
  - DAMPER MATERIALS SHALL BE EQUIVALENT TO DUCT.
  - REFER TO SMACNA FOR ADDITIONAL REQUIREMENTS.

6 DUCT VOLUME DAMPERS  
NTS



- NOTES:
- THESE DETAILS ALLOW DUCTWORK TO BE PROVIDED BEFORE CEILING GRID IS INSTALLED THEN DIFFUSER/REGISTER CAN BE POSITIONED.
  - PROVIDE INSULATED TRANSITION ROUND TO SQUARE IF REQUIRED AT DIFFUSER.
  - PROVIDE NYLON TY-WRAP TOOL OR REUSEABLE SS DRAW BAND PER SPECS.
  - FLEX DUCT SHALL NOT HAVE MORE THAN 1/2" SAG PER FOOT.
  - LENGTH OF FLEX DUCT SHALL NOT EXCEED 3'-0".
  - PROVIDE DUCT MOUNTED VOLUME DAMPER WHENEVER POSSIBLE. TRY TO AVOID NECK DAMPERS.

5 SUPPLY DIFFUSER CONNECTION  
NTS



TYPICAL DEVICE MOUNTING HEIGHTS

- NOTES:
1. INSTALL DEVICES ON ONE COMMON VERTICAL CENTERLINE.
2. INSTALL DEVICES AT THIS HEIGHT WHEREVER APPLICABLE.
3. NOT ALL DEVICES DEPICTED ARE APPLICABLE TO PROJECT.
4. COORDINATE POWER POLE CONNECTIONS WITH FINAL FURNITURE LAYOUT.
5. COORDINATE MOUNTING HEIGHTS WITH ARCHITECTURAL PLANS.

Table with columns: TYPE DESCRIPTION, LAMP TYPE, VOLTAGE, MANUFACTURER. Includes rows for EXIT SIGN WITH DUEL HEAD INTERIOR WITH BATTERY BACKUP REMOTE CAPABLE and 2X2 TROFFER.

BRANCH CIRCUIT FEEDER SCHEDULE table with columns: BREAKER SIZE, CONDUCTORS-CONDUIT SIZE (+), and three columns for conductor/duit configurations (e.g., 1Ø, 3Ø, 3W, 3Ø, 4W).

- NOTES:
1. CONDUCTOR/CONDUIT SIZE SHALL CORRESPOND WITH ASSOCIATED BREAKER SIZE UNLESS OTHERWISE INDICATED ON ONE LINE DIAGRAM(S).
2. WHEN MORE THAN THREE CURRENT CARRYING CONDUCTORS ARE INSTALLED IN A TRADE SIZE CONDUIT, CONDUCTOR AMPACITY RATING SHALL BE REDUCED TO THE PERCENTAGES LISTED IN N.E.C. ARTICLE 310-15, TABLE 8(A).

DESIGN INTENT: THE DESIGN INTENT FOR THIS PROJECT IS TO PROVIDE OCCUPANT WITH EFFICIENT CODE COMPLIANT LIGHTING, MAINTENANCE RECEPTACLES, FIRE ALARM SYSTEM AND EQUIPMENT CONNECTIONS FOR A RENOVATED OFFICE IN AN EXISTING SPACE. BASIS OF DESIGN: ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE STATE CODES. SPECIFICATIONS, LOCAL AND STATE ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS. STATE CODES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: NATIONAL ELECTRICAL CODE 2020 NFPA 70 RHODE ISLAND ELECTRICAL CODE INTERNATIONAL BUILDING CODE INTERNATIONAL ENERGY CONSERVATION CODE NFPA 101 LIFE SAFETY CODE ALL SPECIFIED LIGHTING LEVELS SHALL BE COMPLIANT WITH THE INTERNATIONAL ENERGY CONSERVATION IECC - MANDATED LIGHTING LEVELS

- LEGEND
JUNCTION BOX
XXAS NON-FUSIBLE DISCONNECT SWITCH (M.H.=4'-0" AFF TO Ⓔ)
FLUSH MOUNTED PANELBOARD 120/208 VOLT
SURFACE MOUNTED PANELBOARD 120/208 VOLT
FLUSH MOUNTED PANELBOARD 277/480 VOLT
SURFACE MOUNTED PANELBOARD 277/480 VOLT
DUPLX RECEPTACLE 125 VOLT, 2 POLE, 3 WIRE, 20 AMP (M.H.=1'-6" AFF TO Ⓔ)
C DENOTES COUNTER HEIGHT MOUNTED (M.H.=6" ABOVE COUNTER, MAXIMUM 3'-6" AFF) COORDINATE WITH ARCHITECT
DOUBLE DUPLEX RECEPTACLE 125 VOLT, 2 POLE, 3 WIRE, 20 AMP WITH GROUND FAULT INTERRUPTER
MOUNTING HEIGHT MAX 46" AFF
DUPLX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER (M.H.=1'-6" AFF TO Ⓔ)
WP DENOTES WEATHERPROOF
C DENOTES COUNTER HEIGHT MOUNTED (M.H.=6" ABOVE COUNTER, MAXIMUM 3'-6" AFF) COORDINATE WITH ARCHITECT
VOICE & DATA COMMUNICATION OUTLET FLUSH MOUNTED TO WALL, FLOOR OR CEILING. ALL POINTS WILL BE LABELED ON FACEPLATE AND TAGGED AT ORIGIN. EACH SYMBOL REPRESENTS TWO POINTS.
3/4" FIRE RETARDANT PLYWOOD BACKBOARD
T30 DRY TYPE TRANSFORMER - NUMERAL DENOTES RATING
METER SOCKET
WALL MOUNTED VACANCY SENSOR (M.H.=4'-0" AFF TO HIGHEST OPERABLE PART OF DEVICE) DIM DENOTES DIMMER.
CEILING MOUNTED OCCUPANCY SENSOR
EXIT SIGN E- DENOTES FIXTURE TYPE, X - DENOTES CIRCUIT NO. REFER TO DRAWINGS FOR QUANTITY.
LIGHT FIXTURE CONNECTED TO EMERGENCY AND/OR NIGHT LIGHT CIRCUIT.
2X2IGHT FIXTURE RECESSED, SURFACE / PENDANT MOUNT
FX DENOTES FIXTURE TYPE, X DENOTES CIRCUIT NUMBER
y DENOTES SWITCH CONTROL. REFER TO FIXTURE SCHEDULE
EX DENOTES EXISTING

GENERAL NOTES:

- 1. CONFORM TO, THE NATIONAL ELECTRICAL CODE, OSHA AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
2. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AND SUPPLEMENTARY GENERAL CONDITIONS APPLY TO THE ELECTRICAL WORK. EXAMINE THE SPECIFICATIONS AND DRAWINGS OF ALL DISCIPLINES PRIOR TO BID.
3. DRAWINGS SHOW A LAYOUT OF ELECTRICAL SYSTEMS AND EQUIPMENT DIAGRAMMATICALLY. EXACT LOCATION OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE DETERMINED BY FIELD CONDITIONS AND DIRECTION OF THE ENGINEER AND OWNER. BY SUBMITTING A BID, CONTRACTOR WARRANTS THAT A SITE VISIT HAS BEEN MADE, EXISTING CONDITIONS HAVE BEEN EXAMINED AND THAT THE CONTRACTOR UNDERSTANDS THE EXTENT OF LABOR AND MATERIALS REQUIRED FOR PROJECT COMPLETION.
4. THE ELECTRICAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE, BUT NOT BE LIMITED TO ALL ELECTRICAL POWER, LIGHTING AND CONTROL REQUIREMENTS INDICATED.
5. PREPARE AND FILE DOCUMENTS, SECURE PERMITS AND PAY FEES FOR INSPECTIONS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
6. ELECTRICAL CONTRACTOR SHALL NOTIFY ENGINEER (ONE WEEK ADVANCE WRITTEN NOTICE) FOR ROUGH INSPECTION PRIOR TO CLOSING OF WALLS, CEILINGS AND EXCAVATION. PRIOR TO FINAL ACCEPTANCE, THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE ENGINEER AND OPEN PANELBOARDS, JUNCTION BOXES, HAND HOLES, CONTROL PANELS, ETC., AS NECESSARY FOR THE INSPECTION OF EQUIPMENT, WIRING AND TERMINATIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE LABOR AND TESTING EQUIPMENT TO DEMONSTRATE PROPER OPERATION OF ELECTRICAL SYSTEMS TO THE SATISFACTION OF THE ENGINEER.
7. GUARANTEE SYSTEMS FOR ONE YEAR STARTING FROM THE DATE OF FINAL WRITTEN ACCEPTANCE.
8. EQUIPMENT SHOP DRAWING SHALL BE SUBMITTED FOR ENGINEER APPROVAL.
9. PROVIDE THREE BOUND SETS OF OPERATING, MAINTENANCE AND TROUBLESHOOTING MANUALS, INCLUDING UPDATED COPIES OF ALL APPROVED SHOP DRAWINGS.
10. UNLESS OTHERWISE NOTED, THE ELECTRICAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO FURNISH AND INSTALL THE FOLLOWING: PANELBOARDS, CIRCUIT BREAKERS, FEEDERS, WIRING AND DEVICES, RACEWAYS, LIGHT FIXTURES (COMPLETE) AND CONNECTION NECESSARY TO OPERATE MOTORS AND OTHER EQUIPMENT. SPARE SLOTS IN EXISTING ELECTRICAL PANELS ARE TO BE UTILIZED AND LOADING CONFIRMED.
11. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE ELECTRICAL WORK COMPLETE AND READY FOR OPERATION.
12. THE ELECTRICAL CONTRACTOR SHALL USE CAUTION TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.
13. WORK NOT INCLUDED: TEMPERATURE AND HVAC CONTROL WIRING.
14. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL CODE REQUIRED STARTERS AND DISCONNECTS WHICH ARE NOT FURNISHED BY THE HVAC OR PLUMBING CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE HVAC AND PLUMBING CONTRACTOR'S AND MANUFACTURER'S SHOP DRAWINGS FOR THE EXACT LOCATIONS AND ROUGHING IN DIMENSIONS OF ALL EQUIPMENT AND SHALL MAKE ALL FINAL POWER CONNECTIONS AS REQUIRED. I.E., POWER, CONTROL, INTERLOCK, ETC.
15. EQUIPMENT FURNISHED BY OTHERS, INSTALLED AND WIRED BY ELECTRICAL CONTRACTOR: MAGNETIC MOTOR STARTERS, OVERCURRENT PROTECTION DEVICES.
16. EQUIPMENT SHALL BE NEW, SPECIFICATION GRADE AND UL LABELED. MATERIAL SPECIFIED IS TO ESTABLISH THE REQUIRED QUALITY. ACCEPTANCE OR REJECTION OF A PROPOSED EQUAL PRODUCT SHALL BE SUBJECT TO THE WRITTEN RESPONSE OF THE ENGINEER.
17. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE 98 PERCENT CONDUCTIVITY, COPPER, MINIMUM #12 AWG SIZE, THWN/THHN WITH DUAL RATED 75/90 DEGREE C INSULATION, 600 VOLTS RATED, UNLESS OTHERWISE NOTED.
18. PROVIDE INSULATED GREEN EQUIPMENT GROUNDING CONDUCTOR THROUGH OUT COMPLETE WITH BONDING. A GROUNDING CONDUCTOR SHALL BE INCLUDED IN EACH RACEWAY OR CABLE, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
19. WIRE, SIZES #12 AWG TO #10 AWG SHALL BE COPPER, 600 VOLT TYPE THHN/THWN INSULATION UNLESS OTHERWISE NOTED. #8 AWG AND LARGER AND UNDERGROUND WIRING AND FEEDERS SHALL HAVE XHHN INSULATION. MINIMUM WIRE SIZE SHALL BE #12 AWG SOLID UNLESS OTHERWISE NOTED. CONNECTORS SHALL BE COLOR CODED TWIST-ON SPRING TYPE FOR WIRE SIZES #10 AWG AND SMALLER. SOLDERLESS MECHANICAL PRESSURE TYPE CONNECTORS SHALL BE USED FOR WIRE SIZES #8 AWG AND LARGER. ALL CABLE SHALL BE COLOR CODED PER EEC.
20. 120 VOLT, 20 AMPERE BRANCH CIRCUITS EXCEEDING 75 FEET AND 277 VOLT 20 AMPERE BRANCH CIRCUITS EXCEEDING 150 FEET FROM PANELBOARD TO THE FIRST OUTLET SHALL BE WIRED WITH #10 AWG WIRE THROUGHOUT.
21. WIRING METHODS:
A. INTERIOR BRANCH CIRCUITS IN PARTITIONS FOR LIGHTING AND RECEPTACLES SHALL BE STEEL METAL CLAD CABLE, TYPE MC.
B. INTERIOR BRANCH CIRCUITS ABOVE HUNG CEILINGS FOR LIGHTING AND RECEPTACLES SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING AND/OR METAL CLAD CABLE, TYPE MC.
C. INTERIOR FEEDERS SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING. EMPTY CONDUIT SYSTEMS SHALL HAVE A NYLON PULL CORD PROVIDED.
D. EQUIPMENT CONNECTIONS SUBJECT TO VIBRATION SHALL BE MADE WITH FLEXIBLE LIQUID TIGHT METAL CONDUIT AND EQUIPMENT GROUND.
E. EXTERIOR BRANCH CIRCUITS SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT.
F. ALL ELECTRICAL WORK SHALL BE RECESSED INTO WALLS OR RUN ABOVE THE HUNG CEILINGS WHERE POSSIBLE.

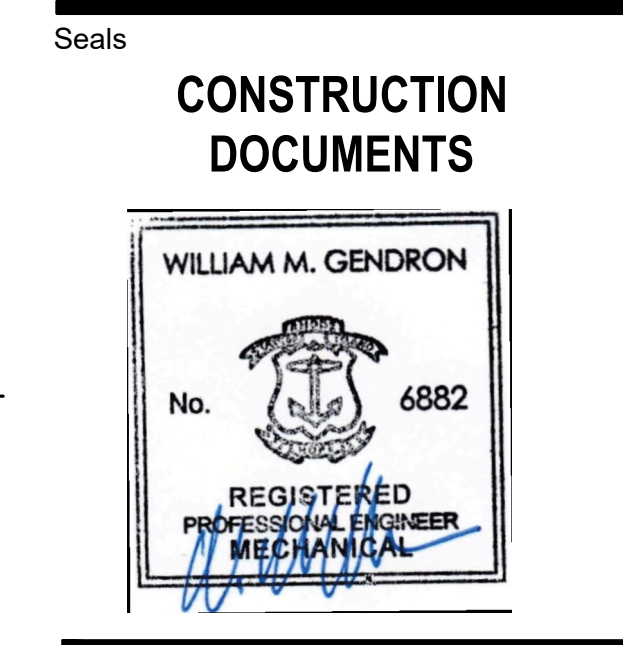
- G. RIGID STEEL CONDUIT AND ELECTRICAL METALLIC TUBING SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE.
H. EXPOSED IN NON-FINISHED ROOMS; I.E. STORAGE ROOMS, MECHANICAL ROOMS, ETC. SHALL BE E.M.T. MINIMUM SIZE 1/2" CONDUIT UNLESS SUBJECT TO INJURY, THEN RIGID STEEL.
I. SET SCREW TYPE FITTINGS MAY BE USED ON CONDUITS OR FLEXIBLE METAL CONDUITS, WHICH ARE SIZED 2" INCH OR LESS.
J. WIRE AND CONDUIT SIZED INDICATED ON HOMERUNS SHALL BE CONTINUOUS THROUGH CIRCUIT.
K. BACK-TO-BACK RECEPTACLES, SWITCHES, TELEPHONE OUTLETS, ETC., WILL NOT BE ACCEPTABLE.
L. MINIMUM CONDUIT OR TUBING SIZE SHALL BE 1/2 INCH.
M. FITTINGS FOR EMT SHALL BE SET SCREW TYPE.
N. EXPOSED RACEWAYS SUBJECT TO PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL CONDUIT.
O. BOXES SHALL BE STEEL, 4 INCH SQUARE MINIMUM. EXTERIOR BOXES SHALL BE CAST TYPE WITH THREADED OPENINGS AND MOUNTING LUGS.
P. WIRING PASSING THROUGH OR TERMINATING IN PENUM SPACES MUST BE PENUM RATED. THIS SHALL INCLUDE ALL WIRING, FEEDERS AND COMMUNICATION/DATA WIRING.
Q. PANELBOARDS AND DISTRIBUTION EQUIPMENT SHALL BE AS SCHEDULED ON THE CONTRACT DRAWINGS. CABINETS SHALL BE CODE GAUGE GALVANIZED STEEL. SURFACE MOUNTED PANELBOARDS SHALL BE PROVIDED WITH TYPEWRITTEN CIRCUIT DIRECTORY BEHIND A CLEAR ACETATE SHEET. CIRCUIT BREAKERS SHALL BE THE THERMAL MAGNETIC TYPE WITH BOLT-ON CONNECTIONS. EQUIPMENT SHALL BE MANUFACTURED BY GENERAL ELECTRIC, SQUARE D, SIEMENS OR APPROVED EQUAL.
R. NAMEPLATES SHALL BE PROVIDED FOR ALL PANELBOARDS AND REMOTE CONTROL DEVICES. NAMEPLATES SHALL BE ENGRAVED PLASTIC, WHITE WITH BLACK LETTERING.
S. GENERAL USE DEVICE PLATES SHALL BE SMOOTH NYLON. WALL PLATES IN UNFINISHED AREA SHALL BE STEEL. PLATES IN TOILET ROOMS SHALL BE STAINLESS STEEL.
T. LIGHT SWITCHES SHALL BE QUIET TOGGLE TYPE RATED 20 AMPERE @ 120/277 VOLT. SWITCHES SHALL BE MANUFACTURED BY HUBBELL, LEVITON OR APPROVED EQUAL. PROVIDE MULTI-GANG PLATES AND BOXES FOR SWITCHES SHOWN IN THE SAME GENERAL LOCATION.
U. DUPLEX RECEPTACLES SHALL BE RATED 20 AMPERE @ 125 VOLT, GROUNDING TYPE. MANUFACTURER SHALL BE HUBBELL, LEVITON OR APPROVED EQUAL.
V. FUSED AND NON-FUSED SAFETY SWITCHES SHALL BE ENCLOSED, HEAVY DUTY TYPE. SWITCHES SHALL BE RATED FOR THE EQUIPMENT SERVED AND CIRCUIT APPLICATION. EXTERIOR SWITCHES SHALL HAVE A NEMA 3R ENCLOSURE. SAFETY SWITCHES AND POWER DISTRIBUTION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER.
W. FUSES SHALL BE DUAL ELEMENT, CURRENT LIMITING, TIME DELAY TYPE AS MANUFACTURED BY GEGAL SHAWMUT.

- 27. COORDINATE WORK WITH ALL TRADES. OBTAIN AND REVIEW SHOP DRAWINGS OF EQUIPMENT REQUIRING ELECTRICAL SERVICE PRIOR TO PURCHASING ELECTRICAL APPARATUS FOR SAME. NOTIFY ENGINEER OF ANY DISCREPANCIES.
28. ELECTRICAL CONTRACTOR SHALL COORDINATE SCHEDULE AND WORK WITH OWNER TO AVOID LOSS OF PRODUCTION TIME. OVERTIME AND OFF-HOUR WORK SHALL BE USED ONLY AT THE OWNER'S DISCRETION.
29. CUTTING, PATCHING AND CORE DRILLING FOR CABLES THAT PASS THROUGH FIRE RATED CONSTRUCTION SHALL BE PART OF THIS SPECIFICATION. FIRE BARRIER SEALING SYSTEM SHALL BE PROVIDED.
30. LIGHT FIXTURES, PULL BOXES AND RACEWAYS SHALL BE INDIVIDUALLY SUPPORTED FROM A STRUCTURAL BUILDING MEMBER. PROVIDE SUPPLEMENTARY STEEL CHANNEL WHERE REQUIRED.
31. WIRING SHALL BE CONCEALED IN FINISHED AREAS. FEEDERS SHALL BE ROUTED HIGH, BELOW THE UNDERSIDE OF STRUCTURE ABOVE, PARALLEL AND PERPENDICULAR TO THE BUILDING STEEL. CONDUIT SHALL BE SUPPORTED USING ZINC COATED STEEL STRAPS, BEAM CLAMPS AND PIPE HANGERS. WALL BRACKETS AND STEEL CHANNEL SUPPORTS SHALL BE FASTENED TO WOOD BY WOOD SCREWS, TOGGLE BOLTS IN MASONRY, POWER DRIVEN STUDS ON CONCRETE AND SELF DRILL SCREWS ON METAL SURFACES.
32. ALL SYSTEMS IN SCOPE SHALL BE TESTED FOR SHORT CIRCUITS AND PROPER GROUND PRIOR TO ENERGIZING. ALL DEFECTS SHALL BE CORRECTED.



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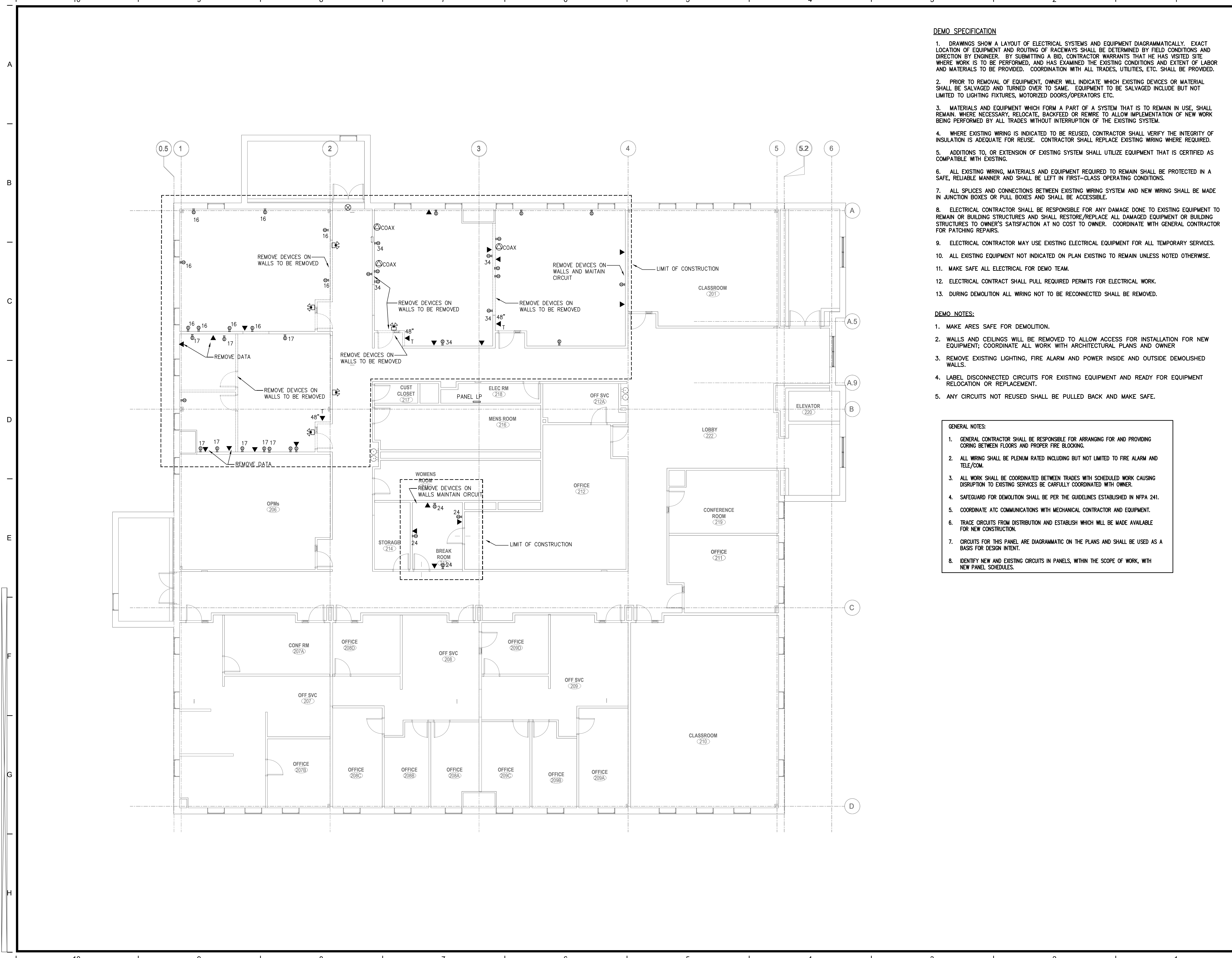
Client/ Contractor UNIVERSITY OF RHODE ISLAND KINGSTON, RI. 02881 Project 210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION 210 FLAGG ROAD KINGSTON, RHODE ISLAND OCP PROJECT ID#: KC.G.210F.2022.001



Issues / Revisions table with columns: No., Date, Description. Includes revision 1 dated 08/15/2023 for CONSTRUCTION DOCUMENTS and revision 2 dated 09/28/2024 for CONSTRUCTION DOCUMENTS.

Drawing Title ELECTRICAL SPECIFICATION AND DETAILS Project Manager: SPQ Project No: UR17ZIN Project Architect: PA Production Leader: SPQ Project Designer: MH Peer Reviewer: MH Drawing Number

E0.01



**DEMO SPECIFICATION**

- DRAWINGS SHOW A LAYOUT OF ELECTRICAL SYSTEMS AND EQUIPMENT DIAGRAMMATICALLY. EXACT LOCATION OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE DETERMINED BY FIELD CONDITIONS AND DIRECTION BY ENGINEER. BY SUBMITTING A BID, CONTRACTOR WARRANTS THAT HE HAS VISITED SITE WHERE WORK IS TO BE PERFORMED, AND HAS EXAMINED THE EXISTING CONDITIONS AND EXTENT OF LABOR AND MATERIALS TO BE PROVIDED. COORDINATION WITH ALL TRADES, UTILITIES, ETC. SHALL BE PROVIDED.
- PRIOR TO REMOVAL OF EQUIPMENT, OWNER WILL INDICATE WHICH EXISTING DEVICES OR MATERIAL SHALL BE SALVAGED AND TURNED OVER TO SAME. EQUIPMENT TO BE SALVAGED INCLUDE BUT NOT LIMITED TO LIGHTING FIXTURES, MOTORIZED DOORS/OPERATORS ETC.
- MATERIALS AND EQUIPMENT WHICH FORM A PART OF A SYSTEM THAT IS TO REMAIN IN USE, SHALL REMAIN. WHERE NECESSARY, RELOCATE, BACKFEED OR REWIRE TO ALLOW IMPLEMENTATION OF NEW WORK BEING PERFORMED BY ALL TRADES WITHOUT INTERRUPTION OF THE EXISTING SYSTEM.
- WHERE EXISTING WIRING IS INDICATED TO BE REUSED, CONTRACTOR SHALL VERIFY THE INTEGRITY OF INSULATION IS ADEQUATE FOR REUSE. CONTRACTOR SHALL REPLACE EXISTING WIRING WHERE REQUIRED.
- ADDITIONS TO, OR EXTENSION OF EXISTING SYSTEM SHALL UTILIZE EQUIPMENT THAT IS CERTIFIED AS COMPATIBLE WITH EXISTING.
- ALL EXISTING WIRING, MATERIALS AND EQUIPMENT REQUIRED TO REMAIN SHALL BE PROTECTED IN A SAFE, RELIABLE MANNER AND SHALL BE LEFT IN FIRST-CLASS OPERATING CONDITIONS.
- ALL SPLICES AND CONNECTIONS BETWEEN EXISTING WIRING SYSTEM AND NEW WIRING SHALL BE MADE IN JUNCTION BOXES OR PULL BOXES AND SHALL BE ACCESSIBLE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING EQUIPMENT TO REMAIN OR BUILDING STRUCTURES AND SHALL RESTORE/REPLACE ALL DAMAGED EQUIPMENT OR BUILDING STRUCTURES TO OWNER'S SATISFACTION AT NO COST TO OWNER. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING REPAIRS.
- ELECTRICAL CONTRACTOR MAY USE EXISTING ELECTRICAL EQUIPMENT FOR ALL TEMPORARY SERVICES.
- ALL EXISTING EQUIPMENT NOT INDICATED ON PLAN EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- MAKE SAFE ALL ELECTRICAL FOR DEMO TEAM.
- ELECTRICAL CONTRACT SHALL PULL REQUIRED PERMITS FOR ELECTRICAL WORK.
- DURING DEMOLITION ALL WIRING NOT TO BE RECONNECTED SHALL BE REMOVED.

**DEMO NOTES:**

- MAKE ARES SAFE FOR DEMOLITION.
- WALLS AND CEILINGS WILL BE REMOVED TO ALLOW ACCESS FOR INSTALLATION FOR NEW EQUIPMENT; COORDINATE ALL WORK WITH ARCHITECTURAL PLANS AND OWNER
- REMOVE EXISTING LIGHTING, FIRE ALARM AND POWER INSIDE AND OUTSIDE DEMOLISHED WALLS.
- LABEL DISCONNECTED CIRCUITS FOR EXISTING EQUIPMENT AND READY FOR EQUIPMENT RELOCATION OR REPLACEMENT.
- ANY CIRCUITS NOT REUSED SHALL BE PULLED BACK AND MAKE SAFE.

**GENERAL NOTES:**

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING FOR AND PROVIDING CORING BETWEEN FLOORS AND PROPER FIRE BLOCKING.
- ALL WIRING SHALL BE PLENUM RATED INCLUDING BUT NOT LIMITED TO FIRE ALARM AND TELE/COM.
- ALL WORK SHALL BE COORDINATED BETWEEN TRADES WITH SCHEDULED WORK CAUSING DISRUPTION TO EXISTING SERVICES BE CAREFULLY COORDINATED WITH OWNER.
- SAFEGUARD FOR DEMOLITION SHALL BE PER THE GUIDELINES ESTABLISHED IN NFPA 241.
- COORDINATE ATC COMMUNICATIONS WITH MECHANICAL CONTRACTOR AND EQUIPMENT.
- TRACE CIRCUITS FROM DISTRIBUTION AND ESTABLISH WHICH WILL BE MADE AVAILABLE FOR NEW CONSTRUCTION.
- CIRCUITS FOR THIS PANEL ARE DIAGRAMMATIC ON THE PLANS AND SHALL BE USED AS A BASIS FOR DESIGN INTENT.
- IDENTIFY NEW AND EXISTING CIRCUITS IN PANELS, WITHIN THE SCOPE OF WORK, WITH NEW PANEL SCHEDULES.



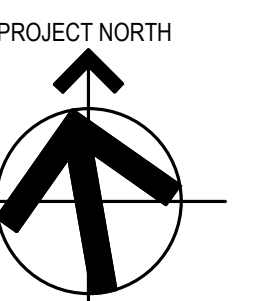
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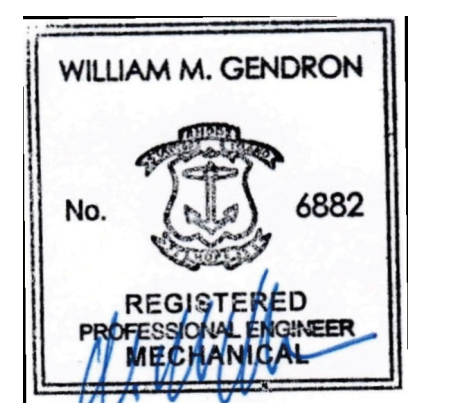
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Project  
**210 FLAGG FACILITIES GROUP SPACE  
ELECTRICAL STUDY & RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#:  
KC.G.210F.2022.001



Seals  
**CONSTRUCTION DOCUMENTS**



Issues / Revisions	
No.	Date
1	09/15/2023
2	09/26/2024

Drawing Title  
**ELECTRICAL  
SECOND FLOOR  
DEMOLITION  
POWER PLAN**

Project Manager: SPQ	Project No: UR172IN
Project Architect: PA	Production Leader: SPQ
Project Designer: MH	Peer Reviewer: MH

Drawing Number  
**E1.00**

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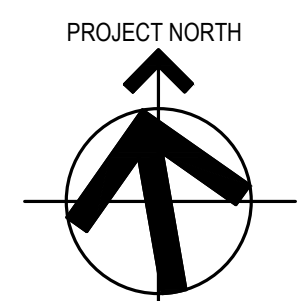
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Project

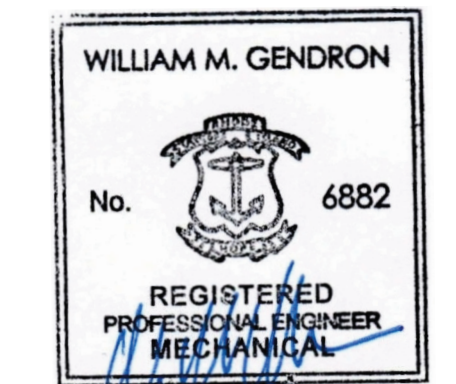
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**

210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#:  
KC.G.210F.2022.001



Seals

**CONSTRUCTION DOCUMENTS**



Issues / Revisions	
No.	Description
1	09/15/2023 CONSTRUCTION DOCUMENTS
2	09/26/2024 CONSTRUCTION DOCUMENTS

Drawing Title

**ELECTRICAL SECOND FLOOR POWER PLAN**

Project Manager:	SPQ	Project No.:	UR172IN
Project Architect:	PA	Production Leader:	SPQ
Project Designer:	MH	Peer Reviewer:	MH

Drawing Number

**E1.10**

**CONTROL NOTES:**

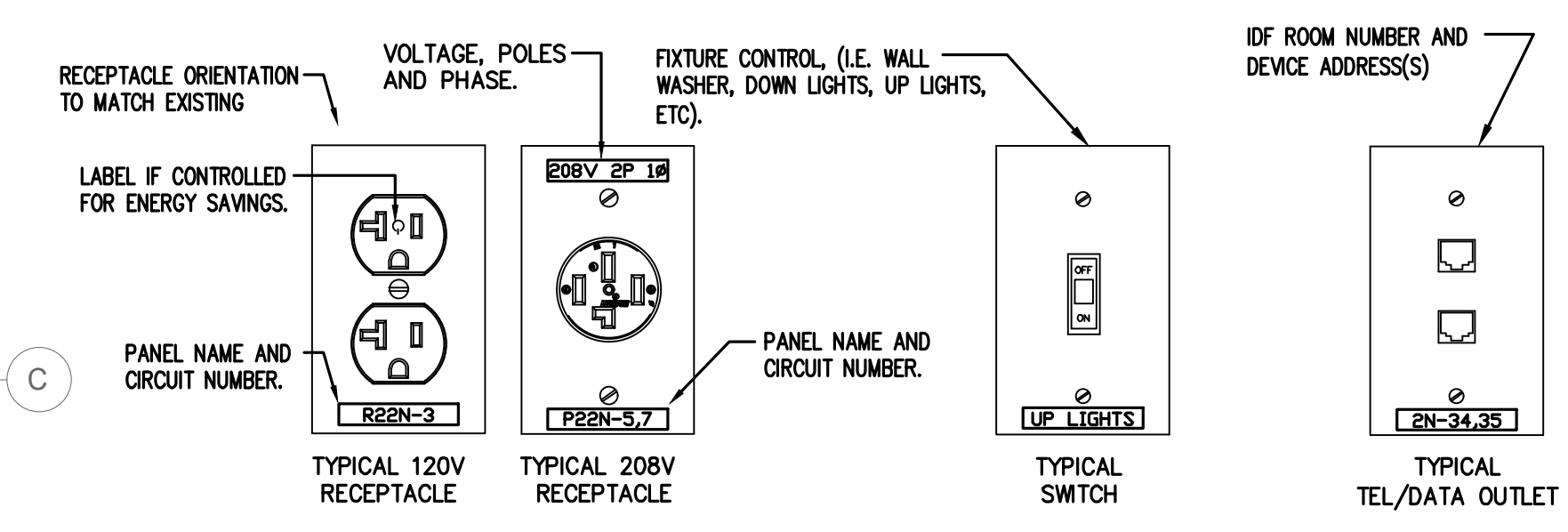
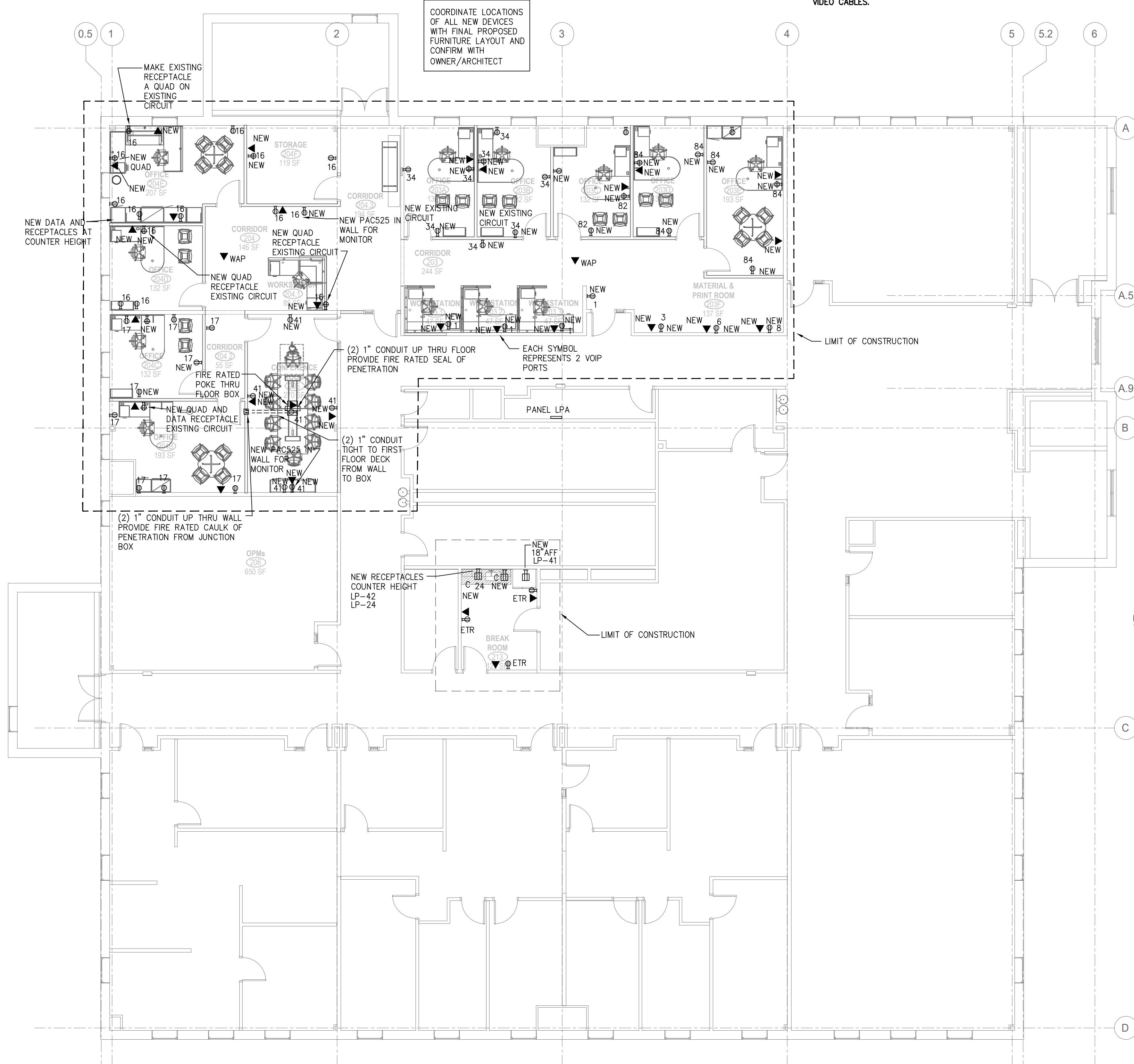
- ALL ENCLOSED OFFICES AND COPY AREAS RECEPTACLES SHALL BE 50% CONTROLLED BY VACANCY SENSORS IN THAT ROOM. THIS ENERGY CODE REQUIREMENT WILL BE ACHIEVED BY CONTROLLING THE TOP OF EACH DUPLEX AND QUAD RECEPTACLE. CIRCUIT SHALL BE INTERRUPTED VIA A CONTROL MODULE ABOVE THE CEILING AND CONNECTED TO THE LIGHTING VACANCY SENSOR. SEE DETAILED LABELING ON THIS DRAWING. MODULE FOR VACANCY SENSOR SHALL CONTROL 277V FOR LIGHTING AND 120V FOR RECEPTACLES.
- PROVIDE 2 ADDITIONAL WIRELESS ACCESS POINT TO BE INTERCONNECTED TO THE EXISTING SYSTEM

**SCOPE NOTES:**

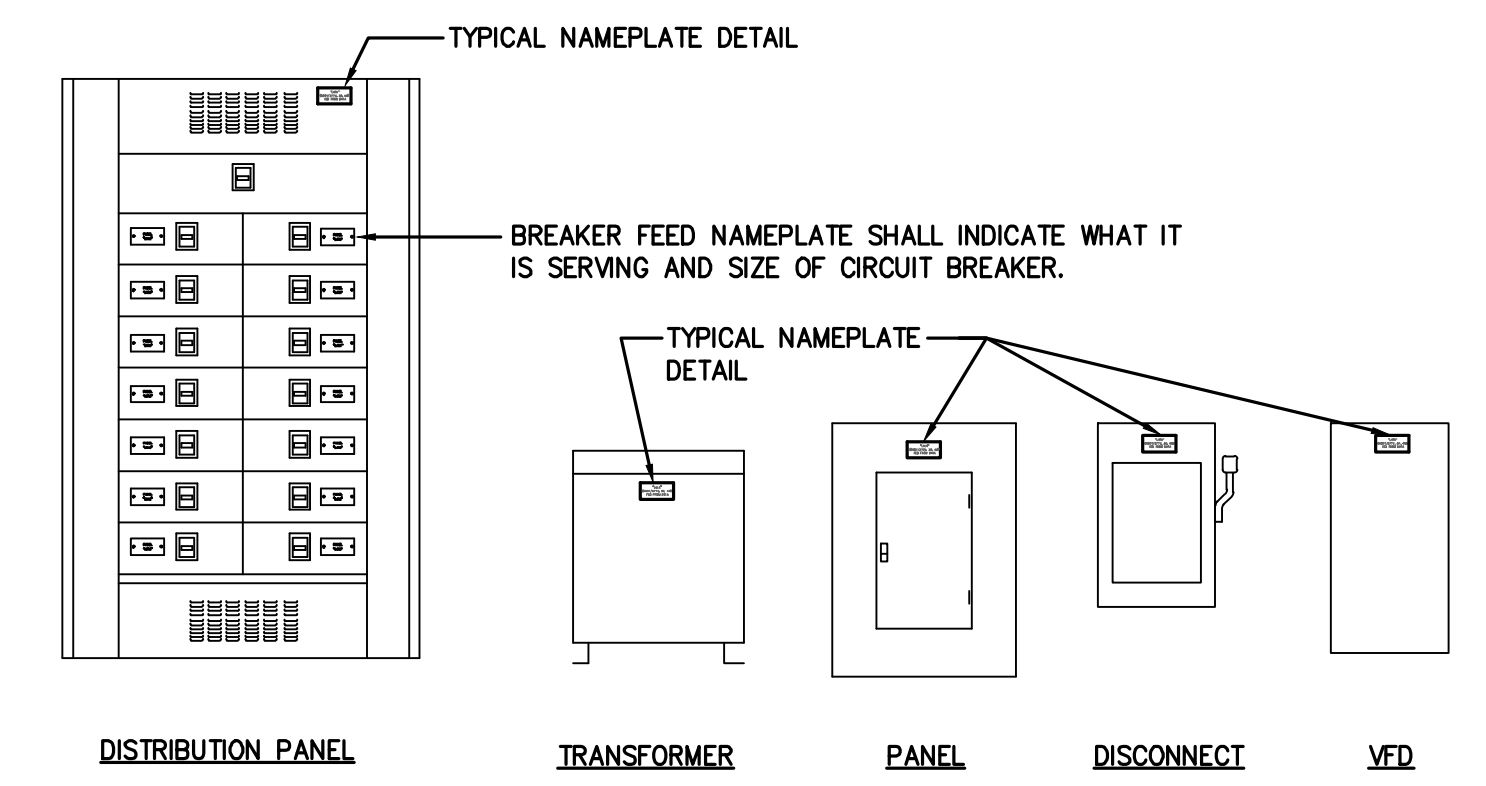
- FOR CONDUCTOR AND CONDUIT SIZES REFER TO FEEDER SCHEDULE.
- COORDINATE POWER REQUIREMENT FOR NEW EQUIPMENT WITH MANUFACTURERS SPECIFICATIONS.
- RUN PANDUIT GENERAL CABLE CAT 6A CABLING FROM 1ST FLOOR COMMS ROOM BELOW 2ND FLOOR ELECTRIC ROOM, UP THROUGH FLOOR TO THE 2ND FLOOR ELECTRICAL CLOSET AND VIA THE SAME ROUTE AS THE NEW ELECTRICAL CABLING TO THE TERMINUS LOCATIONS.
- CONFORM TO URI STANDARDS FOR NETWORK WIRING AND LABELING. THE CONTRACTOR IS RESPONSIBLE FOR A COMPLETE LINK FROM THE CLOSET TO THE OFFICE JACK. URI PATCHES THE LINK TO THE SWITCH INSIDE THE CLOSET.
- CONFERENCE ROOM SHALL BE HUBBELL S1PTBL FIRE-RATED POKE-THROUGH, 1 PIECE, 2 STYLE, SYS 1, BLACK FIRE-CLASSIFIED FLOOR BOX. POWER RECEPTACLES, CAT6 NETWORK CABLES, AND HDMI AND VIDEO CABLES.

**ELECTRICAL SCOPE NOTES:**

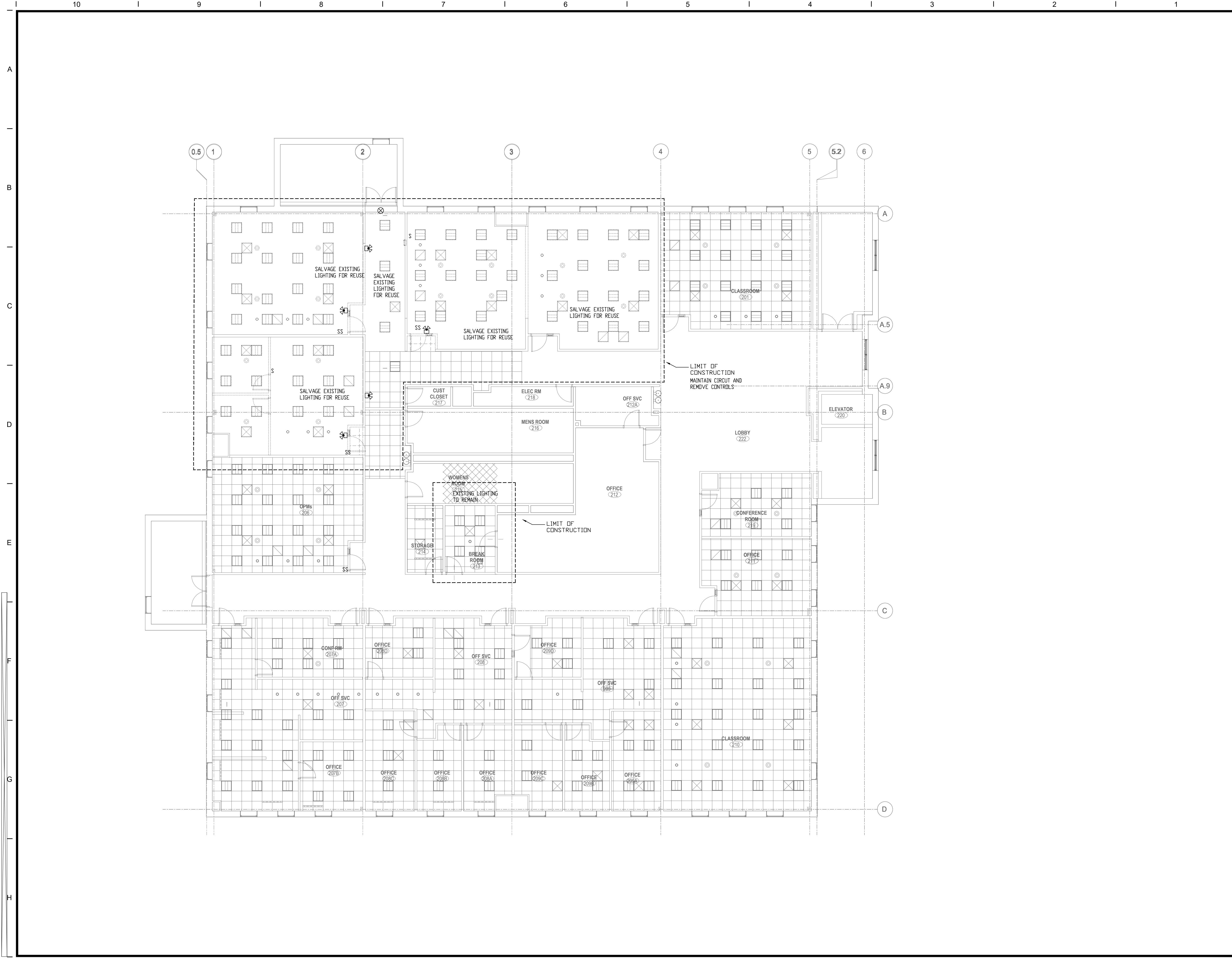
- ALL BRANCH CIRCUIT WIRING SHALL BE RUN EMT CONDUIT, CONCEALED IN WALLS & CEILINGS IN FINISHED AREAS AND EXPOSED IN UNFINISHED AREAS. MC CABLE MAY BE RUN CONCEALED ABOVE CEILINGS OR IN WALLS WHERE NOT SUBJECT TO PHYSICAL DAMAGE AND ONLY WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION. TYPE "AC" OR "NM" CABLE SHALL NOT BE USED. AN INSULATED EQUIPMENT GROUNDING CONDUCTOR MUST BE RUN IN ALL BRANCH CIRCUITS.
- ALL EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL & PERPENDICULAR TO BUILDING STRUCTURE.
- MINIMUM CONDUIT SIZE SHALL BE 3/4", UNLESS NOTED OTHERWISE. MINIMUM WIRE SIZE SHALL BE #12 AWG TYPE THHN/THWN FOR POWER AND #14 THHN/THWN FOR CONTROL. ALL WIRING TO BE COPPER AND PLENUM RATED.
- REFER TO MECHANICAL & PLUMBING DRAWINGS FOR EXACT LOCATION OF HVAC & PLUMBING EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS, E.C. SHALL NOT ROUGH IN FOR CONNECTIONS TO EQUIPMENT WITHOUT VERIFYING LOCATIONS ON MECHANICAL & PLUMBING DRAWINGS, AND WITHOUT VERIFYING FINAL LOCATIONS WITH MECHANICAL & PLUMBING CONTRACTOR.
- THE E.C. IS RESPONSIBLE FOR VERIFYING VOLTAGE, PHASE, MCA, AND MOCQ REQUIRED FOR ALL HVAC EQUIPMENT PRIOR TO PURCHASING AND INSTALLING CONDUCTORS, BREAKERS, DISCONNECTS AND CONDUIT. VERIFY RATINGS WITH MECHANICAL SUBMITTALS, NAMEPLATES AND DIRECTLY WITH MECHANICAL CONTRACTOR.
- ALL RACEWAYS RUNNING THROUGH BUILDING EXPANSION JOINTS SHALL BE EQUIPPED WITH EXPANSION FITTINGS.
- THE E.C. SHALL REVIEW ALL TRADES' CONTRACT DOCUMENTS TO DETERMINE SPECIFIC MOUNTING LOCATIONS FOR ELECTRICAL EQUIPMENT. COORDINATE EXACT MOUNTING LOCATIONS WITH THE ARCHITECT, OWNER, GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.
- REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR MOUNTING HEIGHTS AND EXACT LOCATIONS OF ALL DEVICES. IF THERE IS A CONFLICT BETWEEN ARCHITECTURAL DRAWINGS AND ELECTRICAL DRAWINGS (EXAMPLE: LIGHT FIXTURE LOCATION, SWITCH LOCATION OR HEIGHT OF A DEVICE), THE E.C. SHALL CONTACT THIS ENGINEER FOR DIRECTION PRIOR TO ROUGH-IN.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, IFC, ICC, THE LATEST STATE CODES, AND ALL LOCAL CODES.
- ALL ELECTRICAL EQUIPMENT, INCLUDING, BUT NOT LIMITED TO CONDUIT, WIRE, BOXES, AND FITTINGS, SHALL BE NEW AND FREE OF DEFECTS, SHALL BEAR THE UL LABEL, AND SHALL MEET NEMA AND ANSI STANDARDS.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED FREE FROM DEFECTS FOR A MINIMUM PERIOD OF ONE YEAR UNLESS NOTED OTHERWISE. THE WARRANTY PERIOD SHALL BEGIN AT THE DATE OF BENEFICIAL OCCUPANCY OF THE SPACE UNLESS NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS.
- THE E.C. IS RESPONSIBLE FOR FILING AND PAYING ALL FEES AND OBTAINING NECESSARY PERMITS, CERTIFICATES OF INSPECTION AND SHALL DELIVER ALL CERTIFICATES OF INSPECTION TO OWNER/CONSTRUCTION MANAGER OR GENERAL CONTRACTOR INCLUDING COPIES WITH MAINTENANCE MANUALS.
- THE COLORS OF ALL RECEPTACLES, SWITCHES, AND DEVICE PLATES SHALL BE AS SELECTED BY THE ARCHITECT. COLORS SPECIFIED ON ELECTRICAL DRAWINGS ARE FOR REFERENCE ONLY, UNLESS SPECIFICALLY NOTED OTHERWISE.
- E.C. SHALL PROVIDE BACK BOX & 1/2" EMT TO NEAREST ACCESSIBLE CEILING FOR ALL THERMOSTATS. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS.
- E.C. SHALL PROVIDE BACK BOX & 1" EMT TO NEAREST ACCESSIBLE CEILING FOR ALL VOICE/DATA OUTLETS SHOWN ON DRAWINGS.
- E.C. SHALL ENSURE THAT ALL CEILING-MOUNTED MOTION SENSORS ARE POSITIONED AT LEAST 24 INCHES AWAY FROM ALL MECHANICAL AIR DIFFUSERS.
- ALL RECEPTACLES AND DEVICES SHALL BE FLUSH MOUNTED IN BLOCK OR STUD WALLS. FOR EXISTING BLOCK WALLS, CONTRACTOR SHALL PROVIDE SURFACE MOUNTED DEVICES AND RUN WIRE MOLD AS NECESSARY. COLOR OF WIRE MOLD SHALL BE SELECTED BY ARCHITECT.
- ALL BRANCH CIRCUITS SHALL CONTAIN DEDICATED NEUTRAL CONDUCTORS. DO NOT SHARE NEUTRAL CONDUCTORS.
- ALL BRANCH CIRCUIT WIRING IN PATIENT CARE AREAS INCLUDING GENERAL CARE, PATIENT RECREATIONAL AREAS, PATIENT EXAM ROOMS, PATIENT THERAPY ROOMS, SOLARIA, SHALL BE RUN IN EMT WITH A GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR OR HEALTH CARE FACILITY AC CABLE (TYPE "HFC"). THIS REQUIREMENT INCLUDES ALL WIRING TO RECEPTACLES, PTAC UNITS, SWITCHES AND WALL MOUNTED LIGHT FIXTURES.
- ALL NEW RECEPTACLES IN GENERAL CARE PATIENT ROOMS SHALL BE HOSPITAL GRADE. ALL NEW GFI RECEPTACLES IN PATIENT CARE AREAS SHALL BE HOSPITAL GRADE. ALL NEW RECEPTACLES IN PATIENT SLEEPING AND PATIENT EXAM/THERAPY ROOMS TO BE HOSPITAL GRADE.



**LABELING DEVICES**



**LABELING DISTRIBUTION FOR HOUSE SYSTEMS**

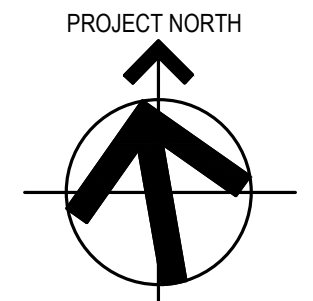


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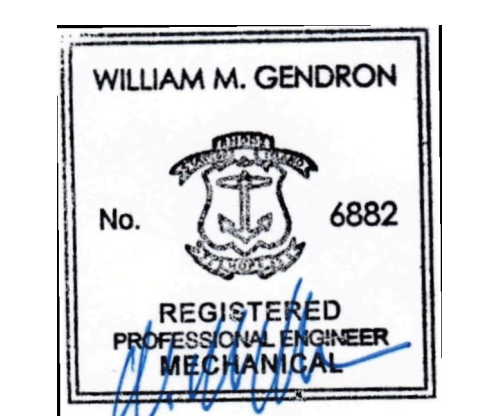
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Client/ Contractor  
**UNIVERSITY OF RHODE ISLAND**  
 KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
 210 FLAGG ROAD  
 KINGSTON, RHODE ISLAND  
 OCP PROJECT ID#: KC.G.210F.2022.001



Seals  
**CONSTRUCTION DOCUMENTS**



Issues / Revisions	
No.	Description
1	09/15/2023 CONSTRUCTION DOCUMENTS
2	09/26/2024 CONSTRUCTION DOCUMENTS

Drawing Title  
**ELECTRICAL SECOND FLOOR DEMOLITION LIGHTING PLAN**

Project Manager: SPQ	Project No: UR17ZIN
Project Architect: PA	Production Leader: SPQ
Project Designer: MH	Peer Reviewer: MH

Drawing Number  
**E2.00**

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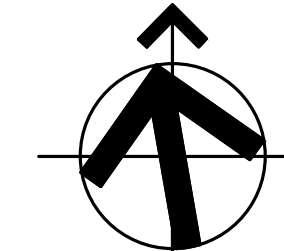
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Project

**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**

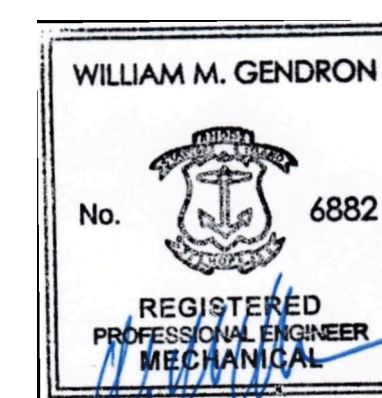
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OCP PROJECT ID#:  
KC.G.210F.2022.001

PROJECT NORTH



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**CONSTRUCTION DOCUMENTS**



Issues / Revisions

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Drawing Title

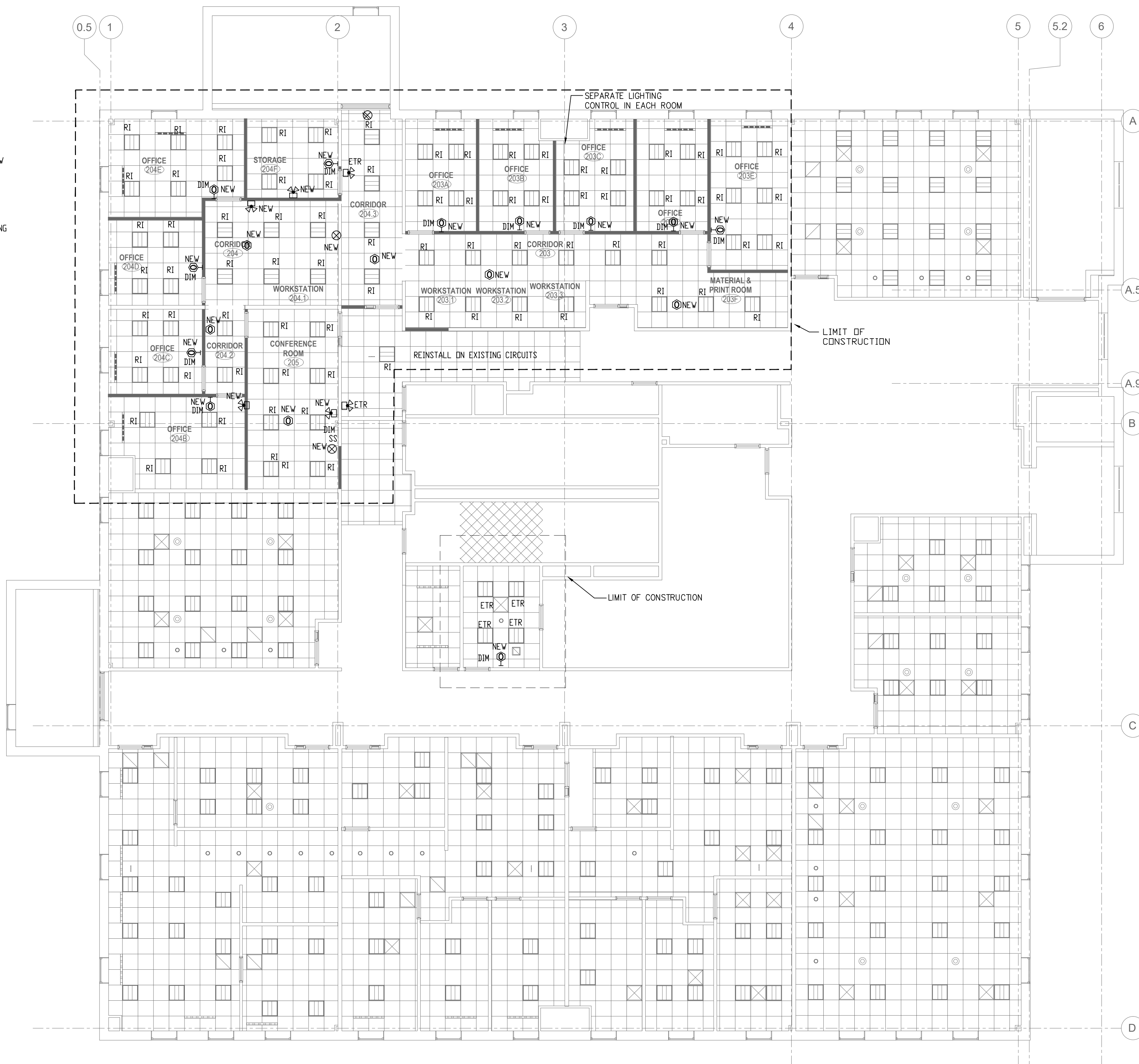
**ELECTRICAL SECOND FLOOR LIGHTING PLAN**

Project Manager:	SPQ	Project No:	UR172IN
Project Architect:	PA	Production Leader:	SPQ
Project Designer:	MH	Peer Reviewer:	MH

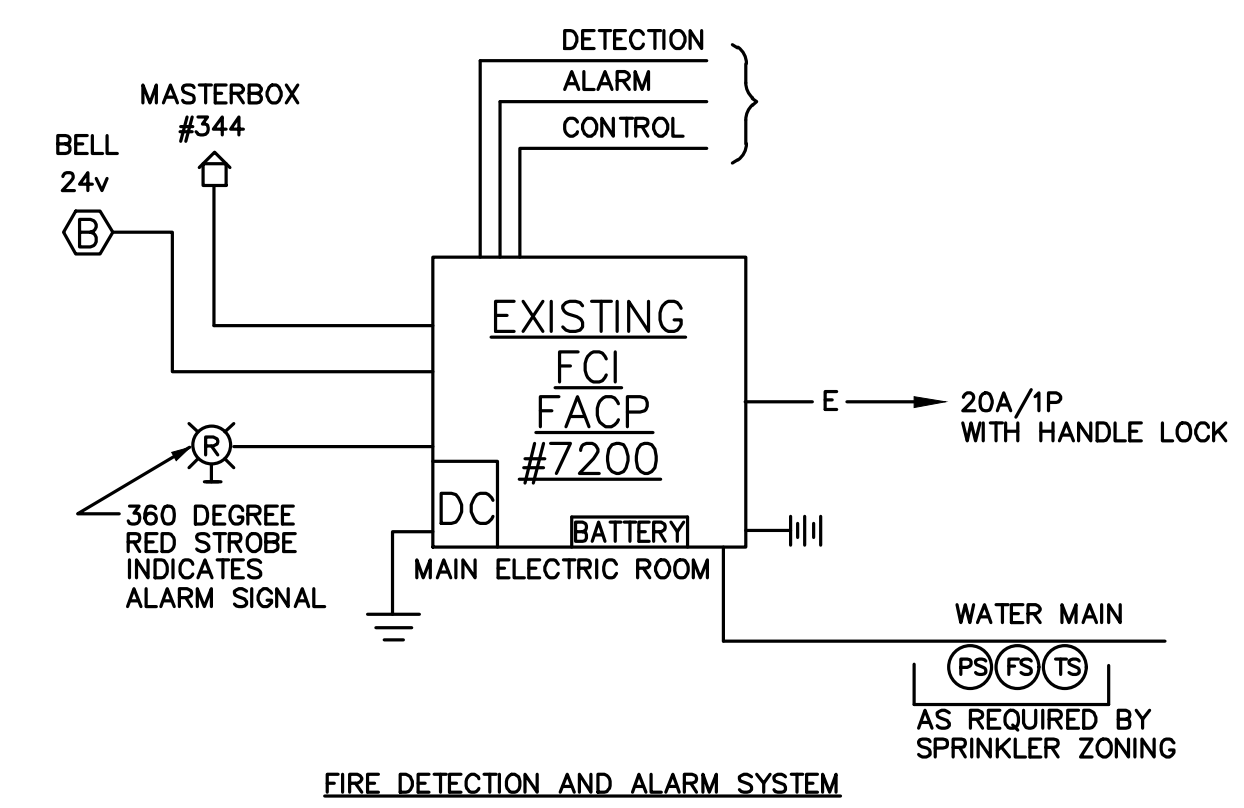
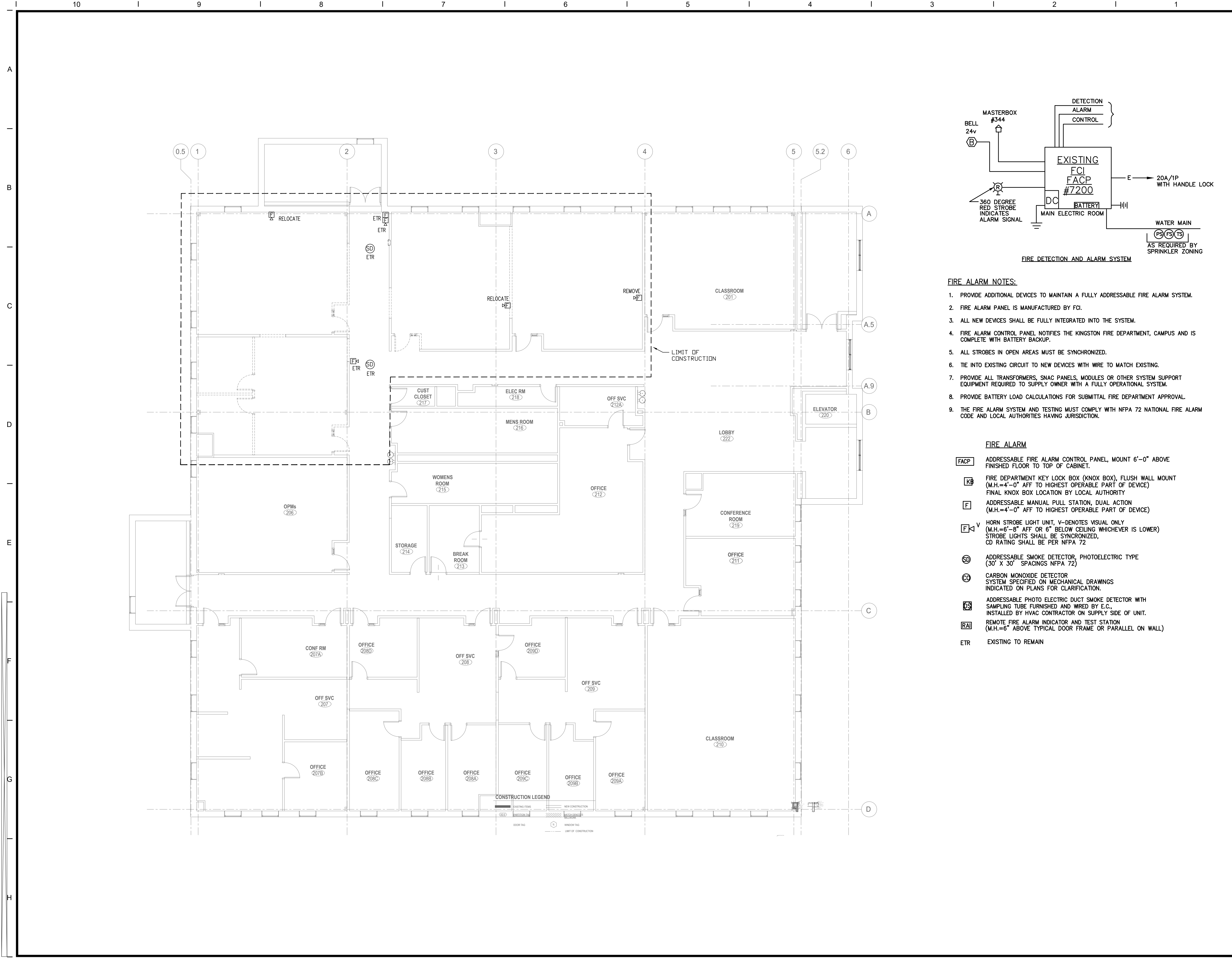
Drawing Number

**E2.10**

- NOTES:
1. RI- REVISE EXISTING CIRCUIT AND SEPARATE SWITCHING PER PROPOSED LAYOUT
  2. ETR- EXISTING TO REMAIN
  3. DEVICES LABELED AS NEW SHALL BE INTEGRATED INTO EXISTING CIRCUITS FOR CONTROL AND EMERGENCY LIGHTING
  4. NEW EMERGENCY UNITS SHALL BE ON EXISTING CIRCUIT CONNECTED BEFORE ANY SWITCHING.
  5. PROVIDE OCCUPANCY SENSORS FOR COMMON AREAS IN CEILINGS.
  6. PROVIDE WALL MOUNTED COMPATIBLE VACANCY SENSORS WITH DIMMING IN OFFICES AND CONFERENCE ROOM.
  7. ALL DIMMERS SHALL BE SLIDING FOR OPERATION.
  8. ISOLATE LIGHTING CONTROLS FOR EACH NEW SPACE.
  9. PROVIDE ANY ADDITIONAL FIXTURES REQUIRED FOR NEW LAYOUT.
  10. 63 RELOCATED LIGHT FIXTURES AND 19 ADDITIONAL TO MATCH EXISTING ON EXISTING CIRCUITS.

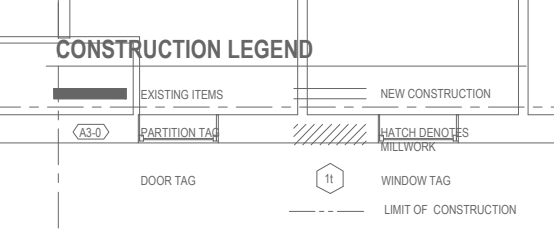






- FIRE ALARM NOTES:**
1. PROVIDE ADDITIONAL DEVICES TO MAINTAIN A FULLY ADDRESSABLE FIRE ALARM SYSTEM.
  2. FIRE ALARM PANEL IS MANUFACTURED BY FCI.
  3. ALL NEW DEVICES SHALL BE FULLY INTEGRATED INTO THE SYSTEM.
  4. FIRE ALARM CONTROL PANEL NOTIFIES THE KINGSTON FIRE DEPARTMENT, CAMPUS AND IS COMPLETE WITH BATTERY BACKUP.
  5. ALL STROBES IN OPEN AREAS MUST BE SYNCHRONIZED.
  6. TIE INTO EXISTING CIRCUIT TO NEW DEVICES WITH WIRE TO MATCH EXISTING.
  7. PROVIDE ALL TRANSFORMERS, SMAC PANELS, MODULES OR OTHER SYSTEM SUPPORT EQUIPMENT REQUIRED TO SUPPLY OWNER WITH A FULLY OPERATIONAL SYSTEM.
  8. PROVIDE BATTERY LOAD CALCULATIONS FOR SUBMITTAL FIRE DEPARTMENT APPROVAL.
  9. THE FIRE ALARM SYSTEM AND TESTING MUST COMPLY WITH NFPA 72 NATIONAL FIRE ALARM CODE AND LOCAL AUTHORITIES HAVING JURISDICTION.

- FIRE ALARM**
- FACP** ADDRESSABLE FIRE ALARM CONTROL PANEL, MOUNT 6'-0" ABOVE FINISHED FLOOR TO TOP OF CABINET.
  - KB** FIRE DEPARTMENT KEY LOCK BOX (KNOX BOX), FLUSH WALL MOUNT (M.H.=4'-0" AFF TO HIGHEST OPERABLE PART OF DEVICE) FINAL KNOX BOX LOCATION BY LOCAL AUTHORITY
  - F** ADDRESSABLE MANUAL PULL STATION, DUAL ACTION (M.H.=4'-0" AFF TO HIGHEST OPERABLE PART OF DEVICE)
  - FV** HORN STROBE LIGHT UNIT, V- DENOTES VISUAL ONLY (M.H.=6'-8" AFF OR 6" BELOW CEILING WHICHEVER IS LOWER) STROBE LIGHTS SHALL BE SYNCHRONIZED, CD RATING SHALL BE PER NFPA 72
  - SD** ADDRESSABLE SMOKE DETECTOR, PHOTOELECTRIC TYPE (30' X 30' SPACINGS NFPA 72)
  - CO** CARBON MONOXIDE DETECTOR SYSTEM SPECIFIED ON MECHANICAL DRAWINGS INDICATED ON PLANS FOR CLARIFICATION.
  - DS** ADDRESSABLE PHOTO ELECTRIC DUCT SMOKE DETECTOR WITH SAMPLING TUBE FURNISHED AND WIRED BY E.C., INSTALLED BY HVAC CONTRACTOR ON SUPPLY SIDE OF UNIT.
  - RAI** REMOTE FIRE ALARM INDICATOR AND TEST STATION (M.H.=6" ABOVE TYPICAL DOOR FRAME OR PARALLEL ON WALL)
  - ETR** EXISTING TO REMAIN



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Client/ Contractor  
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KINGSTON, RI. 02881

Project  
**210 FLAGG FACILITIES GROUP SPACE EFFICIENCY STUDY & RENOVATION**  
210 FLAGG ROAD  
KINGSTON, RHODE ISLAND  
OCP PROJECT ID#: KC.G.210F.2022.001



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**CONSTRUCTION DOCUMENTS**

WILLIAM M. GENDRON

No. 6882

REGISTERED PROFESSIONAL ENGINEER MECHANICAL

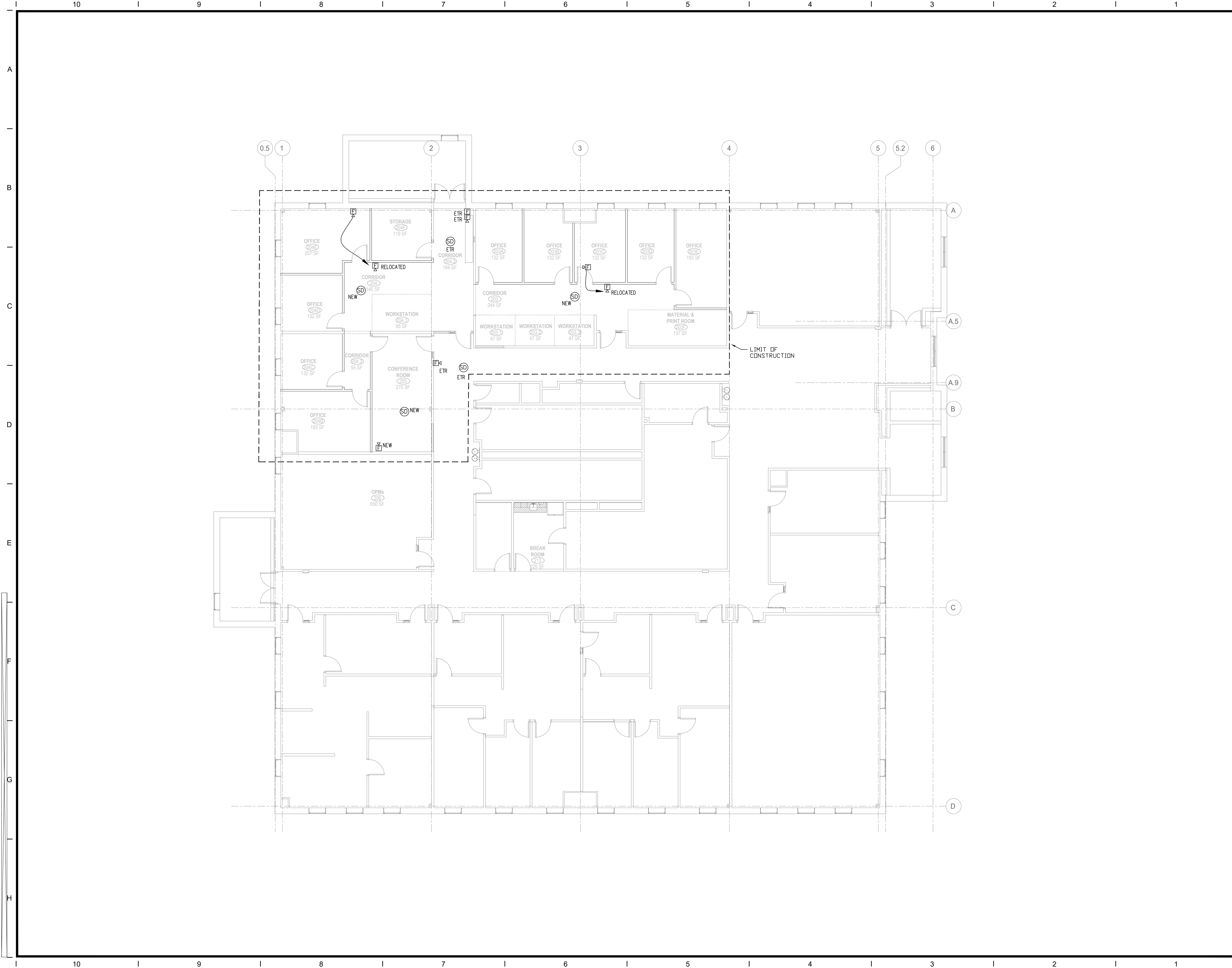
Issues / Revisions

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2	09/26/2024	CONSTRUCTION DOCUMENTS

Drawing Title  
**ELECTRICAL SECOND FLOOR DEMOLITION FIRE ALARM PLAN**

Project Manager: SPQ	Project No: UR172IN
Project Architect: PA	Production Leader: SPQ
Project Designer: MH	Peer Reviewer: MH

Drawing Number  
**FA1.00**



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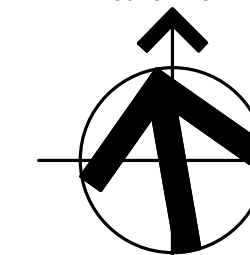
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Project

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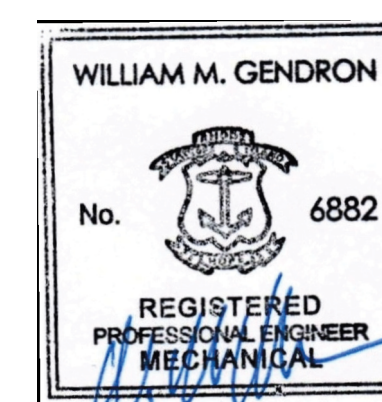
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KINGSTON, RHODE ISLAND  
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PROJECT NORTH



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**ELECTRICAL SECOND FLOOR FIRE ALARM PLAN**

Project Manager:	SPQ	Project No:	UR17ZIN
Project Architect:	PA	Production Leader:	SPQ
Project Designer:	MH	Peer Reviewer:	MH

Drawing Number

**FA1.10**